



PLANNING SUB - COMMITTEE

Wednesday, 10th June, 2009

at 6.30 pm

Council Chamber, Hackney Town Hall, Mare
Street, London E8 1EA

Committee Members:

Cllr Barry Buitekant, Cllr Michael Desmond (Vice-Chair),
Cllr Ian Sharer, Cllr Simon Tesler, Cllr Linda Smith,
Cllr Joseph Stauber, Cllr Vincent Stops (Chair),
Cllr Katie Hanson and Cllr Jessica Webb

Gifty Edila
Corporate Director of
Legal and Democratic
Services

Contact: Emma Perry
Democratic Services Officer
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Email: Emma.Perry@hackney.gov.uk

The press and public are welcome to attend this meeting

AGENDA

Wednesday, 10th June, 2009

ORDER OF BUSINESS

Title	Ward	Page No
1. Appointment of Chair		
2. Appointment of Vice-Chair		
3. Apologies for Absence		
4. Members to agree the order of business		
5. Declarations of Interest		
6. Minutes of the Previous Meeting		(Pages 1 - 66)
7. Old School Site, Woodberry Grove, London, N4	Brownswood;	(Pages 67 - 156)
8. 12-32A Hertford Road, 27-31 Downham Road and 305 Kingsland Road, London, N1 and E8	De Beauvoir;	(Pages 157 - 226)
9. 30 Benthall Road, London, N16 7BX	Hackney Downs;	(Pages 227 - 240)
10. 57-63, 67-71 Kingsland Road, London, E2 8AG	Haggerston;	(Pages 241 - 260)
11. 231 Evering Road, London, E5 8AL	Hackney Downs;	(Pages 261 - 276)
12. 2-6 Phipp Street, London, EC2A 4PA	Haggerston;	(Pages 277 - 322)
13. 241 City Road, London, EC1V 1JQ	Hoxton;	(Pages 323 - 330)
14. Arch 189-222 The Railway Arches, Morning Lane, London, E9 6LG	Chatham;	(Pages 331 - 340)
15. Digby Road/Berger Road, Homerton, London, E9 5SB	Chatham;	(Pages 341 - 430)
16. 102-108 Clifton Street, London, N1 6AD	Haggerston;	(Pages 431 - 446)

17. 3-8 and Jack Dunning Community Hall, Furrow Lane, London	Chatham;	(Pages 447 - 450)
18. Appeals Summary - September 2008		(Pages 451 - 456)
19. Appeals Summary - October 2008		(Pages 457 - 462)
20. Appeals Summary - November 2008		(Pages 463 - 470)
21. Delegated Decisions - February-May 2009		(Pages 471 - 602)

Access and Information

Location

Hackney Town Hall is on Mare Street, bordered by Wilton Way and Reading Lane, almost directly opposite The Ocean.

Trains – Hackney Central Station (Silverlink Line) – Turn right on leaving the station, turn right again at the traffic lights into Mare Street, walk 200 metres and look for the Hackney Town Hall, almost next to The Empire immediately after Wilton Way.

Buses 30, 48, 55, 106, 236, 254, 277, 394, D6 and W15.

Facilities

There are public toilets available, with wheelchair access, on the ground floor of the Town Hall.

Induction loop facilities are available in Rooms 102 and the Council Chamber

Access for people with mobility difficulties can be obtained through the ramp on the side to the main Town Hall entrance.

Copies of the Agenda

The Hackney website contains a full database of meeting agendas, reports and minutes. Log on at: www.hackney.gov.uk

Paper copies are also available from local libraries and from Democratic Services officer whose contact details are shown on page 2 of the agenda.

Local Democracy Website – www.hackney.gov.uk

The Local Democracy section of the Hackney Council website contains full details about the democratic process at Hackney, including:

- Councillor contact details
- Information about MPs, MEPs and GLA members
- Agendas, reports and minutes from council meetings
- The council's constitution
- Overview and Scrutiny information
- Details and links to area forums and local consultations
- And more.

How to have your say at the Planning Sub-Committee

Planning in Hackney

If there are proposals to build a block of flats in your area or someone in your street wants an extension they will more than likely have to get planning permission from the council. Hackney, like all councils have to let you know if a planning application has been received and you live close by. Where a development will have an impact on more people, Hackney often consults widely.

This gives as many residents as possible the chance to tell us what they think.

The majority of planning applications either for extensions to a home, new shop fronts, advertisements and similar minor development, are decided by Planning Officers.

The Planning Sub-Committee makes the decisions on larger planning applications that:

- may have a significant impact on the local community; and
- are recommended for approval by the Planning Officer.

Planning Sub-Committee members use these meetings to make sure they have all the information they need and hear both sides before making a decision. This leaflet explains how the Planning Sub-Committee works and how you can have your say.

The Planning Sub-Committee

The Sub-Committee is made up of councillors from all political parties. One of the councillors is the Sub-Committee Chair. When making decisions the Sub-Committee will always be:

- open about how they came to a decision,
- fair when making a decision,
- impartial by not favouring one side over another.

Meetings are held in public at Hackney Town Hall and they usually start at 6.30pm on the first Wednesday of the month. Agendas are available at www.hackney.gov.uk/your-council or from the Committee Officer a week before the meeting.

All Planning Sub-Committee members will keep an open mind on applications and it is advised that you don't contact any of the councillors before a meeting.

The meetings are necessarily formal because the Chair and members want to listen to everyone and have the chance to ask questions so that they can fully understand the issues.

Those speaking, either for or against a proposal, are generally given five minutes to get their points across. If there is more than one person on each side you will be asked to divide the five minutes between you or nominate a spokesperson. The Committee Officer will help groups speaking on the same item to coordinate presentations.

How the Meeting Works

The Sub-Committee will normally consider agenda items in turn. If there are a lot of people for an item they might bring it forward.

At the beginning of each meeting the Chair will explain how the meeting works and what can and can't be taken into account when making decisions. The meeting usually happens like this:

- The Chair introduces the item,
- The Planning Officer introduces their report to the Sub-Committee and informs them of any relevant additional information received after they publicised their report. The officer will also give their recommendations,
- Registered objectors speak for up to five minutes,
- Registered supporters speak for up to five minutes,
- Sub-Committee members can ask questions and discuss the item. They will ask council officers for further clarification if they need it,
- The recommendation – including any supplementary conditions or recommendations proposed by the Sub-Committee - is put to the vote. If the vote is split the Chair has the casting vote,
- A final decision is announced.

The Sub-Committee has strict guidance for making decisions and they can only be based on:

- National Planning policies set out by Government,
- Regional Planning policy, London Plan 2008, set out by the Greater London Authority,
- 'Saved' Hackney Unitary Development Plan policies,
- Council's policies outlined in the Hackney's emerging Local Development Framework
- Other 'material consideration' such as the planning history of a site and other development nearby the site.

Having Your Say

If you have something to say about a planning application there are three ways to do it:

Write to us

You can write to the council by making what are known as written representations.

This is where you have the opportunity to:

- tell us in detail what impacts the development will have in your community,
- let us know why you support or object to a planning application.

To make sure your representations are considered and included on the agenda they should be submitted within 21 days from the date you were notified of the application.

Where you have made representation or have asked to be notified, we will let you know the date of the Sub-Committee meeting relevant to that application.

Whether you are speaking at the meeting or would just like to come along, please arrive at least 15 minutes before the start as the agenda can sometimes change.

Speak at a meeting

If you made a written representation you can register to speak at a meeting. Just contact the Committee Officer by phone on 020 8356 3338 or email democraticserviceteam@hackney.gov.uk by 4.00pm on the working day before the meeting.

Photographs and illustrative material can be presented at the meeting if it has been verified by the Planning Officer beforehand. It must be delivered to the Planning Sub-Committee Officer no later than 4.00pm on the working day before the meeting.

Please note that new representations cannot be presented at the meeting. Only in exceptional cases will the Sub-Committee consider additional representations submitted after the agenda and reports have been published. If any significant new

information comes to light after the 21 days of consultation, let the Planning Officer know and they may refer to it in their presentation to the Sub-Committee.

Contact your local councillor

As long as they are not sitting as a member of the Planning Sub-Committee they may agree to speak for you at a meeting. Please contact the Members' Support Team on 020 8356 3350 to find out how to contact your local councillor.

How to Contact Us

For more information you can contact the Committee Officer by:

Phone: 0208 356 3338

Email: democraticservicsteam@hackney.gov.uk

Write:

Democratic Services Team

Hackney Council

Hackney Town Hall

Mare Street

London E8 1EA

On-Line: www.hackney.gov.uk/your-council

Other Information

Leaflet 1 – How to Have Your Say on Planning Applications

Leaflet 3 – Planning Service Charter

Leaflet 4 – Pre-Application Advice for Planning Applications

Produced by Hackney Design, Communications & Print • Nov 2008 • PJ36321

ADVICE TO MEMBERS ON DECLARING INTERESTS

Hackney Council's Code of Conduct applies to **all** Members of the Council including the Mayor, co-opted Members and independent Members.

This note is intended to provide general guidance for Members on declaring interests. However, you may often need to obtain specific advice on whether you have an interest in a particular matter. If you need advice, you can contact:

- The Corporate Director of Legal and Democratic Services;
- another Council lawyer; or
- Democratic Services.

If at all possible, you should try to identify any potential interest you may have before the meeting so that you and the person you ask for advice can fully consider all the circumstances before reaching a conclusion on what action you should take.

1. Do you have a personal interest in any matter on the agenda or which is being considered at the meeting?

You will have a personal interest in a matter if it:

- i. relates to an interest that you have already registered on the Register of Interests;
- ii. relates to an interest that should be registered but you have not yet done so; or
- iii. affects your well-being or financial position or that of members of your family or your close associates, to a greater extent than it would affect the majority of people in the ward affected by the decision.

Note: The definition of family is very wide and includes a partner, step-relations and in-laws. A “close associate” is someone whom a reasonable member of the public might think you would be prepared to favour or disadvantage.

2. If you have a personal interest you must:

- i. **declare the existence and nature of the interest (in relation to the relevant agenda item) at the beginning of the meeting, before it is discussed or as soon as it becomes apparent to you; but**
- ii. **you can remain in the meeting, speak and vote on the matter unless the personal interest is also prejudicial.**

However, in certain circumstances you may have an exemption which means that you might not have to declare your interest.

Exemption 1: You will have an exemption where your interest arises solely from your membership of or position of control/management in:

- a body to which you have been appointed or nominated by the authority; and/or
- a body exercising functions of a public nature (e.g. another local authority).

Exemption 2: You will have an exemption if your personal interest is simply having received a gift or hospitality over £25 which you registered more than 3 years ago.

If you have an exemption:

- i. **you need only declare your interest if you address the meeting; and**
- ii. **you can vote without declaring the interest providing you do not speak.**

3. When will a personal interest also be prejudicial?

Your personal interest will also be prejudicial if a member of the public who knows the relevant facts would reasonably think the personal interest is so significant that it is likely to prejudice your judgement of the public interest; and

- i. either the matter affects your financial position or the financial position of any person or body through whom you have a personal interest; or
- ii. the matter relates to the determining of any approval, consent, licence, permission or registration that affects you or any relevant person or body with which you have a personal interest.

Exemptions: You will not have a prejudicial interest if the matter relates to the following:

- i. the Council’s housing functions - if you hold a lease or tenancy with the Council, provided that the matter under consideration is not your own lease or tenancy;

- ii. school meals, transport or travel expenses – if you are the parent or guardian of a child of school age, provided that the matter under consideration is not the school the child attends;
- iii. statutory sick pay;
- iv. Members' allowances;
- v. ceremonial honours for Members; or
- vi. setting the Council Tax.

4. If you have a prejudicial interest you must:

- i. Declare the existence and nature of the interest (in relation to the relevant agenda item) as soon as it becomes apparent to you.**
- ii. Leave the room unless members of the public are allowed to make representations, give evidence or answer questions about the matter. If that is the case, you can also attend to make representations, give evidence or answer questions about the matter.**
- iii. Once you have finished making representations, answering questions etc., you must leave the room. You cannot stay in the room whilst the matter is being discussed neither can you remain in the public gallery to observe the vote on the matter. In addition, you must not seek to improperly influence a decision about the matter.**

Further Information

Advice can be obtained from Gifty Edila, Corporate Director of Legal and Democratic Services, on 020 8356 3265 or email Gifty.Edila@hackney.gov.uk

Guidance is also available from the Standards Board for England's website: www.standardsboard.gov.uk/TheCodeofConduct/Guidance/

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MINUTES OF A MEETING OF THE PLANNING SUB-COMMITTEE

WEDNESDAY, 6TH MAY, 2009

Councillors Present: Councillor Vincent Stops in the Chair
Cllr Barry Buitekant, Cllr Michael Desmond (Vice-Chair), Cllr Ian Sharer, Cllr Katie Hanson and Cllr Jessica Webb

Apologies: Cllr Linda Smith and Cllr Joseph Stauber

Officers in Attendance Ian Bailey (Senior Planning Officer), Rokos Frangos (Senior Planning Officer), Rosemary Lansdowne (Principal Solicitor), Graham Loveland (Interim Assistant Director, Planning), John McRory (Team Leader, Major Applications), Femi Nwanze (Head of Development Management), Fred Raphael (Senior Technical Engineer), Ray Rogers (Sustainability and Design Manager), Russell Smith (Senior Planning Officer), Anthony Traub (Senior Planner, Major Team), John Tsang (Interim Team Leader), Steve Fraser-Lim (Senior Planning Officer, Majors Team), Rebecca Anderson (Team Leader, Area Team), Gillian Nicks (Senior Planning Officer, Majors Team), Nick Jacobs (Landscape Officer), Emma Perry (Democratic Services Officer) and David Rees (Democratic Services Manager)

Also in Attendance Kevin Moore (Hackney Society)

1 **APOLOGIES FOR ABSENCE**

1.1 Apologies for absence were received from Councillors Smith and Stauber.

2 **MEMBERS TO AGREE THE ORDER OF BUSINESS**

2.1 The order of business remained as per the agenda.

3 **DECLARATIONS OF INTEREST**

3.1 There were no declarations of interest.

4 **MINUTES OF THE PREVIOUS MEETING**

4.1 **RESOLVED** – that the minutes of the meeting held on 1 April 2009 be APPROVED as a true and accurate record.

5 **6-20 (EVEN) GRAZEBROOK ROAD & 61 LORDSHIP ROAD, LONDON, N16**

- 5.1 The Planning Officer introduced the report, as set out in the agenda.
- 5.2 There being no questions from Members, the Chair moved to the vote.

Unanimously RESOLVED that:-

The Interim Head of Legal Services be authorised to confirm the Tree Preservation Officer with the modification that the dead tree T8 is omitted. This confirmation will make the TPO permanent.

6 **LAND WITHIN THE NORTH WESTERN PART OF OLYMPIC PARK PLANNING DELIVERY ZONE 5: EAST OF THE RIVER LEE NAVIGATION, SOUTH OF EASTWAY AND WEST OF THE FORMER ALIGNMENT OF WATERDEN ROAD**

Observations to the Olympic Delivery Authority (ODA) regarding the submission of Reserved Matters for the International Broadcast Centre (IBC) and Main Press Centre (MPC) and Multi-Storey Car Park (MSCP) to provide details of the layout, scale, appearance, materials and access during Games mode, together with supporting information and details of telecommunications provision pursuant to conditions OD.0.18 (Reserved Matters submissions), OD.5.1 (Multi Storey Car Park) and OD.0.24 (Telecommunications) of outline planning permission reference 07/90010/OUMODA.

(Councillor Desmond arrived before the start of the item and took part in the vote).

- 6.1 The Planning Officer introduced the report, as set out in the agenda. Reference was made to the addendum which set out the comments from the LBH Policy Team, Transportation, Design Review Panel, CABE and the ODA.
- 6.2 Councillor Desmond raised concern regarding the design of the building and felt that it should be a building of architectural significance and provide a significant legacy.
- 6.3 The Chair wished to clarify the issue of permeability and which sections of the building would be removed in legacy mode. The Planning Officer explained that he was still unsure on the East/West connection and had requested further information. The Chair requested that an informative be added to express the LBH's aspiration for greater permeability around the area. This was **AGREED**.
- 6.4 The Chair also asked whether the application included the provision of a green roof and the Planning Officer stated that little detail had been provided on sustainability and that he had requested further information. The Chair was keen to keep the sustainability credentials up and requested that an informative be added which listed what the Council expected in relation to BREEAM and sustainability. This was **AGREED**.

Unanimously RESOLVED that:-

The London Borough of Hackney (LBH) supports the principle of the Media Centre (MSCP, IBC, MPC) in the location proposed and the provision of employment floor space in Legacy;

The London Borough of Hackney objects to the proposed design and appearance of the MPC. The proposed facade treatment is considered to create a long monotonous appearance, with particular concern relating to the long frontage facing Hackney Wick. Materials are unclear with a long run of 'corrugated metal' type composite panel cladding not considered to be acceptable with submitted imaging of this cladding within the application documents portraying it as poor in quality and appearance. Furthermore, massing information has not been supplied to support the current proposal and it is considered that the MPC does not relate well to the scale of the existing residential built form nor to the surrounding open spaces within the Olympic Park;

The LBH objects to the provision of a permanent commercial building (MPC) that does not meet the sustainability aspirations required by the s106 of the Outline Planning Permission, and those expected within the London Plan and LBH emerging Core Strategy with regard to sustainable design and construction. Submitted documentation mentions a 'Roadmap' towards a BREEAM 'Excellent' rating in Legacy. No information, documentation or agreement has been submitted to give evidence of this.

INFORMATIVES

1. Further information is required regarding the massing of the proposed Media Centre complex (MSCP, IBC and MPC as a group of buildings). The submission of a massing study is requested for further comment by LBH on the proposal. It is suggested that the edges of the Media Centre complex evolve into a more refined urban form which could accommodate the specified uses but also provide a progressive transition between uses and urban forms;
2. Further information is requested regarding technical details outlining the technical feasibility to transform the two storey portion of the MPC into smaller commercial units;
3. The LBH objects to the provision of a permanent commercial building (MPC) that does not meet the sustainability aspirations required by the S106 of the Outline Planning Permission, and those expected within the London Plan and LBH emerging Core Strategy with regard to sustainable design and construction. Submitted documentation mentions a 'Roadmap' towards a BREEAM 'Excellent' rating in Legacy. No information, documentation or agreement has been submitted to give evidence of this. LBH expects the MPC to meet a rating of BREEAM 'Excellent' and a 20% reduction in carbon emissions through the use of renewable energy sources and use of low energy technology.
4. The LBH is concerned with the design quality, design lifespan, proposed materials and sustainability credentials of the IBC. This building has the

- potential to spark regeneration in accordance with LBH emerging policies. However, in its current configuration, it is difficult to perceive how the IBC will contribute to a meaningful Legacy aspiration.
5. Conditions LTD 1.28 and LTD 2 of the approved Outline Planning Permission relate to the removal of temporary buildings and timing of occupancy of permanent buildings post Games. If approval is granted to the IBC as a temporary structure, it would be assumed that the IBC would have to be removed relatively quickly post Games to appease these conditions adding to the likelihood that the IBC would not form part of any Legacy plan;
 6. The LBH would like to see the IBC designed and built with a longer lifespan and the flexibility in design to provide a high quality building and studio space. This should be undertaken on advice from potential end users to ensure a high quality and desirable building is left in Legacy;
 7. The future-proofing of the site should allow more flexibility and take on-board the themes and recommendations within the Hackney Wick and Fish Island masterplan with regards to connecting to Hackney Wick. East/West links should be designed to encourage their active use and provide direct access between Hackney Wick and the Media Centre site and through the Media Centre site. The Legacy configuration of the site and buildings will not be supported by the LBH if these themes compromise pedestrian and cyclist movements in these directions.
 8. The LBH believes it is paramount that the conversion strategy to the MSCP is produced now, prior to any decision being made on the Media Centre application. This document should include any new replacement development envisioned for the site;
 9. There is concern with how the Games time roads will be transformed into Legacy layouts (giving considerations to operational aspects such as servicing) especially with infrastructure that is unlikely to be changed during Legacy transformation (such as road pavements and utility corridors). It is considered that additional communication is required from the ODA at the current time for this purpose. This is needed to agree road layout, construction details and supervision of the construction;
 10. The submitted drawings refer only to the Games mode and it is unclear how the Legacy transformation access layout will appear. There are concerns that by approving this application it will be force the LBH into accepting this layout for Legacy when it may not have been appropriately designed for post Games use;
 11. Access to Eastway and A12 Lea Interchange - As this intersection is a key access point for the Legacy operation of the site it is assumed that the Legacy transformation road and junction layout is still being developed and will be reviewed in due course. It is noted that if previous layouts were to be adopted as part of the Olympic Legacy use, the applicant will need to submit a full Transport Assessment including a Transport Impact Assessment to the Council for approval. In its previous state, the layout was considered unacceptable and there is a fear that the proposed layout will cause serious adverse impacts to the surrounding area;

12. It is expected that the roads to be constructed within Hackney are to be built to Hackney specifications if they are likely to be proposed for adoption;
13. The Technical Report titled "*Accommodation for Loading and Unloading of Vehicles*" indicates that secure cycle parking will be provided at Victoria Park. The location and type of end of trip facility and pedestrian access route from Victoria Park to the Olympic Site is of interest to LBH.
14. The vehicular access route information provided indicates that both coaches and cars will exit the transit mall and the MSCP to Eastway and then return to the Olympic site's Northern access point via Eastway. LBH does not expect that MSCP vehicles will exit the IBC/MPC site to the left and head in a westerly direction via Eastway. If the application is approved, a condition to this effect is expected;
15. If Eastway is to be closed to public traffic, information should be provided as soon as possible to allow LBH to adequately plan for the road closure;
16. There are concerns about commenting on these proposals without a fuller understanding of the security overlay which could effectively undermine the basis of the application and our comments. The ODA needs to make every effort to ensure the security overlay is included within the application, even if this is indicative, with LBH requesting that this information be submitted prior to the application being considered;
17. When the final detailed design of all buildings on site is confirmed along with all noise mitigation measures, these should be made available to all statutory consultees for comment;
18. The application states that little information is available on the exact details of background (baseline) noise measurements made for Location 5a. The project provided a Baseline Noise and Vibration Monitoring Strategy which the results of should be used for this purpose. This would do away with any assumptions within the body of the submitted noise report (specifically Paragraph 3.22);
19. More certain proposals regarding noise associated with the temporary structures is also required. This would enable a more conclusive scenario to be built taking into consideration the cumulative impacts of all noise sources in order to provide any necessary mitigation measures;
20. Should the future strategy for building services in the MSCP require the use of mechanical plant, assessment for this should be done accordingly and made available to all statutory consultees for comment;
21. The LBH Pollution Team would like a report based on a BS 4142 assessment to be submitted when the final design details have been confirmed for all Legacy buildings and when all the plant equipment is in place;
22. Access arrangements and hours of the operation of the Loop Road are requested by LBH Pollution Team;
23. Connectivity is critical to the long term success of the Media Centre site.

- East/West links should be designed into any meaningful Legacy scheme. Any scheme that would compromise these east/west links would not be supported by the LBH;
24. The LBH expects the provision of playing fields on the Media Centre site in accordance with the s106 of the approved Olympic Planning Permission;
 25. The LBH would reiterate its stance that Olympic venues should be looking to reduce car parking numbers as much as possible. This is the view LBH has always taken;
 26. When approaching the site on the A12, the rear of the MSCP is the dominant view. Careful consideration of the transformation of this building in Legacy is paramount to providing an acceptable vista onto the Media Centre site. More detail on the transformation of this building is requested;
 27. The ODA has reconfigured the site several times with the most recent relocating the catering village and satellite farm within the site. Therefore, any amendment to the site layout to provide a quality development should be explored rather than dismissed;
 28. The LBH Design Team, Design Review Panel and CABE have all identified the external appearance of proposed buildings to be unacceptable. It is disappointing that the ODA's response to this requests that a condition be placed on a decision (should the ODA Committee be minded to grant planning permission)requiring further exploration of cladding types to improve the external quality of buildings in Legacy. The LBH expects that as a reserved matters application, details as fundamental as cladding are subject to any approval and therefore does not consider this alternative an acceptable solution or response to those design concerns raised;
 29. The Legacy reconfiguration of the MSCP needs to be seriously considered at this stage of the development. To say that a condition of the Outline Planning Permission only requires it at a later date does not reflect a desire to holistically address all site issues with anything approved at this stage potentially compromising any flexibility in Legacy;
 30. The draft LMF does not consider 'Higher Education Use' on-site as the longer term Legacy vision. LBH considers this response by the ODA as an appropriate use to undermine the Legacy aspirations of the Borough;
 31. The potential pillar free studio spaces within the IBC of 10,300 and 12,400 sq.ft would not meet modern studio requirements as they are rectangular in shape (not square) with ceiling heights required to be 12m and not the 9.5m as proposed.

7 53A CARYSFORT ROAD, LONDON, N15

2007/0864 - Discharge of condition 4 (details of refuse storage) of planning permission 2002/1953 dated 20th February 2004.

- 7.1 The Planning Officer introduced the report, as set out in the agenda and read out a letter of objection received from Councillor Alcock, on behalf of residents.
- 7.2 Mr Cutler spoke in objection to the scheme, his comments are summarised as follows:
- Circulated a copy of photos and a ground floor plan, illustrating his concerns, to Members at the meeting.
 - The bin storage proposed was noWsmaller than originally proposed – 660 litres.
 - The smell generated by the bins will be offensive to residents.
 - Raised the issue of leaseholders being sold the right to use the bin store, with no documentation to support this.
 - Concerned that the bins will be used by other people in the locality.
 - Seek compliance with the original approved plans, which included the provision of a bin enclosure.
 - Waste management had confirmed that the previously approved bin store area could still be used.
- 7.3 The Planning Officer explained that the recommended distance for bin collection was 10m maximum and that the original storage area was too far away to be collected. He added that the development had commenced without the conditions being adhered to and that the previously approved bin storage area was now private land.
- 7.4 Members felt that a resolution could not be made on this application until the outstanding bin storage issues had been resolved. It was therefore:

RESOLVED that:

The application be DEFERRED, to allow the issues surrounding the bin storage to be resolved.

8 95-99 STAMFORD HILL, LONDON, N16 5DN

2008/2402 - Variation of condition 10 (hours of use) of planning permission reference 2007/0396 for the Synagogue between 09:00 hours and 23:00 hours to read between 07:00 hours and 23:00 hours on any day.

- 8.1 The Planning Officer introduced the report, as set out in the agenda. Reference was made to the addendum which detailed revised drawings and late representations from two local residents, traffic and transportation and also Transport for London. The responses to these representations were also set out within the addendum.
- 8.2 There being no questions from Members, the Chair moved to the vote.

Unanimously RESOLVED that:-

A) Planning permission be GRANTED subject to the following conditions:

1. SCB1N - Commencement within 3 years

The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

REASON: In order to comply with the provisions of the Town and Country Planning Act 1990 as amended.

2. SCB0 - Development only in accordance with submitted plans

The Development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

**3. SCM9 - No extraneous pipe work
SRM9**

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved

**4. SCH10 - Provision for cycles
SRH10**

Space shall be made available for the secure parking of 20 cycles within the site/development/ building before the use is first commenced.

5. G1 - Restricted Hours of Use

The Synagogue hereby permitted may only be carried out between 07:00 hours and 23.00 hours on any day.

6. G1 - Restricted Hours of Use

The Offices hereby permitted may only be carried out between 08:30 hours to 18:00 Monday to Friday.

7. G1 - Restricted Hours of Use

The Community Use hereby permitted may only be carried out between 09.00 hours to 23.00 hours on any day.

8. SCM6 - Materials to be approved (General)

Details, including samples, of materials to be used on the building, boundary walls and ground surfaces shall be submitted to and approved by the Local Planning Authority in writing before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

9. SCM7 - Details to be approved

Detailed drawings/full particulars of the proposed development showing the matters set out below must be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

Details of Windows and Doors (Including sections)

Details of Green Roof

Details of Front Railings

10. **SCM11 - Modification of Plans**
Drawing number SH/PLO2 Rev A shall be amended to show a minimum access width of 1.2metres on both sides of each disabled parking bay.
11. **SCR4 - Residential Units Wheelchair Standards**
The housing units proposed to be located on the ground floor must be designed to wheelchair standards and be in accordance with details to be submitted to and approved by the local Planning Authority.
12. **SCR2 - Dustbin Enclosures**
Details of dustbin and recycling enclosures showing the design, location and external appearance, shall be submitted to and approved by the Local Planning Authority, in writing, before the use/development commences. The development shall not be carried out otherwise than in accordance with the details thus approved.
13. **T1 - Landscaping scheme**
A landscaping scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, for the planting of trees and shrubs showing species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed; all landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.
14. **NS01 - Non-Standard**
The applicant is to provide a detailed noise assessment of all potential noise sources, which may affect the proposed development. Daytime & night-time measurements should be taken during normal operation for each source. The report, (to include, but not limited to, a detailed sound insulation scheme) along with any proposed remedial measures, should be submitted for the approval of the Pollution Group prior to the commencement of any works.

REASON: To ensure the proposal is acceptable for the occupants.

B) That the landowners and their mortgagees enter into a deed of planning obligation by means of a planning agreement pursuant to Section 106 of the Town and Country Planning Act 1990 (As amended) with the Council as the Local Planning Authority in order to secure the following matters to the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

1. Education Contribution: The landowner/developer/mortgagee will contribute £48,610 for the purpose of providing education and/or training initiatives for the residents of the London Borough of Hackney.
2. Affordable housing: To secure the provision of 100% of habitable units as affordable housing with a tenure mix of 30 % shared ownership and 70 % socially rented.

3. Car Free Development: The owner for themselves and their successors in title to the residential units hereby waive all right and entitlement on the part of the owner and the successors in title to either of them to a Residents Parking Permit in respect of the property (unless the Resident concerned becomes entitled to a Disabled Person's Badge or unless the resident parking permit is for an electronically powered vehicle).

Section 278 – Highways Contribution

1. The owner will be required to enter into agreement under Section 278 of the Highways Act to pay the Council costs to reinstate and improve the public footways adjoining the site at Colberg Place and include any measures for the relocation of street furniture and carriageway markings.

INFORMATIVES

The following Informatives should be added:

- SI Reason for approval:

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission:

EQ1 Development Requirements, HO3 Other Sites for Housing, TR19 Planning Standards, CS2 Retention of Community Facilities as part of Development Schemes, CS7 [Sites and premises for Community and Voluntary Projects], CS8 [Places of Religious Worship], CS9 [Provision of Childcare Facilities], Policy 4B.1 [Design principles for a compact city], Policy 3A.3 [Maximising the potential of sites], 4B.8 Respect local context and communities London Plan 2008.

- SI.1 Building Control

Your attention is drawn to the provisions of the Building Act 1984 and other Building Control legislation, which must be complied with to the satisfaction of The Planning and Transportation Service, Dorothy Hodgkin House, 12 Reading Lane, London, E8 1HJ. Telephone No: 020 8356 5000. Before any building work (including improvements to means of escape and changes of use) is commenced on site, detailed plans, together with the appropriate application form must be submitted for approval and early consultation is advised.

- SI.2 Works affecting Public Highway

The Highways and Engineering Team, Environment Services Division, Dorothy Hodgkin House, 12 Reading Lane, London, E8 1HJ, Telephone 0208 356 5000, should be consulted regarding any works to, on or under the public highway, including vaults and thresholds, vehicle crossing, access, parking and sight lines. Any vehicle crossing works are to be carried out by the London Borough of Hackney (concerning Colberg Place) and Transport for London (concerning Stamford Hill)

The developer/landowner will be responsible for all costs relating to the closure of existing vehicular and pedestrian accesses to the site, the construction of new accesses and the reinstatement and repair of public footways where they adjoin the site boundaries.

S3 Hours of Building works

Your attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 which imposes requirements as to the way in which building works are implemented including the hours during which the work may be carried out. This Act is administered by the Councils Pollution Control Service, 205 Morning Lane, London, E9 6JX (Telephone: 020 7356 5000) and you are advised to consult that Division at an early stage.

SI.3 Sanitary, Ventilation, and Drainage Arrangements

Before any drainage works are commenced on site, detailed plans, giving notice of intention to build/permission to drain/construct/reconstruct or alter pipes and drains must be submitted for approval under the Building Regulations 1991 to the Planning and Transportation Service, Dorothy Hodgkin House, 12 Reading Lane, London, E8 1HJ, Telephone No: 020 8356 5000. Please note that it will be necessary to consult the Thames Water Utilities Ltd., Waste Water Connections, Kew Business Centre, Brentford, Middlesex, TW8 0EE. Telephone No: 020 7713 3865, Fax No: 020 7713 3875.

- 1) All information appertaining to the existing public sewerage system.
- 2) Requests for sewer connections. All works will be carried out by the London Borough of Hackney at the applicant expense. All new developments will be required to have new sewer connections.
- 3) Building over sewers.
- 4) System of drainage to be provided on site.
- 5) Adoption of sewers.

Advisory Note:

It should be noted that most sewers throughout the Borough flow full or surcharge during periods of heavy storm and conditions may be imposed restricting discharge to the system. The prime condition is that any large development shall not cause an increase in the rate of flow to the public sewerage system. This requirement is normally met in the case of new developments by separation on site and storage of surface water flows in tanks or oversized pipes on sites. Where sites adjoin a suitable watercourse or storm relief sewer into which surface water can be discharged by gravity then the policy is for sites to be separated and have their surface water discharged to the watercourse or storm relief sewer. In the case of developments/rehabilitation/ conversions etc., involving the use of basements these are likely to be particularly vulnerable to the effects of surcharge and applicants must therefore demonstrate that adequate drainage arrangements exist at all times.

9 **38-50 ARCOLA STREET, LONDON, E8 2DJ**

2009/0469 - Section 73 application to vary condition 14 (alterations to roof finish) and vary condition 17 (to allow railings to be positioned at a distance of not less than 0.6 Metre from edge of building) of planning permission 2006/3061 dated 20/03/2007 for:- Construction of part 5 storey L- shaped Block containing 22 affordable residential units (4x 1 beds, 12 x 2 beds, and 1x3 beds 5 x 4 bed) and 320 square metres of B1 floor space on the ground floor together with the demolition of existing light industrial (B1) building.

NB: Members are requested to note that the matters under consideration are modifications to a previously approved planning application ref: 2006/3061, consisting of the following;

- Removal from the proposal of a 260sqm extensive 'Accessible Green Roof' and its substitution with a 86sq.m 'Sedum Roof' and an area of 'timber decking of 102sq.m which would be accessible 'roof terrace amenity area' for residents. This is contrary to the requirements of condition 14 which requested construction details of the extensive green roof.
- Re-positioning of the railing which surrounds the accessible roof so it is between 0.6m and 1.3m from the edge of the building. This is contrary to the requirements of condition 17 which required all railings to be at least 2.0m from the edge of the building.

POST REVISION SUBMISSIONS:

Additional information has been requested and received as part of the application process to include:

- Additional justification and clarification for the reason of the application (email dated 14 April 2009)
- Improvements and details of the 'roof terrace amenity area' (timber decking) to include provision of permanent planters and seating incorporated into the design
- Full design details of the railings, and cross-sections to aid analysis of the relationship with adjoining properties

9.1 The Planning Officer introduced the report, as set out in the agenda.

9.2 Reference was made to the modifications made to the previous application, in particular the removal of the 260sqm extensive 'Accessible Green Roof' and its substitution with a 86sq.m 'Sedum Roof'. It was explained that this had been removed as the Housing Association were not aware at the time that the building could not support a fully accessible green roof.

9.3 A question was also raised regarding the balconies and why galvanized steel was being proposed and whether glass could be used which would be less obtrusive. The applicant explained that this had been previously considered however, due to structural system issues, galvanized steel had been chosen as glass would have been too heavy. The Chair requested that best endeavours be made for glass to be used on the balconies. This was **AGREED**.

Unanimously RESOLVED that:-

A) Planning permission be GRANTED, subject to the following conditions variation of Condition 14 and 17 of planning permission 2006/3061, as follows:

1. (SCB1N) 'The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

REASON: In order to comply with the provisions of the Town and Country Planning Act 1990 as amended.'

2. (SCD2) 'All provisions and facilities to be made for people with disabilities as shown on the plans and details hereby approved shall be implemented in full to the satisfaction of the Local Planning Authority before the use is first commenced.

REASON: In order to ensure that access and facilities for people with disabilities are provided in order that they make full use of the development.'

3. (SCI3) 'No roof plant, including all external enclosures, machinery and other installations shall be placed upon or attached to the roof or other external surfaces of the building.

REASON: In the interests of maintaining an acceptable appearance of the building.'

4. (SCH10) 'Space shall be made available for the secure parking of 22 cycles and within the site/development/building before the use is first commenced.

REASON: To ensure that a reasonable provision is made within the site for the parking of cycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.'

5. (SCM6) 'Details, including samples, of materials to be used on the building, boundary walls and ground surfaces shall be submitted to and approved by the Local Planning Authority in writing before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.'

6. (SCM9) 'No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.'

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.'

7. (SCM11) 'Detailed drawings showing the following modification(s) to the scheme shall be submitted to and approved by the Council before any work is commenced on site:

Revised details of the design and external appearance of the Arcola Street elevation, to reflect a better relationship between the corner articulation, the residential fenestration, the balance and composition of the façade, and any related alterations to floor plans;

Improvements to the composition and design of the ground floor elevations to create a stronger relationship with the upper storeys and a stronger corner presence;

Alternative cladding materials

This part of the development shall be completed only in accordance with the modification(s) thus approved.

REASON: The application is considered unsatisfactory in the form shown on the drawings submitted to date and this aspect of the scheme should be modified to ensure an acceptable form of development.'

8. (SCR2) 'Details of dustbin enclosures showing the design, location and external appearance, shall be submitted to and approved by the Local Planning Authority, in writing, before the use/development commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: In order to provide for adequate bin enclosures in the interest of the appearance of the site and area.'

9. (SCS1) 'Details of the proposed shopfront on drawings of a suitable scale, together with materials used in construction, shall be submitted to and approved by the Local Planning Authority in writing before any work is commenced on this part of the development. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the design of the shopfront is not detrimental to the appearance of the building.'

10. (SCS2) 'No roller shutters other than of the perforated grille type shall be installed on the premises. Details of any proposed perforated grille shutter on drawings of a suitable scale shall be submitted to and approved by the Local Planning Authority in writing; and no shutter shall be installed otherwise than in accordance with the details thus approved.

REASON: To ensure that the premises maintain an appropriate contribution to the streetscene, in order to safeguard visual interest, an attractive shopping environment, and on-street amenity generally.'

11. (SCT1) 'A landscaping scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, for the planting of trees and shrubs showing species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed; all landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months

from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

12. (SCT2) 'The landscaping scheme hereby approved as part of the development shall be carried out within a period of twelve months from the date at which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and in the interests of the appearance of the site and of the area generally.'

13. (SCG10) 'No development shall take place until details and results of a soil contamination survey of the site and details of remedial measures proposed to treat/eradicate any contamination found have been submitted by the applicant and approved by the Local Planning Authority in writing. The survey shall be carried out by a suitably qualified person or body to be agreed by the Council. The development shall not take place otherwise than in accordance with the details so approved.

REASON: To ensure that the condition of the site is suitable for the development proposed and to ensure a reasonable quality of natural environment, in order to safeguard future occupiers and users of the site.'

14. (SCT3) 'No development will take place on site until full details of tree protection have been submitted to, and approved in writing by, the Council and until such approved protection has been erected on site.

Tree protection will be in accordance with BS5837:2005 (Trees in relation to construction - Recommendations) and will protect the root protection area calculated as described in Table 2 of that British Standard.

The protective fencing will be 2.4m high and conform to Figure 2 of BS5837:2005 i.e. a scaffold framework comprising a vertical and horizontal framework, well braced to resist impacts, with vertical tubes spaced at a maximum interval of 3m. On to this weldmesh panels should be securely fixed with wire or scaffold clamps.

REASON: In order to protect the existing trees during building operation and site works.'

15. (NSC) The development shall not be occupied, until the sedum roof and accessible roof ('timber decking') as shown on the plans hereby approved have been provided, and the sedum roof and accessible roof shall be maintained as such unless otherwise agreed in writing with the Local Planning Authority.

REASON: To enhance the character and ecology of the development, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage, to enhance the performance and efficiency of the proposed building and to enhance the amenity of residents of the development.

16. (NSC) 'Full details of renewable energy provision as proposed shall be submitted and approved in writing by the Local Planning Authority before any building works commence. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the development achieves the level of renewable energy provision on site as proposed.

17. (NSC) 'The B1 floorspace forming part of this development shall be used for B1 use only and for no other purpose.

REASON: To ensure that a sufficient level of B1 floorspace is provided and maintained in this development.'

18. (NSC) 'The development shall not be occupied, until the roof terrace balustrade as shown on the plans hereby approved have been provided, and the balustrade should be maintained as such unless otherwise agreed in writing with the Local Planning Authority.

REASON: To ensure the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area and to ensure that the positioning of the roof terrace balustrade does not facilitate overlooking of adjoining sites and premises'.

19. Notwithstanding the details hereby approved, prior to the occupation of the development, further details shall be submitted to and approved in writing by the Local Planning Authority of the materials to be used for the railings/balustrade of the roof terrace. Best endeavours should be used for the balustrade to be glazed instead of galvanised steel railings.

REASON: To ensure a good design quality for the development is achieved.

B) That the above recommendation be subject to the applicant, the landowners and their mortgagees enter into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended) in order to secure the following matters to the satisfaction of the Interim Assistant Director (Planning) and Interim Head of Legal Services:

1. To secure the provision of 100% of habitable rooms as affordable housing with a tenure mix of 27% socially rented and 73% intermediate. The dwellings to comprise shared ownership; 4 x 1 bedroom, 12 x 2 bedroom and Socially Rented; 1 x 3 bedroom and 5 x 4 bedroom.

2. Contribution of £47,507.00 towards education.
3. The signing of a Section 278 legal agreement under the Highways Act to pay the Council to reinstate and improve the footway adjacent to the boundary of the site, and include if required, any access to the Highway, measures for street furniture relocation, carriageway markings, access and visibility safety requirements. Unavoidable works required to be undertaken by Statutory Services will not be included in London Borough of Hackney estimate or payment.
4. On occupation, the owner should provide the residents with a handbook detailing local public transport services and walking routes to schools in the area, to help achieve sustainable development.
5. No Residents' Parking Permits.
6. Best endeavours to provide local labour on site.
7. B1 to be fitted out to shell and prior to the occupation of the residential units.
8. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.

REASON FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 – Development Requirements; EQ48 – Designing out Crime; TR19 – Planning Standards.

The following policies contained in the London Plan 2008 (Consolidated with Alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 – Sustainability Criteria; 4A.1 – Tackling Climate Change; 4A.3 – Sustainable Design and Construction; 4A.11 - Living Roofs and Walls; 4A.14 - Sustainable Drainage; 4B.1 – Design Principles for a Compact City.

INFORMATIVES

The following Informative should be added:

- (i) SI1 Building Control
- (ii) SI2 Works Affecting Public Highway
- (iii) SI3 Sanitary, Ventilation and Drainage Arrangements
- (iv) SI7 Hours of Building Works
- (v) SI8 Soundproofing
- (vi) SI19 Health, Safety and Welfare at Work
- (vii) SI24 Naming and Numbering
- (viii) SI27 Fire Precautions Act
- (ix) SI28 Refuse Storage and Disposal Arrangements

- (x) SI33 Removal of Asbestos
- (xiv) The applicant is reminded that due to the sensitive nature of the site the Council wish to see the general quality of the design maintained and the highest quality materials should be used throughout the scheme

10 55 PITFIELD STREET, LONDON, N1 6BU

2009/0521 - Part-demolition of existing building (with façade retention) and erection of a new part-two, part-four-storey building (plus two basement levels) to provide a two-screen cinema and associated facilities, including café, event/presentation space, office accommodation and data-storage facility (modification of planning permission ref. 2005/2637).

(Councillor Sharer arrived during the discussion of the item and therefore did not take part in the vote).

- 10.1 Councillors Stops and Hanson both wished to note that they recognised the architect from the labour party group but did not feel it was necessary to declare a personal interest.
- 10.2 The Planning Officer introduced the report, as set out in the agenda.
- 10.3 Jasia Szerszynska and Janet Scott spoke in objection to the scheme, their comments are summarised as follows:
 - Felt that consultation took place too late in the process.
 - The proposed development was too bulky and in an inappropriate location.
 - The surrounding roads will also be adversely affected by the development.
 - Loss of sunlight and privacy to surrounding properties.
 - Noise pollution with the late night cinema and 24 hour air conditioning system.
 - The development will also adversely impact people that work from home in the neighbouring properties.
 - The area is not served well by public transport.
 - Extend an invitation for Members of the Sub-Committee to attend the site before making a decision on the application.
 - Increase in height in respect of the existing building, which contributes to loss of daylight, outlook and shadowing.
 - Two previous applications on the site had been refused on the grounds of bulk/mass.
- 10.4 Charles Moran (Shoreditch Trust) and Hugh Gorban (Architect) spoke in support of the scheme, their comments are summarised as follows:
 - The application had previously been approved in 2006 and the revised application incorporated a number of additional facilities.
 - The bulk/scale of the proposed development was unchanged from the previously approved application, which was now marginally smaller at the rear.
 - The objections received during the consultation stage had been taken into consideration.
 - The scheme formed a key element of the Shoreditch Trust Delivery Plan.

- 10.5 The main differences between the previously approved scheme and the new application were detailed on page 255 of the report.
- 10.6 In response to questions raised regarding the perceived use of the building and parking, the applicant stated that this was a commercial venture that met the needs of local communities and that it was a car free development, as it was viewed as a local facility.
- 10.7 Reference was made to the issue of rainwater harvesting and the Planning Officer explained that this was covered by way of a condition. The applicant stated that they were restricted by the size of the site and that they would make best endeavours for this to be provided.

Unanimously RESOLVED that:-

A) Planning permission be GRANTED, subject to the following conditions:

1. SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

2. SCB1 – Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

3. SCM6 – Materials to be approved

Details, including samples, of all materials to be used on the external surfaces of the building, boundary walls, railings and ground surfaces shall be submitted to and approved by the local planning authority, in writing, before work on the external surfaces, boundary walls and ground surfaces commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

4. SCM9 – No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

5. SCI3 – No roof plant

No plant (including all external enclosures, machinery and other installations; excluding solar water-heating and/or photovoltaic cells) shall be placed upon or attached to the roof or other external surfaces of the building, other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

6. SCH10 – Secure bicycle parking

Internal lockable space shall be made available within the development for the secure parking of eight bicycles, before use of the development first commences.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.

7. SCN1 – Soundproofing (details to be approved)

Full particulars and details of provisions for soundproofing between all external walls and an assessment of the noise levels likely to be produced between the office accommodation and the cinema, and between the cinema and the neighbouring residential accommodation, shall be submitted to and approved by the local planning authority, in writing, before the commencement of works on site, and subsequently installed in the building in a satisfactory manner, before the development is first occupied/use commenced.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

8. SCL6B – Original features to be retained (general)

All existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrading shall remain undisturbed in their existing position and shall be fully protected during the course of works on site, unless specifically authorised otherwise on the drawings hereby approved.

REASON: To ensure that those features which contribute to the special architectural and historic interest of the building are retained.

9. SCG10 – Soil contamination survey/treatment

No development shall take place until details and results of a soil contamination survey of the site and details of remedial measures proposed to treat/eradicate any contamination found have been submitted by the applicant and approved by the local planning authority in writing. The survey shall be carried out by a suitably qualified person or body to be agreed by the Council. The development shall not take place otherwise than in accordance with the details so approved.

REASON: To ensure that the condition of the site is suitable for the development proposed and to ensure a reasonable quality of natural environment, in order to safeguard future occupiers and users of the site.

10. SCR8 – Obscured glazing

The large rectangular window on the south elevation at second floor level shall be permanently glazed in obscured glass and kept fixed shut.

REASON: To safeguard against overlooking of adjoining sites and premises.

11. SCM10 – Erection of boundary fence/wall

Before the commencement of the use of the building hereby permitted, a gate shall be constructed and permanently retained at the Buttesland Street entrance to the site together with the installation of security lighting, and details of the said gate and lighting shall be submitted to approved by the local planning authority, in writing, before its construction.

REASON: To ensure that the site is secured.

12. NSC1 – Non-standard condition

A biodiverse, substrate-based extensive green roof (100mm minimum depth) is to be established on the roof of the proposal. Full details thereof shall be submitted and approved in writing by the local planning authority, prior to occupation. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development and the river corridor, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage and to enhance the performance and efficiency of the proposed building.

13. NSC2 – Non-standard condition

A rainwater harvesting system shall be installed and details thereof shall be submitted to the local planning authority and approved in writing before occupation of the development hereby approved first commences.

REASON: In the interests of maximising the environmental performance of the building.

14. NSC3 – Non-standard condition

Full details of dustbin enclosures showing the design, location, waste separation, recycling facilities and external appearance, shall be submitted to and approved by the local planning authority, in writing, before the development commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: In the interest of sustainable waste disposal.

15. NSC4 – Non-standard condition

Details of an environmental plan, shall be submitted to and approved by the local planning authority prior to development, which demonstrates how dust emissions from the site, traffic and plant during the construction phase will be controlled.

REASON: The site lies within the borough's air-quality management area, and in the interests of maintaining a reasonable natural environment.

16. NSC5 – Non-standard condition

Doors and windows to the cinema must be kept closed whilst films are being shown and amplified music is being played, and there shall be no noise audible from amplified audio recordings at the boundary of the premises at any time.

REASON: In the interests of residential amenity.

17. NSC6 – Non-standard condition

Full details of mechanical ventilation equipment and air conditioning units, shall be submitted to and approved by the local planning authority, showing how these units are positioned, designed and acoustically insulated so as not to cause noise disturbance or affect the amenity of neighbouring residents.

REASON: In the interests of residential amenity.

18. NSC7 – Non-standard condition

Details of how the first-floor space is to be demarcated between the four uses indicated on the proposed first-floor plan (drawing no. 1-340.P.101), comprising event space, a private cinema, terrace café and flexible workspace, shall be submitted to the local planning authority and approved in writing before use of the development hereby approved first commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: In order to establish the distribution of uses on the first floor.

B) The above recommendation be subject of the applicant, the landowners and their mortgagees entering into a deed of planning obligation by means of a Section 106 Agreement of the Town and Planning Act 1990 (as amended), in order to secure the following matters to the satisfaction of the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

1. Payment by the landowner/developer of £1494.00 as a financial contribution towards Council library facilities. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)
2. Payment by the landowner/developer of £442.80 as a financial contribution towards open space in the borough. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)
3. Provision by the landowner/developer for the use of local labour on site during the construction phase.
4. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
5. The applicant is to carry out all works in accordance with the National Considerate Constructors Scheme.

6. For all contracts with a value in excess of £5 million, payment by the landowner/developer of £3750.00 towards the cost of NVQ training (to secure more skilled employment for the construction industry sector).

REASONS FOR APPROVAL

1. The following policies contained in the Hackney Unitary Development Plan (1995) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 - Development Requirements; ACE1 - New Arts, Culture and Entertainment Development; ACE2 - Promoting the Development of New Arts, Culture and Entertainment Facilities; ACE8 - Planning Standards; TR19 - Planning Standards.
2. The following policies in the London Plan (Consolidated with Alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 - Sustainability criteria; 3C.2 - Matching development to transport capacity; 3C.17 - Tackling congestion and reducing traffic; 3C.23 - Parking strategy; 3D.4 - Development and promotion of arts and culture; 4A.1 - Tackling climate change; 4A.3 - Sustainable design and construction; 4A.4 - Energy assessment; 4A.6 - Decentralised energy: heating, cooling and power; 4A.7 - Renewable energy; 4A.11 - Living roofs and walls; 4A.14 - Sustainable drainage; 4A.16 - Water supplies and resources; 4B.1 - Design principles for a compact city; 4B.2 - Promoting world-class architecture and design; 4B.3 - Enhancing the quality of the public realm.

INFORMATIVES

The following Informatives should be added:

- | | |
|-------|---|
| SI.1 | Building Control |
| SI.2 | Work Affecting Public Highway |
| SI.3 | Sanitary, Ventilation and Drainage Arrangements |
| SI.6 | Control of Pollution (Clean Air, Noise, etc.) |
| SI.7 | Hours of Building Works |
| SI.25 | Disabled Person's Provisions |
| SI.27 | Regulatory Reform (Fire Safety) Order 2005 |
| SI.28 | Refuse Storage and Disposal Arrangements |
| SI.34 | Landscaping |
-
- | | |
|-------|--|
| NSI.1 | All materials submitted pursuant to the discharge of condition 3 of this approval should be supplied and delivered at the same time in a container clearly marked with the address of the application site, reference to the application number 2009/0521, and accompanied by coloured copies of relevant elevational drawings, to which each material sample should be clearly referenced and labelled accordingly. Full specifications detailing each material's manufacturer and colour (as per manufacturer's description/name thereof) should also be submitted at the same time. |
|-------|--|

NSI.2 This decision notice is accompanied by a Section 106 legal agreement. It shall be implemented in full accordance with the details of that agreement.

11 **10 SHACKLEWELL ROAD, LONDON, N16 7TA**

2008/2628 - Demolition of existing buildings and erection of a six-storey building and a part-two-, part-three-, part-four-, part-five-storey building, containing a total of twenty-seven residential units (nine one-bedroom units, eleven two-bedroom units, two three-bedroom units and five four-bedroom units), together with associated access and landscaping works.

POST-SUBMISSION REVISIONS: Rear block set back further to the west to allow wider external corridor; revisions to room sizes; increase in carbon-dioxide-emissions reduction from ten per cent to twenty per cent.

11.1 The Planning Officer introduced the report, as set out in the agenda.

11.2 Niki D spoke in objection to the scheme, her comments are summarised as follows:

- Spends a large amount of time working from home and will be adversely affected by the noise generated by the construction works.
- Requested that the applicants pay for double glazing at her property to reduce the amount of noise.
- The proposed development is too excessive and represents overdevelopment.
- The proposed development will dominate the neighbouring buildings.
- Loss of daylight.
- Issue regarding the party wall and whether this was being protected.
- Requested that the development be reduced from 6 to 5 storeys high.

11.3 Alison Whalley (Agent) spoke in support of the scheme, her comments are summarised as follows:

- The existing buildings were of industrial use and were in a poor state and unviable for future business use. Residential use for the properties was deemed appropriate.
- The site was an awkward shape which proved to be a design challenge.
- The proposed design promoted permeability throughout the site and the buildings step back from the road, as a way of respecting the surrounding area.
- There was no adverse loss of daylight to any of windows within the development and the nearest building to the rear was a sufficient distance away not to be adversely affected.
- The construction work would take place during normal working hours and the Considerate Constructor Scheme would be adhered to. A screen would also be erected between the construction site and the local residential properties, during the construction phase.

11.4 It was clarified that the party wall issue was a matter to be discussed between the resident and the developers and it was confirmed that there was an existing walkway between the resident's property and the party wall.

- 11.5 The Chair raised the issue of parking and the fact that the availability of on-street disabled parking spaces for use by residents of the site could not be guaranteed.
- 11.6 In response, the agent stated that this was not ideal but that the site was too constrained for off street parking to be provided and that this was the best solution possible.
- 11.7 The Chair requested that a survey be undertaken by the applicant to determine the demand for disabled parking and whether this had been satisfied. This was **AGREED**.
- 11.8 Councillor Webb raised concern regarding the blank brick flank wall proposed, which did not include the provision of any windows and requested details on how this was going to be articulated.
- 11.9 The agent and architect stated that they had looked into a number of options for this wall and had decided to not provide windows in order to not jeopardise any future development on the adjoining land, owned by the Council, by creating an issue of overlooking.
- 11.10 Members requested that a condition be added for discussions to take place between the Council's design team and the architects for some interesting articulation to be added to the flank wall. This was **AGREED**.

Unanimously RESOLVED that:-

A) Planning permission be GRANTED, subject to the following conditions:

1. SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved, except units B_6 (drawing PL_202 rev. P2) and B_8 (drawing PL_203 rev. P2), and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

2. SCB1 – Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

3. SCM6 – Materials to be approved

Details, including samples, of all materials to be used on the external surfaces of the building, boundary walls, gates and ground surfaces (including drainage arrangements) shall be submitted to and approved by the local planning authority, in writing, before work on the external surfaces, boundary walls, gates and ground surfaces commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

4. SCM9 – No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

5. SCI3 – No roof plant

No plant (including all external enclosures, machinery and other installations; excluding solar water-heating and/or photovoltaic cells) shall be placed upon or attached to the roof or other external surfaces of the building, other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

6. SCH10 – Secure bicycle parking

Lockable space shall be made available within the site for the secure parking of thirty-two bicycles, before the first occupation of the development.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.

7. SCH14 – Closure of existing access

The existing access to the site shall be closed permanently when the use of the new access shown on the plans hereby approved is/are provided and in use.

REASON: To confine access to the permitted point(s) in order to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

8. CLS1 – Main contaminated land condition

With reference to paragraphs (1)-(5) below, work shall be completed and reporting produced by a competent person/company in line with CLR11 (published by the Environment Agency) and other current best practice guidance. All reporting must be provided in both a paper and electronic format. Both the Pollution Section and local planning authority must receive verbal and written notification at least five days before investigation, remediation and development works commence.

(1) Before any remediation work, enabling works or development commences at the site a desk study report including full details of Site reconnaissance, and a report containing full details of site investigation and risk assessment work shall be produced to the satisfaction of and approved in writing by the Pollution Section.

(2) Before any remediation work, enabling works or development commences at the site a remediation-strategy report shall be produced to the satisfaction of and approved in writing by the Pollution Section. The remediation-strategy

report shall incorporate an options appraisal, implementation and verification plans and include comprehensive details of groundworks and development works to be completed at the site. The remediation-strategy report shall clearly distinguish between remediation to be completed before development commences and remediation to be completed during and/or after development.

(3) Before any development commences a verification report for remedial works that shall take place pre-development shall be produced to the satisfaction of and approved in writing by the Pollution Section. The verification report must also include full details of a watching brief kept by the developer and their on-site agents including documented observations and photographs of the remediation.

(4) Before occupation/use commences a final verification report for remedial works that will take place during enabling works and development shall be produced to the satisfaction of and approved in writing by the Pollution Section. The verification report must also include full details of a watching brief kept by the developer and their on-site agents including documented observations and photographs of the remediation and groundworks phases of the enabling works and development.

(5) Any post-remedial monitoring reports shall be produced as specified within the remediation report, or as otherwise required by the Pollution Section.

Any additional, or unforeseen contamination encountered shall be immediately notified to the Pollution Section and local planning authority, and dealt with as agreed with the Pollution Section. Occupation/use of the development shall not commence until this condition has been discharged in writing by the local planning authority following the satisfactory supply of information in line with stages (1)-(5) and upon completion of any other works required by the Pollution Section and/or local planning authority. Subject to written approval by the Pollution Section and/or local planning authority, the condition may be varied, or discharged in agreed phases.

REASON: To protect the end users of the development, any adjacent land user(s) and the environment from contamination in line with Planning Policy Statement 23 (published by the Office of the Deputy Prime Minister).

9. NSC1 – Non-standard condition

A biodiverse, substrate-based extensive green roof (100mm minimum depth) is to be established on the roof of the proposal. Full details thereof shall be submitted and approved in writing by the local planning authority, prior to occupation. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development and the river corridor, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage and to enhance the performance and efficiency of the proposed building.

10. NSC2 – Non-standard condition

A rainwater harvesting system shall be installed and details thereof shall be submitted to the local planning authority and approved in writing before occupation of the development hereby approved first commences.

REASON: In the interests of maximising the environmental performance of the building.

11. NSC3 – Non-standard condition

Reasonable endeavours shall be undertaken to locate street lights to the highway immediately adjoining the site onto the face of the building hereby approved.

REASON: To safeguard visual amenity and assist with the provision of a less cluttered public realm.

12. NSC4 – Non-standard condition

Provision is to be made within the site for seven 1100-litre Euro bins (five for residual waste and two for co-mingled recycling), with details of the interior (configuration of receptacles) and exterior (detailed design and facing material) of the bin store to be submitted to the local planning authority and approved in writing prior to first occupation of the site.

REASON: In the interest of encouraging recycling provision and upholding the Council's sustainability objectives.

13. NSC5 – Non-standard condition

Details of the internal reconfiguration of units B_6 (drawing PL_202 rev. P2) and B_8 (drawing PL_203 rev. P2) showing single bedrooms of a minimum width of 2.13 metres, with all other habitable rooms remaining compliant with the minimum standards set out in SPG1: New Residential Development, shall be submitted to the local planning authority and approved in writing before construction of the development hereby approved commences.

REASON: In the interests of providing an acceptable standard of living accommodation within these units.

14. Details of proposed treatment to improve the appearance of the flank wall of the six storey building hereby approved (facing 12-26 Shacklewell Road), shall be submitted to the local planning authority and approved in writing prior to the commencement of construction works on the six-storey element of the approved scheme.

REASON: In the interests of the visual amenity of occupiers of 12-26 Shacklewell Road.

B) The above recommendation be subject to the applicant, the landowners and their mortgagees entering into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended), in order to secure the following matters to the satisfaction of the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

1. Provision of forty-eight per cent affordable housing (on a per-unit basis), comprising one one-bedroom flat, one two-bedroom flat and one four-bedroom flat as intermediate units, and three one-bedroom flats, three two-bedroom flats, one three-bedroom flat and three four-bedroom flats for social rental.

2. Payment by the landowner/developer of £4288.20 as a financial contribution towards Council library facilities. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)
3. Payment by the landowner/developer of £74,779.36 as a financial contribution towards education facilities in the borough. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006), with child yield information based on the GLA 'DMAG Briefing Note' 2005/25 (updated in May 2006), using Wandsworth survey data as the best available proxy for inner London.)
4. Payment by the landowner/developer of £1,300.73 as a financial contribution towards open space in the borough. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)
5. The developer is required to pay, under Section 278 of the Highways Act (1980), £54,041.00 to reinstate and improve the highway and footway adjacent to the boundary of the site.
6. Provision by the landowner/developer for the use of local labour on site during the construction phase.
7. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
8. Twenty-six of the twenty-seven residential units to be built to Lifetime Homes standard and to achieve Code for Sustainable Homes level 3, with all reasonable endeavours to achieve level 4.
9. Achievement of a twenty per-cent reduction minimum in carbon emissions through the use of renewable energy sources and use of low-energy technology.
10. The applicant is to carry out all works in accordance with the National Considerate Constructors Scheme.
11. Provision for all units to be adaptable for wheelchair-users.
12. For all contracts with a value in excess of £5 million, payment by the landowner/developer of £3750.00 towards the cost of NVQ training (to secure more skilled employment for the construction industry sector).
13. The developer is required to arrange with London Borough of Hackney Parking Service the provision of and payment for two on-street disabled parking spaces.
14. The developer is required to pay a contribution of an amount to be agreed with the Council's Traffic and Transport team towards sustainable transport initiatives in the area, to be put towards, but not restricted to, accessibility improvements schemes in the area (including footway improvements in

Shacklewell Road), street-lighting, improving links to the walking and cycle network in the area, public realm improvements, etc.

15. Provision for the right of future residents of this development to store bicycles within their flats to be safeguarded, and prevention of any future management company from prohibiting bicycles being brought into the building.

REASONS FOR APPROVAL

1. The following policies contained in the Hackney Unitary Development Plan (1995) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 - Development Requirements; HO3 - Other Sites for Housing; CS3 - Retention and Provision of Community Facilities; TR19 - Planning Standards.
2. The following policies in the London Plan (Consolidated with Alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 - Sustainability criteria; 3A.1 - Increasing London's supply of housing; 3A.2 - Borough housing targets; 3A.3 - Maximising the potential of sites; 3A.5 - Housing choice; 3A.6 - Quality of new housing provision; 3A.9 - Affordable housing targets; 3A.10 - Negotiating affordable housing in individual private residential and mixed-use schemes; 3A.11 - Affordable housing thresholds; 3C.2 - Matching development to transport capacity; 3C.17 - Tackling congestion and reducing traffic; 3C.23 - Parking strategy; 4A.1 - Tackling climate change; 4A.3 - Sustainable design and construction; 4A.4 - Energy assessment; 4A.6 - Decentralised energy: heating, cooling and power; 4A.7 - Renewable energy; 4A.11 - Living roofs and walls; 4A.14 - Sustainable drainage; 4A.16 - Water supplies and resources; 4B.1 - Design principles for a compact city; 4B.2 - Promoting world-class architecture and design; 4B.3 - Enhancing the quality of the public realm.

INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.25 Disabled Person's Provisions
- SI.27 Regulatory Reform (Fire Safety) Order 2005
- SI.28 Refuse Storage and Disposal Arrangements
- SI.33 Landscaping

- NSI.1 All materials submitted pursuant to the discharge of condition 3 of this approval should be supplied and delivered at the same time in a container clearly marked with the address of the application site, reference to the application number 2008/2628, and accompanied by coloured copies of relevant elevational drawings, to which each material

Wednesday, 6th May, 2009

sample should be clearly referenced and labelled accordingly. Full specifications detailing each material's manufacturer and colour (as per manufacturer's description/name thereof) should also be submitted at the same time.

NSI.2 This decision notice is accompanied by a Section 106 legal agreement. It shall be implemented in full accordance with the details of that agreement.

12 CLAPTON GIRLS TECHNOLOGY COLLEGE, LAURA PLACE, LONDON, E5 0RB

2008/0830 - Variation of condition 6 (floodlighting hours) of Planning Inspectorate's decision notice dated 27 April 2005 (ref. APP/U5360/A/04/1166320), to allow floodlights to operate until 21.00 hrs during weekdays.

12.1 The Planning Officer introduced the report, as set out in the agenda.

12.2 The Chair raised the issue of maintenance and whether there was a maintenance plan in place. The Planning Officer stated that a maintenance plan had not yet been submitted and that he would pursue this matter with the applicant.

Unanimously RESOLVED that:-

The application to vary condition 6 of the planning permission granted by the Planning Inspector under appeal reference APP/U5360/A/04/1166320 be GRANTED, so that it reads:

'The floodlighting hereby permitted shall not be used outside the hours of 08.00 to 21.00 on Mondays to Fridays and 09.00 to 16.00 on Saturdays, and at no time on Sundays or Public Holidays'.

REASONS FOR APPROVAL

1. The following policy contained in the Hackney Unitary Development Plan (1995) is relevant to the approved development/use and was considered by this Council in reaching the decision to grant planning permission: EQ1 - Development Requirements.
2. The following policy in the London Plan (Consolidated with Alterations since 2004) is relevant to the approved development/use and was considered by this Council in reaching the decision to grant planning permission: 3A.24 - Education facilities.

INFORMATIVES

NSI For the avoidance of doubt, the applicant is reminded that all the other conditions of the original permission granted by the Planning Inspector under appeal reference APP/U5360/A/04/1166320 continue to apply.

13 **18-42 WHARF ROAD, LONDON, N1 6AD**

2008/1753 - Demolition of existing buildings and erection of a part 6, 7, 8, 9 and 10 storey building with basement level to provide 327 residential units and 7,871sqm of business floorspace (class B1a, B1b and B1c) with associated car parking, access and landscaping. The application has been accompanied by an Environmental Statement (ES), as required by the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999.

POST SUBMISSION REVISIONS:

- The amount of proposed employment floorspace has increased from 6,521sqm to 7,871sqm
- The proposed employment floorspace has been made more flexible through provision of goods lifts which make the floorspace suitable for the full range of B1 users (class B1a office, B1b research and B1c light industry) rather than just offices (class B1a) as originally proposed.
- The application now formally seeks planning permission for this full range of B1 uses.
- The residential space has been altered slightly to ensure that all of the affordable family sized units now have access to balconies.
- The landscaping proposals have also been revised. Two of the piers which extended into the basin have been removed and more planting of native species are now proposed along the basin edge.
- Lighting over the basin has been omitted.

13.1 The Planning Officer introduced the report, as set out in the agenda. Reference was made to the addendum and a correction to paragraph 2.1 of the report. This should have stated that the site was located within the Regents Canal Conservation Area.

13.2 The addendum also stated that a further 10 objection letters had been received from local residents, which raised similar concerns to those set out in the report. The comments received from English Heritage were also highlighted within the addendum.

13.3 Piers Heron, Mr Aiton, Kevin Root and Nick Turner spoke in objection to the scheme, their comments are summarised as follows:

- The proposed development was too high and overbearing.
- Loss of daylight/sunlight to neighbouring properties, especially business units.
- Too bulky and requested that the height be reduced, in-line with neighbouring properties.
- Requested that the architects be retained throughout all the development stages.
- Some of the distances between the development and the neighbouring properties were less than the 30m guidance.
- Adverse impact on neighbouring properties during the construction phase of the development.
- The site was defined as an employment area within the UDP.
- Parking issues.

13.4 Steve Marshall (Architect) and Simon Dilly (Invest in Hackney) spoke in support of the scheme, their comments are summarised as follows:

- Providing highly flexible space, with employment opportunities.

- Affordable housing being provided, with balconies.
- Opening up the area around the canal.
- Car parking will be provided in the basement.
- Intend to be a good neighbour, which is reflected in the considerate design. Step back technique was proposed as a way of reducing massing and loss of daylight/sunlight.
- No existing trees would be removed and 20 new trees would be planted.
- Green roof being provided, as well as bat boxes.
- There will be no damage to the existing ecology on the site and improvements would be made.
- The daylight/sunlight figures conform to BRE guidelines.
- Sufficient community space being provided to meet with demand.

- 13.5 In response to a query regarding construction, it was confirmed that the developers had signed up to the considerate constructors scheme and that a demolition and methodology statement had also been submitted.
- 13.6 In response to a question regarding the proposed materials, it was explained that the oak timber cladding would be treated to ensure that it was inflammable and that a mix of different types and colours of bricks would be used.
- 13.7 Discussion took place surrounding sustainability and the Planning Officer confirmed that the information given in the report regarding BREEAM standards was contradictory. He explained that the 'very good' standard identified in paragraph 6.3.5 should have stated 'Excellent', as stated in paragraph 6.8.1, item 12. It was confirmed that the 'Excellent' rating was reflected within clause 12 of the S106 agreement.
- 13.8 Members also requested that the wording of clause 12 regarding the Code for Sustainable Homes level 3 with best endeavours for level 4 be strengthened, to state that level 4 be achieved. This was **AGREED**.
- 13.9 In response to objections received regarding the loss of daylight/sunlight, the applicant confirmed that the majority of units met with BRE guidelines.
- 13.10 Reference was also made to the education contribution under the S106 agreement and it was explained that this money would usually be paid prior to occupation and would be held put in a pool of money used by the Learning Trust. A formula was then applied to distribute the money.
- 13.11 Discussion took place surrounding access to the basin and the need to specify the times in which people can gain access to it. Members requested that the S106 agreement specify the right of way through the site and along the canal and that access to the basin be given during daylight hours. This was **AGREED**.
- 13.12 The Chair asked whether rain water harvesting was being provided and the applicant stated that rain water harvesting would only be used by the commercial and office units, however they would be willing to look at providing it across the development. The Chair requested that this be covered by way of condition. This was **AGREED**.
- 13.13 Members also requested that the street lamps be placed on the building and the applicant stated that they had no objection to this. This was **AGREED**.
- 13.14 In response to comments made by the objectors, Members requested that the same

architects be used throughout the development of the scheme and the applicant indicated that they had no objection to this. This was **AGREED**.

(Councillor Sharer abstained from the vote).

RESOLVED that:-

A) Planning permission be GRANTED, subject to the following conditions:

1. SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

2. SCB1 - Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

3. SCM6 – Materials to be approved

No development shall take place until full details, with samples, of the materials to be used in the construction of external surfaces of the development hereby permitted have been submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

4. SCM9 - No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the elevations of the building other than as shown on the drawings hereby approved, unless otherwise agreed in writing by the Local Planning Authority.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

5. SCH8 – Parking for people with disabilities

No part of the development shall be occupied until 33 car parking spaces shall be marked out for use by persons with disabilities and retained permanently for use by the vehicles of people with disabilities.

REASON: In order to ensure that a reasonable number of parking spaces are located conveniently for use by people with disabilities.

6. SCH10 – Secure bicycle parking

Provision of secure cycle space shall be made available within the building for the secure parking of 352 cycles, as shown on the plans hereby approved, before the first occupation of the development. The secure parking as approved shall be permanently retained on the site.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interests of discouraging car use, relieving congestion in surrounding streets and improving highway conditions in general.

7. SCH11 - Adequate visibility

Adequate visibility shall be provided to the highway within the application site above a height of one metre from footpath level for a distance of three metres on both sides of the permitted points of vehicular access, in accordance with details to be approved by the Local Planning Authority before any work on the site is commenced, and be so maintained.

REASON: To provide a suitable standard of visibility to and from the highway and to ensure that the use of the access does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

8. SCH14 – Closure of existing accesses

The existing access(es) to the site shall be closed permanently when the use of the new access(es) shown on the plans hereby approved is/are provided and in use.

REASON: To confine access to the permitted point(s) in order to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

9. SCH15 – Access only as approved

Vehicular access to the site shall be only via the permitted access.

REASON: In order to confine access to the permitted point(s) to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

10. NSC1 – Hard / soft landscaping and biodiversity measures

A hard and soft landscape scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. The scheme shall include the planting of between 10 and 20 new trees, native hedges, shrubs, bird / bat boxes and loggeries. Plans shall show species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed, benches, lighting and topographical ground levels. All landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

11. NSC2 – Details of green roofs

A bio diverse, substrate-based extensive green roof (75mm minimum depth) should be established on the roof areas indicated on the hereby approved plans. Full details thereof shall be submitted and approved in writing by the local planning authority, prior to occupation. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development and the river corridor, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage and to enhance the performance and efficiency of the proposed building.

12. NSC3 – Drainage Strategy

Development shall not commence until a drainage strategy incorporating sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development, have been submitted to and approved by the local planning authority, in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

REASON: The development may lead to sewerage flooding; to ensure that sufficient capacity is made available to cope with the new development and in order to avoid adverse environmental impact upon the community.

13. SC4 – Development in accordance with Tree Protection Method Statement

The development hereby permitted shall only be carried out and completed strictly in accordance with the Tree Protection Method Statement, submitted by Simon Pryce Arboriculture on the 8th January 2009, unless agreed otherwise in writing by the local planning authority.

REASON: In order to safeguard the existing trees on the site and the contribution they make to the amenity of the surrounding area.

14. SC5 – Moving freight by water during the construction cycle

Before development is commenced, a feasibility study shall be carried out to assess the potential for moving freight by water during the construction cycle (waste and bulk materials) and following the occupation of the development (waste and recyclates). The use of waterborne transport shall be maximised during construction of the development unless the above assessment demonstrates that such use of the canal is not physically or economically feasible.

REASON: To encourage the use of the canal for transporting waste and bulk materials in accordance with Blue Ribbon Network Policies 3C.25 & 4C.8

15. NSC6 – Oil storage

The construction of storage facilities for oils, fuels or chemicals shall be carried out in accordance with details submitted to and approved in writing by the Local

Planning Authority before development is commenced.

REASON: To prevent pollution of the water environment.

16. NSC7 – No storage during construction on banks of the basin

During construction no solid matter shall be stored within 10 metres of the banks of the Wenlock Basin and thereafter no storage of materials shall be permitted in this area.

REASON: to prevent solid materials from entering the Wenlock Basin and causing pollution.

17. NSC8 – Contaminated land assessment

Prior to the commencement of development approved by this planning permission (or such other date or stage in development as may be agreed in writing with the Local Planning Authority), the following components of a scheme to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the local planning authority:

- 1) A preliminary risk assessment which has identified:
 - all previous uses
 - potential contaminants associated with those uses
 - a conceptual model of the site indicating sources, pathways and receptors
 - potentially unacceptable risks arising from contamination at the site.
- 2) A site investigation scheme, based on (1) to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.
- 3) The site investigation results and the detailed risk assessment (2) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
- 4) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in (3) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the express consent of the local planning authority. The scheme shall be implemented as approved.

REASON: Following demolition, an intrusive site investigation should be carried out. This is in order to assess the true level of contamination at the site and thus the level of risk posed to controlled waters.

Based on the result of the investigation, a remediation strategy should be proposed. This is to mitigate the effect contamination could have on controlled waters.

18. NSC9 – Site remediation verification

Prior to commencement of development, a verification report demonstrating

completion of the works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved, in writing, by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a long-term monitoring and maintenance plan) for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, and for the reporting of this to the local planning authority.

REASON: This is to demonstrate the effectiveness of the remediation strategy in mitigating the effects of contamination and to protect controlled waters.

19. NSC10 – Site remediation

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority for, an amendment to the remediation strategy detailing how this unsuspected contamination shall be dealt with.

REASON: This is to prevent pollution to controlled waters.

20. NSC11 – Details of piling

Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

REASON: This because piling can create a pathway that could allow for contamination of controlled waters.

21. NSC12 – Buffer zone on bank of basin

A buffer zone of the dimensions shown in plan sk.61 must be provided for the whole extent of the site. In this zone there shall be no hardstanding, fences or structures, including overhanging development such as balconies, domestic gardens or formal landscaping. The buffer zone shall be planted with locally native shrubs and grasses of UK genetic provenance.

REASON: The value of wildlife corridors and networks is recognised in PPS9. Buffer zones have proved to be very effective in encouraging and facilitating the movement of wildlife between appropriate habitats.

22. NS13 – No footpaths on the top of the basin

Any footpath to be provided within the buffer zone shall be set back a minimum of 1 metre from the bank top of the Wenlock Basin.

REASON: This condition is necessary to maintain the ecological integrity of the Wenlock Basin as an undisturbed refuge for wildlife. Activity along the footpath, while serving a recreation objective, could have an adverse impact on the species benefiting from the corridor.

23. NSC14 – Storage of materials on the basin

There shall be no storage of materials related to the development within 3 metres of the Wenlock Basin on any part of the site. This area must be suitably marked and protected during development and there shall be no access, fires, dumping or movement of machinery within this area during development.

REASON: This condition is necessary to limit the impact of the proposed development on the river buffer zone and the movement of wildlife along the river corridor.

24. NSC15 – No light spill onto the basin

There shall be no light spill from external artificial lighting into the Wenlock Basin adjacent river corridor habitat. To achieve these specifications, location and direction of external artificial lights should be such that the lighting levels within 5 metres of the top of bank of the watercourse are maintained at background levels. The Environment Agency considers background levels to be a Lux level of 0-2.

REASON: To minimise light spill from the new development into the watercourse or adjacent river corridor habitat. Artificial lighting disrupts the natural diurnal rhythms of a range of wildlife using and inhabiting the river and its corridor habitat, and in particular is inhibitive to bats utilising the river corridor.

25. NSC16 – Landscape Management plan

Prior to the commencement of development a landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be carried out as approved.

REASON: This condition is necessary to protect the natural features and character of the area and identify opportunities for enhancement of biodiversity in line with national planning policy in PPS9.

26. NSC17 – Planting to be of native UK provenance

All planting within 8 metres of the Wenlock Basin and of green roofs shall be of locally native plant species only, of UK genetic origin.

REASON: The use of locally native plants in landscaping is essential to benefit local wildlife and to help maintain the region's natural balance of flora. Native insects, birds and other animals cannot survive without the food and shelter that these plants provide. Introduced plants usually offer little to our native wildlife. Local plants are the essence of regional identity and preserve the character of the British landscape. Local plants are adapted to local soils and climate, so have low maintenance requirements. In addition, planting locally native plants helps to prevent the spread of invasive plants in the region.

27. NSC19 – Details of children's play areas

Detailed plans of the rooftop children's play areas, including the number and type and play equipment shall be submitted and agreed by the local planning authority prior to the occupation of the development.

REASON: In order to safeguard the amenity of future occupiers and to accord with London Plan policies.

28. NSC20 – Rainwater Harvesting System

Details of the rainwater harvesting system including use of this water in the toilet flushing in the employment space and residential units shall be submitted and agreed by the local planning authority, prior to the commencement of the development. The rainwater harvesting system shall be retained and maintained in accordance with the approved details thereafter, unless otherwise agreed in writing by the local planning authority.

REASON: In order to mitigate surface water runoff and demonstrate an adequate response to climate change, in accordance with PPS1 and London Plan policies.

29. NSC21 – Details of plant area

Full details of all the roof plant enclosures (plans, sections, front and rear elevations, etc.) shall be submitted to and approved in writing by the Local Planning Authority before any building works commence. The development shall be carried out in accordance with the approved details.

REASON: In order to safeguard the appearance of the property.

30. NSC22 – Noise emission from plant area

- (i) The rating level of the noise emitted from fixed plant and from the premises on the site shall be 10dB below the existing background level at any time. The noise levels shall be determined at the façade of any noise sensitive property. The measurements and assessments shall be made by a suitably qualified acoustic consultant according to BS4142:1997.
- (ii) Development shall not commence until details of the scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.
- (iii) The development shall not be occupied until the scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the scheme shall be maintained in perpetuity.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

31. NSC23 – Demolition and Construction Method Statement

A Demolition and Construction Method Statement (DCMS) specifying hours of working, construction traffic routeing and contact arrangements between residents and contractors shall be submitted and agreed by the Local Planning Authority Prior to the commencement of development. The DCMS should also include an Environmental Management Plan (EMP) which will present a list of mitigation measures with regard to air quality, and a monitoring programme. The demolition and construction should thereafter take place in accordance with the measures identified within the DCMS.

REASON: In order to ensure that the development does not prejudice the amenity of adjoining occupiers.

B) The above recommendation be subject to the applicant, the landowners and their mortgagees enter into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended) in order to secure the following matters to the satisfaction of the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

1. Onsite provision of 95 affordable housing units, within the social rented element comprising 7x1 bed, 3x2 bed, 8x3 bed and 35x4 bed units. The intermediate element will comprise 23x1 bed and 19x2 bed units.
2. The parking provision for residents should be distributed across both tenures and should be for family sized units.
3. The use of car clubs is considered to be an effective measure in reducing dependency on the private car for travel and LBH Transportation recommends this a travel plan measure. Installation of parking bays for Car Club use on LBH adopted highways should be funded by the applicant. The cost of installing 2 no. car club bays on street is approx. £5,000 (£2,500/car club bay). The final cost of installing the car club bays to be agreed prior to installation.
4. The development trip generation associated with the proposal is expected to be non-car modes i.e. walking, cycling and public transport, given the high accessibility level of the site and that the site is located within a CPZ and close to the London Central Activities Zone. A s106 contribution of £70,000 towards sustainable travel/ walking and cycling improvements in the area is also sought, to be used primarily for footway improvements and new street tree planting.
5. The owner shall be required to enter into agreement under Section 278 of the Highways Act to pay the Council to reinstate and improve the footway adjacent to the boundary of the site, and include if required, any access to the Highway, measures for street furniture relocation, carriageway markings, access and visibility safety requirements. Unavoidable works required to be undertaken by Statutory Services will not be included in the LBH Estimate or payment. The s278 Highway works are estimated at £91,016.43.
6. The owner must provide a Travel Plan (for the residential and employment use) to be agreed by the Council's Transportation Officer, towards achieving sustainable travel targets, including the services of a Travel Plan Coordinator. The Travel Plan must be in place by the first year of occupancy and the developer must monitor yearly for 5 years.
7. Transport for London has requested a contribution of £135,000.00 in order to mitigate the impact of the development on the bus network. A further £15,000.00 is requested for upgrading the nearby bus stops.
8. To ensure that prior to occupying any of the residential units (which for the avoidance of doubt includes the Car Capped Units) within the Development each new resident of such unit is informed by the Owner of the Council's policy that they shall not be entitled (unless they are the holder of a Disabled Persons Badge issued pursuant to Section 21 of the Chronically Sick and Disabled Persons Act 1970) to be granted a Residents Parking Permit and will not be able to buy a contract to park within any car park owned or controlled by the Council unless the Resident's Parking Permit is for an electrically powered vehicle.
9. The proposed development would require a contribution of £61,971 for Library Facilities.
10. Construction Industry and Removing Barriers to Work: Make provision for the use of local labour on site during the construction phase, specifically:

- (a) The developer must agree to notify the Hackney Construction Recruitment Centre of all vacancies, arising from the contract (not exclusive) for employees, self employees, and sub contractors and any other form or type of development.
 - (b) The developer must supply Hackney Construction Recruitment Centre with a full labour plan for the lifetime of the development identifying what skills and employment are needed through the life of the programme.
 - (c) The developer must have an active programme for recruiting and retaining apprentices in various trades and as a minimum take on at least one apprentice place per £5 million of construction contract value and provide the Council with written information documenting that programme within seven days of a written request from Council.
 - (d) The developer must have an active programme for recruiting and retaining adult improvers and as a minimum take on at least 1 adult improver per £5 million of construction contract value and provide the Council with written information documenting that programme within seven days of a written request from Council.
 - (e) The developer must provide the Council with a detailed monthly labour return for monitoring the employment and self employment profile of all workers employed on the development site.
 - (f) For all contracts with a value in excess of £5 million the developer must supply the Hackney Construction Recruitment Centre with a full procurement plan identifying the services and materials that will be sourced for the lifetime of the project and where they have been sourced from.
11. The Developer will, through a environmental management system, provide monitoring information in relation to the Development to the Local Planning Authority on the first anniversary of the occupation of the site with respect to:
- (a) Energy consumption;
 - (b) Air quality;
 - (c) Waste generation and recycling;
 - (d) Water use;
 - (e) Biodiversity; and
 - (f) Percentage of energy requirements resourced from Renewable Energy.
12. The employment floorspace, to be built to BREEAM standards and achieve an excellent rating. The Residential units shall achieve Code for Sustainable Homes level 4.
13. A contribution of £18,000.00 towards open space within close proximity to the site and for its maintenance and upkeep. This will be calculated under the formula in Appendix 1 (pages 68-70) of the SPD.
14. A contribution of £30,000.00 to the Shoreditch Trust to contribution towards a design framework for Shepherdess Walk Park and the surrounding area.
15. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
16. Education contributions of £577,576.44 are required to meet the additional pressure on Hackney schools as a result of the children generated by the development.
17. The developer to liaise with the Council to ensure that street lamps are sited on the building rather than within the street.
18. The architects who developed the application proposals are retained to oversee the completion of the development.
19. Public Right of Way along the basin is to be provided during daylight hours (to match public park opening hours).

REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission:

EQ1 Development Requirements, EQ40 Noise Control, EQ41 Development Close to Existing Sources of Noise, EQ42 Air Pollution, EQ48 Designing Out Crime, H03 Other Sites for Housing, E12 Office Development, E14 Access and Facilities for People with Disabilities, E15 Training, E18 Planning Standards, TR19 Parking standards, ACE7 Hotel Development, ACE8 Planning Standards, SPG1 New Residential Development, SPG6 Hotels, SPG11 Access for People with Disabilities, SPD Planning Contributions.

The following policies contained in the London Plan (Consolidated with alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 Sustainability Criteria, 2A.2 The spatial strategy for development, 2A.3 London's Sub-Regions, 2A.4 The Central Activities Zone, 2A.5 Opportunity Areas, 2A.6 Areas for Intensification, 3A.3 Maximising the Potential of Sites, 3A.5 Housing Choice, 3A.6 Quality of New Housing Provision, 3A.8 Definition of Affordable Housing, 3A.13 Special Needs and Specialist Housing, 3A.17 Addressing the needs of London's Diverse Population, 3A.25 Higher and Further Accommodation, 3B.1 Developing London's Economy, 3B.2 Office demand and supply, 3B.3 Mixed use development, 3B.8 Creative Industries, 3B.11 Improving employment opportunities for Londoners, 3C.1 Integrating transport and development, 3C.2 Matching development to transport capacity, 3C.3 Sustainable Transport in London, 3C.4 Land for Transport, 3C.9 Increasing the capacity, quality and integration of public transport to meet London's needs, 3C.11 Phasing of Transport Infrastructure Provision and Improvements, 3C.17 Tackling congestion and reducing traffic, 3C.18 Allocation of street space, 3C.19 Local transport and public realm enhancements, 3C.20 Improving Conditions for Buses, 3C.21 Improving Conditions for Walking, 3C.22 Improving Conditions for Cycling, 3C.23 Parking strategy, 3D.7 Visitor Accommodation and Facilities, 4A.1 Tackling climate change, 4A.2 Mitigating climate change, 4A.3 Sustainable design and construction, 4A.4 Energy assessment, 4A.5 Provision of Heating and Cooling Networks, 4A.6 Decentralised Energy: Heating, Cooling and Power, 4A.7 Renewable Energy, 4A.8 Hydrogen Economy, 4A.9 Adaptation to Climate Change, 4A.10 Overheating, 4A.11 Living Roofs and Walls, 4A.12 Flooding, 4A.13 Flood Risk Management, 4A.14 Sustainable Drainage, 4A.15 Rising Groundwater, 4A.16 Water Supplies and Resources, 4A.17 Water Quality, 4A.18 Water and Sewerage Infrastructure, 4A.19 Improving air quality, 4A.33 Bringing contaminated land into beneficial use, 4B.1 Design principles for a compact city, 4B.2 Promoting World Class Architecture and Design, 4B.3 Enhancing the quality of the public realm, 4B.5 Creating an inclusive environment, 4B.8 Respect Local Context and Communities, 4B.9 Tall Buildings – Location, 4B.10 Large scale buildings – design and impact, 4B.16 London View Management Framework, 4B.18 Assessing Development Impact on Designated Views, 5A.1 Sub-Regional Implementation Frameworks, 5C.1 The Strategic Priorities for North East London, 5C.3 Opportunity Areas in North East London, 5G.1 The Indicative

CAZ Boundary, 5G.2 Strategic Priorities for the Central Activities Zone, 5G.3 Central Activities: Offices, 5G.5 Predominantly Local Activities in the Central Activities Zone, SPG Industrial Capacity, SPG View Management Framework, SPG Accessible London: achieving an inclusive environment, SPG Land for Transport Functions, SPG Sustainable Design and Construction, SPG Planning for Equality and Diversity in London, BPG Wheelchair Accessible Housing, Mayor's Economic Development Strategy, Mayor's Transport Strategy, Sub-Regional Development Framework – East London.

INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.24 Naming and Numbering
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act
- SI.28 Refuse Storage and Disposal Arrangements
- SI.32 Consultation with Thames Water
- SI.34 Landscaping
- SI.45 The Construction (Design & Management) Regulations 1994
- SI.48 Soundproofing
- SI.50 S106 Agreement
- NSI1 Thames Water informative on minimum water pressure to customers

14 10 EAST ROAD, LONDON, N1 6AD

2008/1991 - Demolition of existing three buildings and redevelopment of the site to erect a part 8, part 14 and part 17 storey building and a part 11, part 12 storey building to provide for student accommodation (661 rooms), Class C1 hotel (230 rooms), Class B1 use (6.916 sq m GEA), along with disabled car parking, access, landscaping and associated works.

- 14.1 The Planning Officer introduced the report, as set out within the agenda. A model of the proposed development was displayed for Members' information.
- 14.2 The Planning Officer referred to the addendum which set out additional information regarding TfL contributions, sustainability, roof plant, community policing facilities, policy comments and Invest in Hackney.
- 14.3 Concern was raised regarding the loss of employment space and wished to clarify whether this was a departure from the London Plan. The Planning Officer explained that the Plan encouraged a varied mix of employment space and that the proposed development provided flexible, high quality work space, which supported local businesses.
- 14.4 Concern was also raised regarding the student element of the proposal, especially around the Hoxton area and also the issues surrounding sewerage and the water

supply, highlighted on pages 534/535 of the agenda. In response, the Planning Officer stated that they had consulted with Thames Water and that the issues raised were covered by condition.

- 14.5 In response to a query regarding the perceived rents charges for the student accommodation, it was explained that the rental side of the development would be managed by a separate provider and so the figures were unknown at present.
- 14.6 The Sub-Committee requested that the same architect be used throughout the scheme and that this be added as an additional clause to the S106 agreement. This was **AGREED**.
- 14.7 The Chair asked whether grey water recycling was included within the scheme and the applicant stated that he would be happy to work through the technical issues so that this could be provided. The Chair requested that this be added as an additional condition. This was **AGREED**.
- 14.8 The Planning Officer referred to the residents parking and explained that the residents parking permit clause would be amended to exclude the reference to owners of electrical vehicles. This was **AGREED**.
- 14.9 Discussion took place regarding the issue surrounding the suggested contribution towards public realm improvements at Old Street roundabout from TfL, in which the Council did not approve of. It was explained that the planning department were in discussions with TfL regarding the proposed improvement plans and that details were yet to be finalised. The various options were discussed.
- 14.10 Following discussion, Members requested that the resolution TFL contribution issue be delegated to the Head of Development, Chair and Vice-Chair of the Sub-Committee, to negotiate the clause under the S106 agreement with the developer. This was **AGREED**.
- 14.11 The Planning Officer referred to the community policing facilities at the ground floor, which were being provided at a peppercorn rent for a period of 25 years. He added that the developer had stated that it was their intention to provide the policing facilities through the deal with the Shoreditch Trust and that consequently, the duration of the rent should be reduced to 10 years, in line with this deal. The Principal Solicitor explained that the revised condition should also reflect the fact that the facility should be a useable workspace and connected to all of the amenities of the building. This was **AGREED**.

Unanimously RESOLVED that:-

A) Planning permission be GRANTED, subject to the following conditions:

1. SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

2. SCB1 - Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

3. NSC – Materials as approved

All external finishes, including ground surface treatment, shall be completed as detailed in the materials schedule and drawings contained within the following document: *Planning Application Supplementary Information (proposed materials) Issue 1b* which is dated 06.03.09, unless otherwise agreed in writing by the Local Planning Authority.

REASON: To secure the satisfactory development of the site in terms of visual appearance.

4. NSC – Landscaping details to be approved

A hard and soft landscaping scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, all landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

5. NSC – Green roofs

A bio diverse, substrate-based extensive green roof (75mm minimum depth) should be established on the roof of the proposal as shown on the approved plans. Full details thereof shall be submitted and approved in writing by the local planning authority, prior to occupation. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage and to enhance the performance and efficiency of the proposed building.

6. NCS – Lighting Strategy

A detailed lighting strategy shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of development. All lighting to be affixed to the building to be in accordance with the approved lighting strategy unless otherwise agreed in writing by the Local Planning Authority.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

7. SCM9 - No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8. SCI4 – Roof plant (Details to be approved)

Full details of all the roof plant enclosures (plans, sections, front and rear elevations, etc.) shall be submitted to and approved in writing by the Local Planning Authority prior to the installation of any roof plant. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To safeguard the appearance of the property.

9. SCI5 – No Open Storage

No good, merchandise, material and no boxes, crates, drums, refuse or other waste matter shall be placed or stored on the site otherwise than within a building.

REASON: To safeguard the appearance of the area.

10. SCD1 - Level access

A level access shall be provided before the use is first commenced.

REASON: In order to ensure that people with disabilities are able to gain proper access to the development.

11. SCD2 – Provision of access and facilities

All provisions and facilities to be made for people with disabilities as shown on the plans and details hereby approved shall be implemented in full to the satisfaction of the Local Planning Authority before the use is first commenced.

REASON: In order to ensure that access and facilities for people with disabilities are provided in order to ensure that they may make full use of the development.

12. SCH8 – Parking for people with disabilities

No part of the development shall be occupied until six (6) car parking spaces shall be marked out for use by persons with disabilities and retained permanently for use by the vehicles of people with disabilities.

REASON: In order to ensure that a reasonable number of parking spaces are located conveniently for use by people with disabilities.

13. NSC – Additional bicycle parking

Development shall not commence until details of the location and design of 6 additional bicycle parking stands have been submitted to and approved in writing by the Local Planning Authority. The bicycle stands as approved shall be provided prior to the occupation of the development and permanently

retained on the site, unless otherwise agreed in writing by the Local Planning Authority.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interests of discouraging car use, relieving congestion in surrounding streets and improving highway conditions in general.

14. SCH10 – Secure bicycle parking

The provision of secure cycle space shall be made available within the building for the secure parking of 379 bicycles, as shown on the plans hereby approved, before the first occupation of the development. The secure parking as approved shall be permanently retained on the site.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interests of discouraging car use, relieving congestion in surrounding streets and improving highway conditions in general.

15. SCH11 - Adequate visibility

Adequate visibility shall be provided to the highway within the application site above a height of one metre from footpath level for a distance of three metres on both sides of the permitted points of vehicular access, in accordance with details to be approved by the Local Planning Authority before any work on the site is commenced, and be so maintained.

REASON: To provide a suitable standard of visibility to and from the highway and to ensure that the use of the access does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

16. SCH14 – Closure of existing accesses

The existing access(es) to the site shall be closed permanently when the use of the new access(es) shown on the plans hereby approved is/are provided and in use.

REASON: To confine access to the permitted point(s) in order to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

17. SCH15 – Access only as approved

Vehicular access to the site shall be only via the permitted access.

REASON: In order to confine access to the permitted point(s) to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

18. NSC – Sound insulation

(i) The building shall be constructed so as to provide sound insulation (for student accommodation) against external noise, to achieve levels not exceeding 30dB LAeq (night) and 45dB LAmx (measured with F time-weighting) for bedrooms, 35dB LAeq (day) for other habitable rooms, with windows shut and other means of ventilation provided. Details of ventilation to be approved by the local planning authority before installation.

(ii) Development shall not commence until details of a sound insulation

scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.

- (iii) The development shall not be occupied until the sound insulation scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the sound insulation scheme shall be maintained in perpetuity.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

19. NSC – Plant noise

- (i) The rating level of the noise emitted from fixed plant and from the premises on the site shall be 10dB below the existing background level at any time. The noise levels shall be determined at the façade of any noise sensitive property. The measurements and assessments shall be made by a suitably qualified acoustic consultant according to BS4142:1997.
- (ii) Development shall not commence until details of the scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.
- (iii) The development shall not be occupied until the scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the scheme shall be maintained in perpetuity.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

20. NSC – Sound insulation between residential and commercial uses

Development shall not commence until full written details, including relevant drawings and specifications, of the proposed works of sound insulation against airborne noise to meet $D'_{nT,w} + C_{tr}$ dB of not less than 55 between the ground floor and first floor, where residential parties non domestic use, shall be submitted to and approved in writing by the local planning authority. The use hereby permitted shall not commence until the sound insulation works have been implemented in accordance with the approved details. The sound insulation shall be retained permanently with the approved details.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

21. NSC – Drainage strategy

Development shall not commence until a drainage strategy detailing any on and/or off site drainage works, has been submitted to and approved by, the local planning authority, in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

REASON: The development may lead to sewerage flooding; to ensure that sufficient capacity is made available to cope with the new development and in order to avoid adverse environmental impact upon the community.

22. NSC – Water supply

Development should not be commenced until: Impact studies of the existing water supply infrastructure have been submitted to and approved in writing by the local planning authority (in consultation with Thames Water). The studies should determine the magnitude of any new additional capacity required in the system and a suitable connection point.

REASON: To ensure that the water supply infrastructure has sufficient capacity to cope with the/this additional demand.

23. NSC – Water efficiency

Prior to the commencement of development, details shall be submitted to, and approved in writing by the Local Planning Authority, to show how all residential units in the development will meet water efficiency standards. Development shall proceed in accordance with the approved water efficiency plan.

REASON: The development is located in an area of serious water stress as designated by Department for Environment, Food and Rural Affairs. This condition is required to ensure water is used wisely and no additional burden is placed on the existing resources. This condition is supported by the London Plan, Policy 4A.11 Water Supplies. A maximum water target of 105 litres per person per day should be applied in line with Level 3 in the Code for Sustainable Homes.

24. Photovoltaic Panels

Prior to the commencement of the development, detailed drawings showing a minimum of 75sqm of photovoltaic panels shall be submitted to and approved by the Local Planning Authority and the development completed in accordance with the approved plans.

REASON: To ensure that the development contributes towards the mitigation of climate change and complies with London Plan Policy 4A.7.

25. NSC – CHP Plant

Prior to the occupation of any part of the development to provide the environmental sustainability features outlined in the Environmental Performance Statement and Assessment of Energy Demand and Carbon Emissions. This shall include the installation of CHP plant of at least 290kWE capacity.

REASON: To ensure that the development contributes towards the mitigation of climate change and complies with London Plan Policy 4A.7.

26. Grey water recycling

Details of a grey water recycling system to be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The development to be carried out in accordance with the approved details.

REASON: To ensure that the development contributes towards the mitigation of climate change and complies with London Plan Policy 4A.7.

B) The above recommendation be subject to the applicant, the landowners and their mortgagees enter into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended) in order to secure the following to the satisfaction of the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

1. Leasing of the ground floor office space (excluding any floorspace required to provide community policing facilities see section 8.2.11) to the Shoreditch Trust or other affordable workspace provider as agreed in writing by the LPA for ten years at £1 pound per sq ft per annum as affordable workspace accommodation.
2. The provision of three floors of the commercial floorspace (approximately 12,000 sq ft) to be leased to a Business Space Provider or other business space provider as agreed in writing by the LPA to lease the space to various end users. This would allow flexibility to provide units in a range of sizes to suit various needs. This offer is for a period of 10 years.
3. Affordable workspace to be built to shell and core and fitted out prior to the occupation of the hotel and student accommodation and prior to the remaining commercial element being let, leased or sold.
4. Provision for the employment within the hotel, once it has commenced operations, of persons within a defined and ongoing training scheme to be carried out in perpetuity and reserved for residents of the borough, to number no fewer than ten new starters annually.
5. Commercial element to be built to shell and core in advance of the occupation of the student units and hotel to bring forward the strategic priorities of the site within the context of its designation within a Defined Employment Area.
6. The student accommodation is to be used at all times as a single planning unit and no part of the student accommodation shall at any time be used as separate, independent self-contained dwelling units; and no part of the student accommodation shall be sold, leased, licensed or otherwise disposed of in any form as a separate unit of use or occupation.
7. The living accommodation shall be used and occupied solely in association with and by full-time students of the following institutions: the University of London, University of East London, University of Westminster, London Guildhall University, City University, South Bank University, University of the Arts London or any alternative establishment to be agreed by the Council.
8. Provision of emergency and twenty four hour contact details for members of the public to address any issues arising from anti-social behaviour.
9. Student Accommodation Management Plan.
10. Secure adoption of the ANUK Code of Standards for Larger Developments for student accommodation not managed or controlled by educational establishments.

11. Appropriate policing facilities, to be agreed with the Metropolitan Police Authority (MPA) prior to the commencement of development. Floorspace will be required to shell and core fitting and at a peppercorn rent for a period of 10 years or otherwise as agreed with the MPA and be located at ground floor. Policing facilities as agreed with the MPA to be provided prior to the occupation of the development.
12. Best endeavours to achieve 'Secured by Design' certification.
13. The disabled car spaces are managed so that they are only available for disabled persons.
14. The owner shall be required to enter into agreement under Section 278 of the Highways Act to pay the Council to reinstate and improve the footway adjacent to the boundary of the site, and include if required, any access to the Highway, measures for street furniture relocation, carriageway markings, access and visibility safety requirements. Unavoidable works required to be undertaken by Statutory Services will not be included in LBH Estimate or Payment. The s278 Highway works are estimated at £116,200 (refer to attachment).
15. The owner must provide a Travel Plan (for the residential, hotel and employment use) to be agreed by the Council's Transportation Officer, towards achieving sustainable travel targets, including the services of a Travel Plan Coordinator. The Travel Plan must be in place by the first year of occupancy and the developer must monitor yearly for 5 years.
16. The use of car clubs is considered to be an effective measure in reduce dependence on the private car for travel and LBH Transportation recommends this a travel plan measure. Installation of parking bays for Car Club use on LBH adopted highways should be funded by the applicant. The cost of installing 2 no. car club bays on street is approx. £18,000 (£9,000/car club bay). The final cost of installing the car club bays to be agreed prior to installation.
17. The development trip generation associated with the proposal is expected to be non-car modes i.e. walking, cycling and public transport, given the high accessibility level of the site and that the site is located within a CPZ and close to the London CCZ. An s.106 contribution towards sustainable transport initiatives in the area is required on the basis that the site will generate a considerable increase in walking and cycling trips in the surrounding streets. The s.106 sustainable transport contributions will be put towards, but not restricted to, accessibility improvements schemes in the area [including much needed footway improvements in Corsham Street], street-lighting, improving links to the walking and cycle network in the area, increased cycle parking on the public highway for visitors, public realm improvements, installation of on-street car club bays, etc. An s106 contribution of £58,750 towards sustainable travel/ walking and cycling improvements in the area is sought.
18. To ensure that prior to occupying any of the residential units (which for the avoidance of doubt includes the Car Capped Units) within the Development each new resident of such unit is informed by the Owner of the Council's policy that they shall not be entitled (unless they are the holder of a Disabled Persons Badge issued pursuant to Section 21 of the Chronically Sick and Disabled Persons Act 1970) to be granted a Residents Parking Permit and will not be

- able to buy a contract to park within any car park owned or controlled by the Council.
19. A contribution of £270,000.00 towards public realm and transport infrastructure improvements to benefit pedestrians, cyclists and public transport users within the areas indicated on the plan, to be paid to the LBH prior to the commencement of development.
 20. A contribution of £135,000.00 towards mitigation of the impact of the development on the bus network to be paid to the LBH prior to the commencement of development.
 21. Demolition and Construction Management Plan to be submitted at least 6 weeks prior to the commencement of works on site. The Demolition and Construction Management Plan shall include the following: Demolition Method Statement; Construction Method Statement; Construction Traffic Management Plan; Environmental Management Plan; and Site Waste Management Plan.
 22. Delivery and Servicing Plan.
 23. The proposed development would therefore require a contribution of £22,708.80 for Library Facilities.
 24. Construction Industry and Removing Barriers to Work: Appendix 1 (page 65) includes the relevant section 106 agreement clauses with regard to Local Labour in Construction while the Local Training in Construction formula can be found on page 66.
 25. Removing Barriers to Work: provision for the use of local labour for construction of the development in the form of 25% on-site employment, including the facilitation of apprentices and adult improvers for a defined period.
 26. The Developer will, through an environmental management system, provide monitoring information in relation to the Development to the Local Planning authority on the first anniversary of the occupation of the site with respect to:
 - (a) energy consumption;
 - (b) air quality;
 - (c) waste generation and recycling;
 - (d) water use;
 - (e) biodiversity; and
 - (f) percentage of energy requirements resourced from Renewable Energy.
 27. The employment floorspace, hotel and student accommodation to be built to BREEAM standards and achieve a 'very good' rating.
 28. A contribution of £6,730.56 towards open space within close proximity to the site and for its maintenance and upkeep. This has been calculated under the formula in Appendix 1 (pages 68-70) of the SPD.
 29. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.

30. Lifschutz Davidson Sandilands shall be retained as the project architect throughout the implementation of the planning permission.

REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission:

EQ1 Development Requirements, EQ40 Noise Control, EQ41 Development Close to Existing Sources of Noise, EQ42 Air Pollution, EQ48 Designing Out Crime, H03 Other Sites for Housing, E12 Office Development, E14 Access and Facilities for People with Disabilities, E15 Training, E18 Planning Standards, TR19 Parking standards, ACE7 Hotel Development, ACE8 Planning Standards, SPG1 New Residential Development, SPG6 Hotels, SPG11 Access for People with Disabilities, SPD Planning Contributions.

The following policies contained in the London Plan (Consolidated with alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 Sustainability Criteria, 2A.2 The spatial strategy for development, 2A.3 London's Sub-Regions, 2A.4 The Central Activities Zone, 2A.5 Opportunity Areas, 2A.6 Areas for Intensification, 3A.3 Maximising the Potential of Sites, 3A.5 Housing Choice, 3A.6 Quality of New Housing Provision, 3A.8 Definition of Affordable Housing, 3A.13 Special Needs and Specialist Housing, 3A.17 Addressing the needs of London's Diverse Population, 3A.25 Higher and Further Accommodation, 3B.1 Developing London's Economy, 3B.2 Office demand and supply, 3B.3 Mixed use development, 3B.8 Creative Industries, 3B.11 Improving employment opportunities for Londoners, 3C.1 Integrating transport and development, 3C.2 Matching development to transport capacity, 3C.3 Sustainable Transport in London, 3C.4 Land for Transport, 3C.9 Increasing the capacity, quality and integration of public transport to meet London's needs, 3C.11 Phasing of Transport Infrastructure Provision and Improvements, 3C.17 Tackling congestion and reducing traffic, 3C.18 Allocation of street space, 3C.19 Local transport and public realm enhancements, 3C.20 Improving Conditions for Buses, 3C.21 Improving Conditions for Walking, 3C.22 Improving Conditions for Cycling, 3C.23 Parking strategy, 3D.7 Visitor Accommodation and Facilities, 4A.1 Tackling climate change, 4A.2 Mitigating climate change, 4A.3 Sustainable design and construction, 4A.4 Energy assessment, 4A.5 Provision of Heating and Cooling Networks, 4A.6 Decentralised Energy: Heating, Cooling and Power, 4A.7 Renewable Energy, 4A.8 Hydrogen Economy, 4A.9 Adaptation to Climate Change, 4A.10 Overheating, 4A.11 Living Roofs and Walls, 4A.12 Flooding, 4A.13 Flood Risk Management, 4A.14 Sustainable Drainage, 4A.15 Rising Groundwater, 4A.16 Water Supplies and Resources, 4A.17 Water Quality, 4A.18 Water and Sewerage Infrastructure, 4A.19 Improving air quality, 4A.33 Bringing contaminated land into beneficial use, 4B.1 Design principles for a compact city, 4B.2 Promoting World Class Architecture and Design, 4B.3 Enhancing the quality of the public realm, 4B.5 Creating an inclusive environment, 4B.8 Respect Local Context and Communities, 4B.9 Tall Buildings – Location, 4B.10 Large scale buildings – design and impact, 4B.16 London View Management Framework, 4B.18 Assessing Development Impact on Designated Views, 5A.1 Sub-Regional

Implementation Frameworks, 5C.1 The Strategic Priorities for North East London, 5C.3 Opportunity Areas in North East London, 5G.1 The Indicative CAZ Boundary, 5G.2 Strategic Priorities for the Central Activities Zone, 5G.3 Central Activities: Offices, 5G.5 Predominantly Local Activities in the Central Activities Zone, SPG Industrial Capacity, SPG View Management Framework, SPG Accessible London: achieving an inclusive environment, SPG Land for Transport Functions, SPG Sustainable Design and Construction, SPG Planning for Equality and Diversity in London, BPG Wheelchair Accessible Housing, Mayor's Economic Development Strategy, Mayor's Transport Strategy, Sub-Regional Development Framework – East London.

INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.24 Naming and Numbering
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act
- SI.28 Refuse Storage and Disposal Arrangements
- SI.32 Consultation with Thames Water
- SI.34 Landscaping
- SI.45 The Construction (Design & Management) Regulations 1994
- SI.48 Soundproofing
- SI.50 S106 Agreement

15 273-277 WICK ROAD, LONDON, E9 5DG

2007/2330 – Erection of a part 3, part 4, part 5 storey building to provide 545.5sqm of Class B1 (Office/Light Industry) and 34 residential units, comprising 9 x 1 bed, 12 x 2 bed, 9 x 3 bed and 4 x 4 bed units together with 7 car parking spaces and associated landscaping.

NB: Members are requested to note that this scheme was previously resolved for approval at Committee on the 16 April 2008 subject to the signing of a s106 agreement. This report seeks to make amendments to the wording within recommendation B resolved at that time.

- 15.1 The Planning Officer introduced the report, as set out in the agenda.
- 15.2 There being no questions from Members, the Chair moved to the vote.

Unanimously RESOLVED that:-

A) Planning permission be GRANTED, subject to the following conditions:
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1. SCBO – In accordance with plans

The Development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

2. SCB1N - Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

3. SCM2 - Materials to be approved (entire site)

Details, including samples, of all materials to be used on the external surfaces of the building, boundary walls and ground surfaces shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

4. SCM3 - Brickwork to be approved

Full details of the facing bricks to be used for the external surfaces of the buildings shall be submitted to and approved by the Local Planning Authority, in writing, before any work on the site is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

5. SCM5 – Boundary walls to be approved

Full details, including materials, of all boundary walls and enclosures shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved – (SRM5).

6. SCM7 – Reserved matters to be approved

Detailed drawings/full particulars of the proposed development showing the matters set out below must be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

- a. Further detailing of the entrance gates and railings;
- b. Entrance doors to flats and commercial unit;
- c. Fenestration and balcony sizes.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

7. SCM9 - No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8. SCI3 – No roof plant

No roof plant, including all external enclosures, machinery and other installations shall be placed upon or attached to the roof or other external surfaces of the building.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

9. SCN1 – Soundproofing

Full particulars and details of provisions for soundproofing between the B1 use and residential units shall be submitted to an approved by the Local Planning Authority, in writing, before the commencement of works on site, and subsequently installed in the building in a satisfactory manner, before the development is first occupied/use commences.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

10. SCD1 - Level access

A level access shall be provided to all ground floor units hereby approved before the use is first commenced.

REASON: In order to ensure that people with disabilities are able to gain proper access to the development.

11. SCD2 - Provision of access and facilities

All provisions and facilities to be made for people with disabilities as shown on the plans and details hereby approved shall be implemented in full to the satisfaction of the Local Planning Authority before the use is first commenced.

REASON: In order to ensure that access and facilities for people with disabilities are provided in order to ensure that they may make full use of the development.

12. SCT1 - Landscaping

A landscaping scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, for the planting of trees and shrubs showing species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed; all landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

13. SCR3 - Mobility standards

Ten-percent of all housing units proposed must be designed to mobility standards and be in accordance with details to be submitted to and approved in writing by the Local Planning Authority.

REASON: In the interest in providing satisfactory and convenient housing accommodation for persons with disabilities.

14. SCS5 - Waste

Except on day(s) of collection, all refuse and waste shall be stored in sealed containers in the refuse area shown on the plans hereby approved.

REASON: To ensure refuse is not left in the street in the interests of visual amenity and to reduce the likelihood of infestation.

15. SCH2 - Delivery of goods

No loading or unloading of goods, including fuel, by vehicles arriving at or departing from the premises shall take place otherwise than within the curtilage of the building/within the building.

REASON: To assist in ensuring that the Public Highway is available for the safe and convenient passage of vehicles and pedestrians.

16. SCH4 - Forward vehicle ingress/egress only

All vehicles shall enter and leave the site only in a forward direction.

REASON: In the interests of road safety generally and avoidance of obstruction of the highway.

17. SCH3 - Parking

No parking of vehicles arriving at or departing from the premises shall take place otherwise than within the curtilage of the premises.

REASON: To assist in ensuring that the Public Highway is available for the safe and convenient passage of vehicles and pedestrians.

18. SCH5 - Car parking, turning and loading/unloading

No part of the development hereby approved shall be occupied until the accommodation for car parking, turning and loading/unloading has been provided in accordance with the approved plans, and such accommodation shall be retained permanently for use by the occupiers and/or users of, and/or persons calling at, the premises only and shall not be used for any other purposes.

REASON: To ensure that the proposed development does not prejudice the free flow of traffic or public safety along the neighbouring highway(s) and to ensure the permanent retention of the accommodation for parking/loading and unloading purposes.

19. SCH8 - Parking for people with disabilities

Before the use hereby permitted first commences, at least 4 car parking spaces shall be marked and retained permanently for use by the vehicles of people with disabilities at locations close to the entrances to the building(s).

REASON: In order to ensure that a reasonable minimum of parking spaces are located conveniently for use by people with disabilities.

20. SCH9 - Marking parking areas

Before the use hereby permitted first commences, appropriate markings shall be used to delineate all car parking spaces and service areas within the site/development as shown on the permitted plans, and such marking is to be retained permanently.

REASON: In the interests of orderly and satisfactory parking provisions being made on the site to ensure that the proposed development does not prejudice the free flow of traffic or public safety along the adjoining highway.

21. SCH10 - Cycle spaces

Provision for 24 cycles (23 for residential component and 1 for commercial). The commercial space is to be located separate to the residential cycle parking spaces). The spaces are to be secure and to be provided as shown on the plans hereby approved before the first occupation of the development.

REASON: To ensure that a reasonable provision is made within the site for the parking of cycles/motorcycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.

22. NSC - Wheel washing facilities

Wheel washing or other cleaning facilities for vehicles leaving the site during construction works shall be installed in accordance with details approved by the Local Planning Authority prior to the commencement of works on site.

REASON: In the interest of highway safety.

23. NSC - Ground contamination

Prior to the commencement of works, details of site contamination and the appropriate of remedial measures shall be submitted to and agreed by the Local Planning Authority in writing and implemented.

REASON: To ensure that the development is not prejudicial to the health of the environment, surrounding and prospective occupiers.

24. NSC - Contamination Desk Top Study

Should the phase 1 Desk Top Study indicate that there is a potential for contamination, a detailed conceptual site model, which conforms to BS 10175:2001: Investigation of potentially contaminated land - Code of practice, must be submitted to the Local Planning Authority for consideration prior to implementation.

REASON: To ensure that the development is not prejudicial to the health of the environment, surrounding and prospective occupiers.

25. NSC - Hours of Delivery

Deliveries and dispatches to the site may only occur between the hours of 08:00 and 18:00 on weekdays and not at all on weekends or public holidays.

REASON: To ensure that the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

26. NSC - Hours of Operation

The B1 use hereby approved shall only operate between the hours of 07:00 and 20:00 on weekdays, 08:00 and 18:00 on Saturdays and not at all on Sundays or public holidays.

REASON: To ensure that the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

27. NSC - External ventilation

Full details of mechanical ventilation equipment from the kitchen area and any air conditioning units must be submitted for approval by the Local Planning Authority, in writing, before the commencement of works on site, and subsequently installed in the building in a satisfactory manner, before the development is first occupied/use commences. Mechanical ventilation equipment from the kitchen area and any air conditioning units must be so positioned, designed and acoustically insulated so as not to cause noise disturbance or affect the amenity of residents as a result of fume or odorous discharge.

REASON: To ensure that the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

28. NSC - External Extract Ducts

Any air conditioning units or extract fans must be so positioned, designed and acoustically insulated so as not to cause noise disturbance or affect the amenity of residents. As such they shall be designed to operate at a level of 10dB(A) below the background noise level to render them inaudible whilst they are operating.

REASON: To ensure that the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

29. NSC - Noise Levels

Upon completion of the development, internal noise levels must comply with BS 8233:1999. A validation noise report demonstrating that this has been achieved must be submitted for approval by the Local Planning Authority prior to occupation of the residential units.

REASON: To ensure that the amenity of the future occupants of the residential units is protected.

30. NSC - Screening

Full details of obscure screening, a minimum of 1.7 metres from ground level, to the first floor communal garden area shall be submitted to and approved by the Local Planning Authority, in writing, before the development commences.

Screening mechanisms to be screened to be agreed with the Local Planning Authority.

REASON: To safeguard against overlooking of adjoining sites and premises.

31. NSC - Dust emissions

An environmental plan demonstrating how dust emissions from the site, traffic and plant during the construction phase will be controlled shall be submitted to and agreed by the Local Planning Authority in writing, and implemented, prior to any works commencing on site.

REASON: To ensure that the development is not prejudicial to the health of environment and prospective occupiers.

32. NSC - Energy

Before the development hereby permitted commences at the site, a scheme shall be submitted to and approved in writing by the Local Planning Authority describing the energy strategy for this development, embracing energy demand, as well as the feasibility and implementation wherever possible of energy efficient and renewable energy technologies. The development shall be carried out and completed in accordance with this scheme.

REASON: In order to ensure that the development is efficient in its resource use.

33. NSC - Highway works

The development hereby permitted will not be implemented until/unless the owner of the site has entered into a legal agreement with TfL for works to Wick Road pursuant to a Section 278 Highways Act 1980 and provided a copy of the same to the Local Planning Authority.

B) The above recommendation be subject to the applicant, the landowners and their mortgagees entering into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended), in order to secure the following matters to the satisfaction of the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

1. To secure the provision of 100% of units as affordable housing, with a split of 65:35 socially rented/intermediate housing.
2. Payment of an education contribution of £10,380 through s106 with respect to anticipated child yield from the additional residential housing units being provided in accordance with the DFES cost of providing a school place.
3. Payment of the landowner/developer of £30,000 towards environmental improvements or community facilities, including the improved links between the site and nearby open spaces.
4. The applicant is advised that they will be required to enter into a highways Section 278 legal agreement with TfL.
5. The submission of a Green Travel Plan covering both residential and business use, including servicing of the site. The contents to be included to be agreed with the Council.
6. B1 to shell and core prior to occupation of residential units.

7. All residential units to be built to lifetime home standards (except parking requirement).
8. Considerate Contractor Scheme – the applicant to carry out all works in keeping with the National Considerate Contractor Scheme.
9. Parking spaces to be prioritised for the 4 bedroom accessible units.
10. Submission of a legal agreement between the developer and the Registered Social Landlord agreeing that the development will be car free for the non-family units. The agreement must contain the number of family units that will not be entitled to a residents' permit as some of the proposed onsite parking relates to the family units.
11. A contribution of £1000 towards monitoring the level of on-street parking in the adjacent roads, subsequent to the commencement of the use of the building.
12. Best endeavours to use local labour on site.
13. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
14. Achievement of a level 4 Very Good rating under the proposed Code for Sustainable Homes.
15. 10% reduction in carbon emissions through the use of renewable energy sources and use of low energy technology.

REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 – Development Requirements, EQ7 – External works and landscape, EQ40 – Noise Control, EQ46 – Recycling Facilities, EQ48 – Designing Out Crime, HO3-Sites for Housing, E3 – Development outside Defined Employment Areas, E14 – Access and facilities for people with disabilities, E18 – Planning Standards, TR19 – Planning Standards, CS2 – Provision of Community Facilities as part of Development Schemes

INFORMATIVES

The following informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.8 Soundproofing
- SI.19 Health, Safety and Welfare at Work
- SI.24 Naming and Numbering
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act 1971
- SI.28 Refuse Storage and Disposal Arrangements
- SI.32 Consultations with TWU
- SI.33 Landscaping

NSI.1 The hours of construction work on site that are audible at the nearest noise sensitive premises shall be restricted to 08:00 to 18:00 Monday to Friday

and 08:00 to 13:00 Saturday and at no time on Sundays & public holidays except by written permission of the Council or where the works are approved under section 61 Control of Pollution Act 1974.

NSI.2 The best practice detailed within the Building Research pollution control guides Parts 1 to 5 for controlling particles, vapour and noise pollution from construction sites must be followed throughout the enabling works, demolition and construction phase of the development.

NSI.3 The applicant is advised that they will be required to enter into a Section 61 agreement under the Control of Pollution Act 1974 with the Pollution Section before commencing work on site in order to control noise and vibration from the demolition/construction work.

NSI.4 Your attention is drawn to the need to comply with the provisions of the Regulatory Reform (Fire Safety) Order 2005 where applicable. The provision of satisfactory means of escape in the event of a fire is the concern of the London Fire and Emergency Planning Authority as fire authority, and information relating thereto may be obtained from the Fire Safety Department, 210 High Street, East Ham, E6 3RS.

16 UNIT L, EAST CROSS CENTRE, WATERDEN ROAD, LONDON, E15

2007/2974 - Section 17 Certificate of Alternative Appropriate Development for A1, A2, A3, B1, C1, C3, D1 and D2 uses.

16.1 The Planning Officer introduced the report, as set out in the agenda.

16.2 There being no questions from Members, the Chair moved to the vote.

Unanimously RESOLVED that:-

A) That a positive certificate be GRANTED, subject to the following:

1. No building work shall be started until details, and where relevant these to include plans/sections and elevations showing the following details in respect of the development have been submitted to and approved by the Local Planning Authority and the relevant part of the development shall in all respects be carried out in accordance with the approved plans:

- (a) Siting of the buildings
- (b) design of the buildings including floor areas, height, massing,
- (c) external appearance,
- (d) means of access, including car parking and servicing arrangements
- (e) refuse including recycling provision
- (f) landscaping
- (g) Archaeological survey

REASON: In order that the Council is satisfied with the details of the proposed development and to ensure compliance with Policies EQ1, ST1 and ST2 of the Hackney Unitary Development Plan.

2. An application for the approval of the reserved matters pursuant to condition 2 shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.

REASON: To comply with Section 92 of the Town and Country Planning Act 1990

3. The development to which this permission relates shall begin not later than whichever is the later of the following dates:- a) the expiration of three years from the date of this outline planning permission; or b) the expiration of two years from the final approval of reserved matters, or in the case of approval on different dates, the final approval of the last such matter to be approved.

REASON: To comply with Section 92 of the Town and Country Planning Act 1990

4. A Design Code shall be submitted to and approved by the Local Planning Authority prior to the submission of any reserved matters application. Any reserved matters applications shall demonstrate compliance with the Design Code or subsequent variation approved pursuant to this condition.

REASON: In order to ensure the highest quality redevelopment of the site based on specific urban design guidelines and to ensure compliance with Policy EQ1 of the Unitary Development Plan.

5. Suitable and sufficient historical search and site investigations to determine the presence of contaminants, including ground exhaled gases, shall be carried out to the satisfaction of the Local Planning Authority. The **Full** results of the investigation and details of proposed remedial measures shall be submitted to and approved by the Council and implemented prior to the start of the development. Such details are to include an assessment of potential for the pollution of the water environment, measures to prevent the migration of contaminants, prevent pollution of ground water and surface water, including measures for monitoring, to protect future maintenance personnel.

REASON: In order to safeguard the amenities of neighbouring properties and the area generally and ensure compliance with policy EQ43 of the Hackney Unitary Development Plan.

B) That the above recommendation be subject to the applicant, the landowners and their mortgagees enter into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended) in order to secure the following matters to the satisfaction of the Interim Assistant Director (Planning) and the Interim Head of Legal Services:

- a. Green Travel plan;
- b. Code of construction charter;
- c. Sustainability framework – Breeam (Office);
- d. Commitment, participation and financial contribution towards local employment and training ;
- e. Financial contribution to any highway works.;

- f. Provision of refuse and recycling bins.;
- g. Flood risk assessment;
- h. Council's Legal Costs.

17 CONTAMINATED LAND PLANNING CONDITIONS

17.1 The Planning Officer introduced the report, as set out within the agenda.

Unanimously RESOLVED:-

- | |
|---|
| <ol style="list-style-type: none">1. To authorise the use by the Planning Authority of the contaminated land conditions, set out in Appendix 1 to the report.2. To authorise the removal of all other contaminated land conditions currently in use by the Planning Authority from data systems in order to prevent their further use. |
|---|

Duration of the meeting: 18:30 – 22:00

Signed

.....
Chair of the Planning Sub-Committee

Contact:
Emma Perry
0208 3563338
Emma.Perry@hackney.gov.uk

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ADDRESS: Old School Site, Woodberry Grove, London N4	
WARD: New River	REPORT AUTHOR: Ron Madell
APPLICATION NUMBER: 2009/0488	VALID DATE: 9.3.2009
DRAWING NUMBERS: as below	
Plan Nos	
T1-90E01 Rev.1	T1-D-20E01 Rev.2
T1-90P00 Rev.2	T1-D-20P00 Rev.2
T1-90P00MP Rev.1	T1-D-20P01 Rev.2
T1-90P03 Rev.2	T1-D-20P02 Rev.2
T1-90P-1 Rev.2	T1-D-20P03 Rev.2
T1-90P27 Rev.3	T1-D-20P04 Rev.2
T1-A-20E01 Rev.3	T1-D-20P05 Rev.2
T1-A-20E02 Rev.3	T1-E-20E01 Rev.2
T1-A-20P00 Rev.2	T1-E-20P00 Rev.2
T1-A-20P01 Rev.1	T1-E-20P01 Rev.2
T1-A-20P05 Rev.2	T1-E-20P02 Rev.2
T1-A-20P09 Rev.3	T1-E-20P03 Rev.2
T1-A-20P10 Rev.3	T1-E-20P04 Rev.2
T1-A-20P11 Rev.3	T1-E-20P05 Rev.2
T1-A-20P12 Rev.3	T1-E-20P06 Rev.2
T1-A-20P17 Rev.3	T1-E-21DE01Rev.1
T1-A-20P25 Rev.2	T1-E-21DE02Rev.1
T1-A-20P26 Rev.2	T1-E-21DE03Rev.1
T1-A-20P27 Rev.1	T1-F-20E01 Rev.2
T1-A-21DE01Rev.2	T1-F-20P00 Rev.4
T1-B-20E01 Rev.3	T1-F-20P01 Rev.4
T1-B-20P00 Rev.2	T1-F-20P02 Rev.4
T1-B-20P01 Rev.3	T1-F-20P03 Rev.4
T1-B-20P02 Rev.2	T1-F-20P04 Rev.4
T1-B-20P07 Rev.2	T1-F-20P05 Rev.3
T1-B-20P08 Rev.2	T1-G-20E01 Rev.4
T1-B-20P09 Rev.2	T1-G-20P00 Rev.4
T1-B-21DE01Rev.2	T1-G-20P00PCFRev.4
T1-C-20E01 Rev.2	T1-G-20P01 Rev.4
T1-C-20P00 Rev.2	T1-G-20P02 Rev.4
T1-C-20P01 Rev.2	T1-G-20P03 Rev.4
T1-C-20P05 Rev.2	T1-G-20P04 Rev.4
T1-C-20P06 Rev.2	T1-G-20P05 Rev.4
T1-C-20P07 Rev.2	T1-G-20P06 Rev.4
T1-C-20P08 Rev.2	T1-G-20P07 Rev.4
T1-C-21DE01Rev.1	T1-G-21DE01Rev.1
	D1398 L 003 Rev. E

D1398 L 101 Rev. J	
APPLICANT: Berkeley Homes (North East London) Ltd	AGENT: Rolfe Judd Planning Old Church Court Claylands Road London, SW8 1NZ
PROPOSAL: Modifications to planning permission reference 2007/1841 to provide a mixed use scheme comprising 490 residential units (Class C3), 730 sqm for a community hall and related facilities Class D1), 1240 sq m retail, restaurant, business and other uses (Class A1, A2, A3, A4, B1, D1, D2), round and basement car parking (169 spaces). The development comprises seven blocks of four to twenty seven storeys in height, a new access road running between Woodberry Grove and Towncourt Path, a re-aligned junction at Woodberry Grove/Woodberry Down, a new linear public open space and new Doorstep Playable Space.	
RECOMMENDATION SUMMARY:	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

CPZ		x
Conservation Area		x
Listed Building (Statutory)		x
Listed Building (Local)		x
DEA		x

LAND USE DETAILS:	Use Class	Use Description	Floorspace sqm				
Existing	Vacant D2	Site of Secondary school	1095 (Site area)				
Proposed	A1, A2, A3, A4, B1, D1, D2 (Flexible)	Retail/ Services/Cafes/ Community Business/ Leisure	1,207.5				
	D1	Residential Community facility	684				
	C3	Dwelling Homes	32,715				
RESIDENTIAL USE DETAILS:	Residential Type	No of Bedrooms per Unit					
Type		Studio	1	2	3	4	5
Existing	Not applicable	Not applicable					

Proposed		0	143	232	108	7	0
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PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	0
Proposed	177	19	490

1.0 BACKGROUND AND PURPOSE OF APPLICATION

1.1 This report considers a full (ie detailed) planning application for the site known as Kick Start Site 1 (KSS1) or the 'Old School Site', the first site to be developed within Phase 1 of the comprehensive redevelopment of Woodberry Down.

1.2 The application proposes modifications to the previous planning application for the 'Old School Site' agreed by the Sub-Committee and following negotiations a Section 106 agreement planning permission granted in March 2009 (application reference 2007/1841). They are in summary:

- Alterations to the tenure and unit mix of KSS1 to provide an increase of 34 residential units
- Alteration to the ground floor retail units in Block C to residential use
- Provision of flexible use planning permission for Blocks A, B & D - ground floor uses to provide Class A1, A2, A3, A4, B1, D1, D2 uses;
- Modification of Block A to provide 2 additional floors to the tower element of the scheme and conversion of the first floor for residential use;
- Increase in footprint of southern end of Block G to accommodate the Priority Community Facility (PCF);
- Alteration to the proposed development phases on the site to accommodate the construction of social units prior to construction of the private units.
- Minor modifications to the permitted scheme
- Amendments to the Landscaping Strategy
- Revised Energy Strategy to match OPA Energy Strategy
- Modifications to the ES through provision of an addendum statement
- Modifications to the FRA through provision of an addendum statement
- Modifications to the TA through provision of an addendum statement

- 1.3 Woodberry Down has been the focus of regeneration proposals since 1999. An Area Action Plan was adopted by the Council providing guidance to the regeneration of the Woodberry Down in 2004. This was followed by an Urban Design Framework prepared by Hackney Homes in August 2005.
- 1.4 In order to facilitate the regeneration of Woodberry Down including KSS1, an Outline Planning Application (OPA) known as the Masterplan, was prepared by Hackney Homes, providing the parameters on tenure mix, unit mix, building heights, materials and the treatment of amenity spaces. The document was accompanied by an EIA and other documents supporting the Outline Application including a district wide Energy Strategy. The final version of the OPA was presented to the Planning Sub-Committee on 16th October 2008, when it was emphasised that the transformation of the estate into a sustainable community is a key objective of the Borough's regeneration strategy. The Committee resolved to grant the application subject to Mayor of London approval and the signing of a Section 106 Agreement.
- 1.5 Planning permission was originally granted for the first stage of the Woodberry Down Regeneration Scheme, known as Kick Start Site 1 (KSS1), on 12 March 2008 for redevelopment of the site to provide a mixed use scheme comprising 456 residential units (Class C3), 1128 sq m Priority Community Facility with associated retail (Class D1/A1), 904 sq m of flexible accommodation to include retail, restaurant, business and other uses (Class A1, A2, A3, A4, B1, D1, D2), ground and basement car parking (186 spaces). Development to comprise seven blocks of four to twenty five storeys in height, new access road and junction to Woodberry Grove, new public open space and new Local Area for Play (detailed application).
- 1.6 As part of the application, a Section 106 agreement was concluded with Berkeley Homes which included a wide range of Planning Obligations, mainly financial contributions, of which the following are the key items:
- Housing
 - Priority Community Facility
 - Transport
 - Sustainable Design and Development
 - Public Art

- Open Space and Landscape
- Section 278 Works
- Code for Sustainable Homes
- Provision of renewable energy – community heating networks

1.7 Since the conditional approval of the application (subject to the S106 agreement), further negotiations have occurred between LB Hackney and Berkeley Homes regarding the S106 terms to reflect the current housing market downturn but also where some infrastructure elements are now to be provided directly by Berkeley or funded from other sources:

- Educational, skills training, construction training and library contribution
- Affordable Housing Provision
- S278 Highway works
- Revisions to the tenure mix within Block E

1.8 Following these negotiations, amendments occurred to the Section 106 agreement with regard to the above items which were approved by Hackney's Planning Committee on 2nd July 2008 and 7th January 2009. Changes have occurred to the tenure mix within the scheme. The original tenure mix for the residential units as approved by Committee on 12th March 2008 is set out below in Table 1.1

1.9 Table 1.1

Unit S i z e	Private	Intermediate	Social Rented	Total	%
Studio	14	0	0	14	3
1 Bed	75	26	41	142	31
2 Bed	86	19	40	145	32
3 Bed	95	13	22	130	29
4 Bed	0	7	10	17	4
5 Bed	0	5	3	8	2
Total	270 (59%)	70 (16%)	116 (25%)	456	100

- 1.10 Since the submission of the original application for the site in 2007 and, more particularly, in the last 12 months, there has without doubt been a significant reduction in sales of new private housing. Given this economic situation, the Council and Berkeley Homes have reviewed the development of the 'Old School Site' and how it can be developed to ensure that it delivers a range of units and tenures which meets both the Council's objectives of bringing forward new homes for residents as part of the overall Woodberry Down regeneration; and is also a viable mixed tenure development. The solution has been to review the phasing for the build programme to bring forward Blocks F and G first, followed by a rolling programme of development of the other residential blocks to be reviewed following this. Blocks F & G are wholly social rented units and their early start on site will allow new homes to be delivered to existing residents promptly.
- 1.11 Changes to the unit sizes and tenure mix within the Blocks are proposed to meet the up to date requirements for social rented, intermediate and open market occupiers. In addition to the unit mix, revised tenure and phasing changes, Berkeley Homes has acquired 12 Towncourt Path and its demolition will allow for the opportunity to extend Block G further westwards, increasing the number of overall units that the scheme can provide. This has a further benefit in allowing for the relocation of the Priority Community Facility (PCF) from Block A to Block G, and as an integral part of that Block this will ensure that it will be constructed at the earliest stage of the development.
- 1.12 There are a number of other minor changes to the scheme which are discussed in Section 7.
- 1.13 These changes are considered to require a new planning application, and also an Addendum to Environmental Statement and Transport Assessment which analyses and deals with the effects of the revisions to the scheme.
- 1.14 The revised application comprises the following documents:
- Application forms & full set of plans, elevations & sections;
 - Schedule of accommodation (residential & commercial uses);
 - Design & Access Statement
 - Planning Statement;
 - Statement of Community Involvement (within Planning Statement)
 - Environmental Statement and Addendum
 - Flood Risk Assessment
 - Energy Strategy and Addendum

- Transport Assessment and Addendum

1.15 Work has started on the development as approved, and agreement of the Homes and Communities Agency (HCA) has been secured in principle by Berkeley Homes for gap funding of the 47 of the 75 shared equity dwellings now proposed. HCA funding in principle is also already being obtained for the 117 social housing units.

2.0 SITE DESCRIPTION

2.1 The Application Site (1.9ha) is located towards the southern edge of Woodberry Down estate, an 'L' shaped site fronting Woodberry Grove and running south to the edge of the New River. Facing the site to the east of Woodberry Grove is a long parade of shops and commercial units with two storeys of residential above, to be redeveloped in Phase 4 of the Masterplan. To the north west of the site is the Beis Chinuch Lebonos Girl's School, a privately owned girls' school, and to the west is Needwood House, an 8 storey residential block due for demolition in Phase 2.

2.2 The Old School site has been identified as one of the few areas of some ecological importance within the wider Woodberry Down Regeneration Area, due to the waste ground and mixture of scrub, semi-natural vegetation and tree groupings. The site does not lie within any statutory or locally designated ecological areas or Conservation Areas and does not contain any listed buildings although the Grade II Listed John Scott Health Centre is approximately 250m southwest of the application site and the Grade II Listed Reservoir Centre is approximately 350m southwest of the application site.

2.3 The site is currently vacant, with a mixture of scrub, semi-natural vegetation and tree groupings. One empty former school outbuilding remains in a roughly central position. Walls and panel fencing screen the site from public view, except from the New River/ West Reservoir defined by a chain link fence.

2.4 The site adjoins the open land alongside the New River (a designated Green Link) and beyond it the West Stoke Newington Reservoirs, a designated Conservation Area and with the status of Metropolitan Open Land (MOL) and metropolitan significance for nature conservation. These open areas are a key element in the site's setting,

calling for careful treatment of new development notwithstanding the generally medium-rise nature of the existing estate.

3.0 CONSERVATION IMPLICATIONS

- 3.1 The Application Site contains no listed buildings. Those within the Masterplan area comprise St Olave's Church (grade 2), the John Scott Health Centre (grade 2) and Woodberry Down Primary School (grade 2). Beyond the Woodberry Down area is the Metropolitan Water Works Engine House on Green Lanes (Grade 2*). Of these buildings, the Church of St Olave lies nearest, about 20 metres away although with a series of existing and proposed flat blocks of up to six storeys intervening along Woodberry Grove, there will be no immediate impact on its special character or setting. The high-rise tower of 27 storeys (but only 1.8m higher than approved already) is intended to be a prominent landmark at the centre of the renewed neighbourhood, but will not be seen in the same visual context as the church or the other listed buildings, with the new development further separating them from the tower.
- 3.2 The health centre and primary school buildings were listed late in 2006. This resulted in revision of the Masterplan and its accompanying Environmental Statement, whose conclusions that the regeneration scheme would not detract from the setting of any of the historic buildings in the area were supported by the officers and English Heritage.
- 3.3 The Stoke Newington Reservoir Filter Beds and New River Conservation Area adjoin the south-eastern edge of the application site: Woodberry Down Estate as a whole defines the northern boundary of the Conservation Area. The Kick Start Site 1 buildings will provide an urban backdrop to the north but with additional native tree planting along New River and the nearest wings of the new flat blocks set at least 20m metres back from the New River.
- 3.4 The site is partially within Metropolitan Open Land and the permitted scheme proposed no buildings within the designated land. This principle is retained with the revised application.

4.0 PLANNING HISTORY

Area Action Plan

- 4.1 In order to provide a planning framework for the regeneration of the Woodberry Down Estate an Area Action Plan (AAP) for Woodberry Down was prepared by the Council and adopted in August 2004 following extensive consultation with the local community between May and June 2004. The AAP established the parameters for regeneration and redevelopment principles and set out a vision to transform the area into a sustainable neighbourhood.
- 4.2 The key provisions of the AAP are:
- Public Open Space should cover not less than 10% of the Woodberry Down area
 - Parking provision of 50% - one space for every two homes with good facilities for cycling, walking, encouraging the use of public transport (see section 8.8 for detailed discussion on current transport policy on car parking)
 - There should be a mix of uses and tenures at Woodberry Down to make an exciting vibrant community
 - There should be top quality buildings and urban design
 - The redevelopment should be sustainable
 - There should be adequate facilities to meet the needs of the community
 - The community must continue to be involved in the redevelopment.
- 4.3 These provisions are then addressed in a range of core and general policies. A necessary initial output of the AAP was the need to draw up an urban design framework for the estate, building on the plan's key provisions. This was prepared during 2004 and adopted by Cabinet in January 2005. It sets out a vision and develops a design approach taking account of the following elements, and incorporating an urban design framework:
- Open space: reorganised, a hierarchy of private and public spaces serving each quarter, and utilising the potential of the reservoirs and New River
 - Roads: reducing the width of Seven Sisters Road with additional crossings and junctions, with traffic calmed streets within the site that discourage rat-running and encourage cycling and walking
 - Parking: provision partly under ground within a CPZ and with lower provision nearer Manor Park underground station
 - Housing: responding to current need and mix
 - Sites: identification of four sites (Old School Site, Woodberry Grove North, Woodberry Grove/Oakend/Parkfield House,

Newnton Close) suitable for early development, particularly for those living in unsound buildings

- Community facilities: identification of education, health, retail and other commercial uses

Outline Planning Application (OPA)

- 4.4 In order to deliver the aims and objectives of the AAP, the Council, through its ALMO Hackney Homes has prepared a Masterplan for regenerating Woodberry Down. The outline application for the Woodberry Down Masterplan was submitted to the Council in December 2006 and originally considered by the planning committee on 10th September 2007 where it was resolved to grant permission, subject to a Section 106 Legal Agreement (in the form of a unilateral undertaking by the Council) to ensure delivery of a comprehensive range of facilities and safeguards and also that development is in accordance with a comprehensive design code; safeguards which are needed for this major 20 year redevelopment programme to accord with Council and London Plan policies.
- 4.5 Further to this Committee, a revised application was resubmitted to LB Hackney in March 2008. The revised application was required to be altered due to the listing of the John Scott Health Centre and Woodberry Down Primary School which required amendments to the Masterplan and the Environmental Statement.
- 4.6 As a result of the listing and other factors, a number of changes occurred to the original Masterplan, these are described in summary:
- Retention of the existing primary school resulting in a small increase in the size of the proposed education campus. This was sought to be compensated by a small reduction in land for housing in the vicinity of the campus.
 - The City Academy to be constructed on land previously designated for housing. In order to ensure viability of the scheme the 'lost' housing, needs to be recovered elsewhere within the site and therefore has resulted in additional knock-on changes as described below.
 - The Business and Training Development Centre (BTDC), now located within the ground floor level of a new residential block and the adjoining residential block has also been enlarged. These blocks front the north side Seven Sisters Road, at the corner of Woodberry Grove.

- The building heights south of the listed school increased from previously 4 storeys (of the City Academy) to seven and nine storeys but reducing down to mainly 5 and 6-storeys high at the rear where the buildings will adjoin the listed school.
- The area around what was previously described as 'Woodberry Circus' was redesigned. This previously comprised three blocks centered on an area of open space fronting Seven Sisters Road. The blocks layout is now more consistent with the surrounding Masterplan, still centered on a sizeable new public open space and occupying a similar overall plot. The resulting layout has led to a higher degree of permeability within this part of the site.
- The alterations described above resulted in the need to relocate the north-south pedestrian and cycle routes through the site. These routes are now spread apart more evenly across the area north of Seven Sisters Road, leading to the two new bridges over New River connecting with Eade Road. The easterly footbridge is now to be located so that it connects more directly than proposed in 2007 with the employment area at the eastern end of Eade Road. This route will provide a clear axial route through the site from the East Reservoir.
- The proposed health centre as shown in the 2007 submission mid-way along the south side of Woodberry Down is now a formal part of the proposal, with residential on its upper floors.
- The existing John Scott Health Centre is remaining. It is also proposed to increase the potential height of the proposed replacement building on the site of St. Olave's Church Hall, so that the parameters range is now between 2 and 6 storeys.
- The height of the proposed tower within KSS1 increased from 21 storeys to 25 storeys.
- Overall, the changes to the scheme have resulted in a relatively small increase in the number of residential units proposed to 4,664 dwellings.

It was resolved by the Sub-Committee on 16th October 2008 to grant outline permission subject to completion of a suitable Sec 106 The revised Masterplan (application reference: 2008/1050). It Agreement, and subject to a direction by the Mayor of London. The Masterplan proposal is for the total regeneration of the estate and immediate vicinity as a comprehensive development, to provide:- 4,664 homes (including 41% affordable), with associated car parking at an overall site provision rate of 50%; approximately 38,500 m² of non-residential buildings and associated car parking, including 5,194 m² of retail buildings within classes A1-A5, 3,144 m² of class B1 Business use,

30,000 m2 of class C1, D1 and D2 use including education, health centre, children's centre, community centres, youth centre; provision of new civic space, public parks, open space, landscaping of the edges of the New River and the East and West Reservoirs, construction of bridges across the New River, reduce width of Seven Sisters Road from 6 to 4 lanes and related improvements to the public realm; formation of new access points to the new Woodberry Down Neighbourhood, the creation of new and improvement of existing cycle and pedestrian routes to and within the estate.

Detailed Planning Application – Kick Start Site One

- 4.7 An application for the regeneration of the first kick start site, The 'Old School Site' known as Kick Start Site 1 (KSS1) was submitted by Berkeley Homes on 20th July 2007.
- 4.8 The application was for the redevelopment of KSS1 to provide a mixed use scheme comprising 456 residential units (Class C3), a new 1128sqm Priority Community Facility (to replace Robin Redmond Centre) with associated retail (Classes D1 & A1), 904 sqm of other flexible use accommodation at ground floor to include retail, restaurant, business and other uses (Classes A1, A2, A3, A4, B1, D1, D2) and on street and basement car parking (186 spaces).
- 4.9 The application was a detailed application. The application made full reference to and was principally compliant with the Woodberry Down Masterplan including landscaping, provision of community facility, retail units, affordable housing levels and unit mix.
- 4.10 Following detailed discussions with the Council and the progress of the Masterplan application, the KSS1 application was validated on 23rd July 2007.
- 4.11 The proposed scheme was referred to the Mayor of London under the provisions of the Town & Country Planning (Mayor of London) Order 2000. The Stage 1 report on the scheme was published on 14th November 2007. The Mayor recommended that Hackney Council be advised that the principle of the development was accepted, subject to the successful resolution of outstanding energy, access, transport and local employment initiative issues.

- 4.12 The scheme was presented to Committee on 12th March 2008 and was recommended for conditional planning permission subject to a Section 106 legal agreement, and any direction by the Mayor of London.
- 4.13 Following the committee presentation, the application was referred to the Mayor of London ('Stage 2') on 14th May 2008, who decided that Hackney Council be advised that it may determine the case itself, subject to any action that the Secretary of State may take, and did not therefore wish to direct refusal.
- 4.14 Berkeley Homes agreed to contribute a combined total of approximately £2,891,000 towards educational, skills training, construction training and library contributions. Following the statutory listing of Woodberry Down Primary School, a new site for the Academy was decided on, using land originally intended for housing. Exchange land for this new housing was secured through purchase by Berkeley Homes to obtain vacant possession, and carry out site clearance works. In recognition of this and the latest estimates of costs, it was resolved at the 2nd July Sub-Committee that the educational, skills training, construction training and library contribution should be reduced from a combined total of £2,891,313 to £1,269,000. The Committee on January 2009 subsequently revised this contribution to £1,189,000.
- 4.15 Berkeley Homes and LB Hackney also sought agreement for further changes to the S106 items at the 7th January 2009 Meeting in order to facilitate commencement of the development on site. The detailed planning application (2007/1841) included the provision of 186 affordable units comprising 155 social rented units and 31 intermediate units in KSS1. Due to the extreme market problems that have emerged over the past 6 months, this mix of affordable units was considered unviable. Instead, it was agreed to alter the mix to increase the intermediate provision by 39 units and to decrease the social units by 39, providing 70 intermediate units and 116 social rented units with 270 private units.

5.0 CONSULTATIONS

- 5.0.1 This section sets out the response received to the original application by residents and others further afield in the community, and also consultation responses from expert and other bodies.

5.1 Neighbour consultations

5.1.1 Since the Woodberry Down regeneration project's inception in 1999, the Housing Department, and subsequently Hackney Homes, have utilised a range of means of engaging and involving residents within and around Woodberry Down, including:

- Workshops
- Focus Groups
- Newsletters
- Road Shows
- Resident Site Visits to Berkeley Homes' schemes
- Regeneration Site Visits
- Organised Events (including annual Fun Days)
- Youth Projects
- Community participation (including Tenant Associations and Estate Committees)
- Press releases
- Elected estate development committee
- Independent Tenants Leaseholder Advisors (ITLA)

5.1.2 For the first detailed scheme for the Old School site application (App Ref. 2007/1841), a total of over 4,000 notification letters were delivered to households in and around Woodberry Down, and to adjoining streets in Stoke Newington beyond the reservoirs. A total of 88 responses to the notifications were received.

5.1.3 A Statement of Community Involvement was also prepared by Berkeley Homes and accompanied the previous Planning Scheme (App. Ref. 2007/1841). It summarised the extensive community consultation and engagement that had taken place and which has influenced the design process of the outline application, including site visits by residents to Berkeley Homes developments across London to view similar forms of development to that being proposed at Woodberry Down and a community 'drop in' centre for the planning application proposals in the shop on Woodberry Grove leased by Berkeley Homes.

5.1.4 All of the relevant statutory bodies and the residents' group WDCO have been consulted on the proposed alteration of the scheme (see Section 5.5). Due to the nature of the changes, which do not fundamentally alter the overall design and layout of the scheme, a reduced letter drop was undertaken, but still covering 2,000 residents.

This advertised an exhibition which was held at the Berkeley Homes drop-in shop in Woodberry

5.1.5 All of the local stakeholder groups were consulted on the changes and given an opportunity to respond to the scheme during the application stage, these are as follows:

Summary of Application Notification Responses to the Council

Objection	In WD Masterplan site	Outside Masterplan Area
Height of residential tower building (one also opposed to overall density) <i>See Design, Section 7.5</i>	2	4
Pollution – including visual: loss of Views <i>See Design Conclusions, Section 7.5</i>		1
Impact on wildlife of removal of trees & landscape proposals <i>See Nature Conservation in Section 7.7</i>		6
Generation of additional traffic / inadequate levels of parking proposed <i>See Transport – Section 7.9</i>		2
Additional shops not justified – effects on existing shops & businesses <i>See Alterations to Uses in Block C – Section 7.3</i>		1
A majority of the estate do not favour total development <i>See Planning History (Section 4) & Neighbourhood Consultations (Section 5.1)</i>	1	
TOTALS	2	14
Support	10	4
Neither Support nor Oppose	2	2

5.2 Local group consultations

5.2.1 Berkeley Homes and their architects (Rolfe Judd) met with WDCO on 28th January to discuss the Revised Application proposals.

5.2.2 Key points from the meeting:

- Berkeley Homes set out the timetable for starting the redevelopment of KSS1
- Berkeley Homes explained the proposed changes to the scheme including alterations to the ground floor units in Block C, the extension on Block G and the relocation of the Priority Community Facility (PCF) from Block A to Block G and the alterations to Block A.
- Berkeley Homes explained the phasing with Blocks F and G to be constructed first.
- Key issues raised were; tenure of flats above the PCF, sound proofing of the PCT, proposed outdoor space for PCT and design of additional element to Block G.
- Members of Woodco requested details of proposed materials;
- WDCo enquired about the traffic arrangements, in particular, the construction traffic arrangements. Berkeley Homes stated that they would get their construction manager to liaise with WDCO on the arrangements to minimise disturbance during construction.
- Written observations have yet to be received from WDCO at the time of preparation of this report.

5.2.3 The London Wildlife Trust: Prior to the submission of the revised planning application for KSS1 with its Addendum ES, information on the proposed changes to the scheme was forwarded to the local group, who now have a role in the running of East Reservoir, which is managed for nature conservation.

5.3 Other External Consultations

5.3.1 LBs of Haringey, Islington: No response. It is considered that the revised scheme will not affect these adjoining boroughs. Haringey were concerned about secondary education, but the Skinners Academy is now starting construction and will also serve areas in that Borough. Traffic issues are not considered by this Council or TfL to warrant refusal, subject to final approval of modelling of any forecast growth by TfL.

5.3.3 English Heritage: English Heritage raised no conservation comments regarding the previous scheme and considered the application should be determined in accordance with national and local plan policy guidance and on the basis of the Council's own design and conservation advice. In terms of archaeology EH is satisfied provided

site investigation is approved prior to works below ground, and this is in hand.

- 5.3.4 Commission for Architecture and the Built Environment (CABE): CABE was consulted as part of the original application for KSS1. Overall their comments were very positive towards the scheme, and the design was amended prior to submission to reflect comments received. No further consultation is considered necessary for the revised scheme.
- 5.3.5 Environment Agency: Conditions are again recommended in respect of compliance with the submitted Flood Risk Assessment, and submission of a landscape management plan, including species and maintenance arrangements.
- 5.3.6 Thames Water: A number of detailed requests relating to water supply and drainage specifications, suitable for inclusion in any approval as Informatives.
- 5.3.7 Natural England: No response to date. Natural England was supportive of the original planning application scheme including the ecological mitigation and enhancement proposals, including new areas of green and brown roofing, wildlife-sensitive lighting schemes, realignment of the New River path and a 20m buffer zone between the river and any buildings.
- 5.3.8 Natural England noted for the previous application that it would be keen for the Council and developers of the phases of Woodberry Down to explore the following issues through the development of Woodberry Down:
- Reed bed creation in the West Reservoir
 - Planting of native aquatic vegetation in the New River
 - Water quality monitoring, diagnosis of problems and investigations of potential solutions for the western arm of the New River and the West Reservoir itself.
- 5.3.9 A landscape scheme has already been submitted to the Council as part of the planning conditions on the original permission. The Landscape Management Plan should include continuing management of the matters in 5.3.8 above.
- 5.3.10 London Fire and Emergency Planning Authority (LFEPA): No response. Suitable condition for details of emergency external routes around buildings to be re-imposed.

5.3.11 City and Hackney PCT: No response. The development of the site at Pewsham House will include the provision of a new health centre for Woodberry Down, with the PCT as promoter. This will have major benefits to the areas as a whole, beyond Woodberry Down.

5.3.12 Mayor of London: The Mayor and GLA support regeneration of Woodberry Down as a London-wide priority. The Stage 1 observations are summarised as follows:

London Plan policies on housing, design, climate change mitigation and adaptation and transport are relevant to this application. In general, the application complies with these policies. However, some additional information is required, in addition to the Council securing necessary elements through the legal agreement.

Housing: The housing schedule should meet the requirements of the agreed masterplan. The Council should demonstrate that sufficient social rented and family accommodation is being provided.

Design: The revisions to the scheme are not significant and therefore do not raise strategic design issues.

Climate change mitigation and adaptation: The energy strategy for this application accords with the masterplan strategy, which meets London Plan policies. The Council should adequately secure the strategy.

Transport: Further information regarding cycle parking and servicing impact is required. The Council should secure a proportionate contribution towards public transport improvement and the delivery and management of a travel plan, construction logistics plan and delivery and service plan.

5.3.13 Since the original Old School application, extensive consultation has occurred with both the Masterplan team and the GLA with regards to the provision of sustainable energy on the site. It has been agreed that KSS1 will link with the overall Masterplan renewable energy system in the long term although in the short term the site energy will be provided by two gas fired boilers, one within Block F and one within Block A.. The energy strategy is discussed in detail in the attached Energy Strategy document from MLM however the principle allows for the phasing of the development to occur as proposed whilst ensuring that socially rented properties are not impacted by onerous charges.

5.3.14 Transport for London (TfL): as Transport above.

5.3.15 Metropolitan Police Authority (MPA); Secured by Design: No new observations. The Metropolitan Police Authority was consulted as part of the previous application. Overall, they were positive about the proposals and provided some detailed recommendations on issues including doors, entry and lobby areas (inc CCTV); lighting of communal and bin store areas; design of the broad open buffer zone to New River and other public realm areas; and car parking. The CPDA recommended that on-street car parking spaces be designated to users; some spaces may be designated for the Priority Community Facility. The basement car parking facilities should be designed and built in accordance with the 'Park Mark' safer parking basement/underground parking facility assessment guidelines; all access points from the basement to the stair and lift cores must be access-controlled.

5.3.16 Off-street entry to the basement car park would need steel shutters or doors at the bottom of the entry ramp with an option for similar doors at the top of the ramp, with uneven surface paving or other suitable hard landscaping measures to prevent skateboarding on the ramp. Dual entrances to Blocks A and B (from the green route and Woodberry Grove) creates a less safe environment than a single entry and is unadvisable.

5.3.17 These comments have been considered and many of the recommendations are part of the revised scheme. The comments regarding removing the dual access to retail units has been incorporated into the scheme and access will now be from Woodberry Grove.

5.4 Council departments and officers

5.4.1 The following Hackney Council departments have been consulted with regard the revised application.

5.4.2 Street Scene Division (Transportation and Highways): Comments awaited. WSP Consultants have been in discussion with the Transportation and Highways section regarding the revised application and officers are satisfied with the revised scheme as regards highway issues.

5.4.3 Urban Design and Conservation Team: Final comments awaited. The main changes in the scheme are:

- Modification of storey heights within Block A to provide 2 additional floors to the tower element of the scheme and conversion of the first floor for residential use. The increase in height overall is approximately 2m;
- Increase in footprint of southern end of Block G to accommodate the Priority Community Facility (PCF) with a four storey extension to the block.

5.4.4 Landscape Observations: There are only limited physical changes to the landscaping within the revised scheme and these are highlighted within the Design and Access Statement. The key areas of changes are:

- The change of use of the ground floor of Block C to residential and the subsequent amendment to the public realm;
- Amendments to Block G to incorporate the extension and the provision of the PCF.

5.4.5 Details of the landscaping strategy for hard and soft landscaping are considered acceptable in principle. Any more detailed comments will be reported at the Meeting.

5.4.6 Environmental Health: No response. Comments were received from Environmental Health during the original planning application. These comments led to the imposition of conditions on the planning permission related to:

- Construction Management
- Noise and Vibration
- Contamination of Land

5.4.7 Berkeley Homes has already prepared details to satisfy all of these conditions which have been submitted to the Council.

6.0 PLANNING POLICIES

6.1 Hackney Unitary Development Plan – Saved policies

EQ1: Development Requirements
EQ12: Protection of Conservation Areas
EQ16: Protection of Listed Buildings
EQ18: Setting of Listed Buildings
EQ21: Metropolitan Open Land

EQ29: Archaeological Heritage
EQ32: Shop Fronts
EQ46: Recycling Facilities
EQ48: Designing Out Crime
HO3 Other housing sites
HO5 Estate Improvements
E14: Training
E18: Planning Standards
TR19: Planning Standards
R4: Local Shops
OS1: Enhancing Metropolitan Open Land
OS2: Open Spaces and Parks
OS4: Protection of Character of Open Spaces and Parks
OS5: Development Affecting Open Spaces and Parks
OS6: Green Chains and Links
OS9: Recreational Footpaths, Towing Paths, Cycleways and
Bridleways
OS13: Access and Use of Water Areas
OS14: Development and Areas of Nature Conservation Importance
CS2: Provision of Community Facilities
CS3: Retention and Provision of Community Facilities
CS4: Provision of Health Care Facilities
CS6: Provision of Education Facilities
ACE6: Arts and Open Space
ACE8: Planning Standards

6.2 Other Relevant Hackney Policies

New Residential Development (1998) SPG1
Woodberry Down Area Action Plan (August 2004) SPG
Affordable Housing (2005) SPD
Planning Contributions (2006) SPD
Woodberry Down Urban Design Framework (January 2005 –
non-statutory)
Public Realm Design Guide (draft, July 2007)

6.3 Regional Planning Guidance

RPG 9: Regional Planning Guidance for the South East

6.4 London Plan Policies

- 2A.1: Sustainability Criteria
- 3A.1: Increasing London's Supply of Housing (as amended 2006)
- 3A.2: Borough Housing Targets (as amended 2006)
- 3A.5: Housing Choice
- 3A.6: Quality of new housing provision
- 3A.7: Large Residential Developments
- 3A.9: Affordable Housing Targets
- 3A.10: Negotiating affordable housing in private/mixed-use schemes
- 3A.13: Special Needs and Specialist Housing
- 3A.17: Addressing the needs of London's diverse population
- 3A.18: Protection/enhancement of social infrastructure & community facilities
- 3A.20: Health Objectives
- 3A.24: Education facilities
- 3A.25: Higher and further education
- 3A.27: Meeting floor targets
- 3A.28: Social and Economic Impact Assessments
- 3A.29: Support of Neighbourhood Plans
- 3B.1: Develop London's Economy
- 3B.11: Improving employment opportunities for Londoners
- 3C.1: Integrating transport and development
- 3C.2: Matching transport to development Capacity
- 3C.3: Sustainable transport in London
- 3C.21: Improving conditions for walking
- 3C.22: Improving conditions for cycling
- 3C.23: Parking strategy
- 3D.3: Retaining and Improving Retail Facilities
- 3D.8: Realising the value of open space and green infrastructure
- 3D.10: Metropolitan Open Land
- 3D.13: Children and young people's play and informal recreation strategies
- 3D.14: Biodiversity and Nature Conservation
- 3D.15: Trees and Woodland
- 4A.1: Tackling climate change
- 4A.3: Sustainable design and construction
- 4A.4: Energy Assessment
- 4A.6: Decentralised Energy: Heating, cooling and power
- 4A.7: Renewable Energy
- 4A.10: Overheating
- 4A.13: Flood risk management
- 4A.14: Sustainable drainage
- 4B.1: Design Principles for a compact City
- 4B.2: Promoting World Class Architecture and Design

- 4B.3: Enhancing the Quality of the Public Realm
- 4B.5: Creating an Inclusive Environment
- 4B.8: Respect Local Context and Communities
- 4B.9: Tall Buildings – Location
- 4B.10: Large-scale buildings – design and impact
- 4B.11: London’s Built Heritage
- 4B.12: Heritage Conservation
- 4C.4: Natural Landscape
- 5C.1: The strategic priorities for North East London

6.5 The Mayor of London’s Supplementary Planning Guidance

- Housing (November 2005)
- Sustainable Design and Construction (2006)
- East London Sub-Regional Development Framework (2006)
- Providing for Children and Young People’s Play and Informal Recreation (March 2008)

6.6 National Planning Guidance

- PPS1: Delivering Sustainable Development
- PPS3: Housing
- PPG 4: Industrial, Commercial Development and Small Firms
- PPS9: Biodiversity and Geological Conservation
- PPS10: Planning for Sustainable Waste Management
- PPS12: Local Development Frameworks
- PPG13: Transport
- PPG15: Planning and the Historic Environment
- PPG16: Archaeology and Planning
- PPG17: Planning for Open Space, Sport and Recreation
- PPS22: Renewable Energy
- PPS23: Planning and Pollution Control
- PPG24: Planning and Noise
- PPS25: Development and Flood Risk

- The Sustainable Communities Plan (ODPM)
- Circular 05/05 Planning Obligations
- Circular 06/05: Biodiversity and Geological Conservation

6.7 Other Guidance

- CABE/English Heritage: Guidance on Tall Buildings (updated

2007)

- BRE: Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice (Littlefair: 2003)

7.0 COMMENT

7.1 Description of development

7.1.1 In addition to the scheme amendments discussed in Section 7.6.4, this report relates to the proposed alterations to the detailed (full) planning permission for the redevelopment of the Old School site (Application ref. 2007/1841). The application, which was granted approval (subject to the signing of the S106 Agreement) on 7 January 2009, consists of a mixed use scheme comprising 456 residential units in the form of flats (Class C3), 1,128sqm for a community hall and related facilities with associated retail (Class D1/A1), 906sqm of flexible accommodation to include retail, restaurant, business and other uses (Class A1, A2, A3, A4, B1, D1, D2), ground and basement car parking (186 spaces). The development comprises seven blocks of four to twenty five storeys in height, a new access road running between Woodberry Grove and Towncourt Path, a re-aligned junction at Woodberry Grove/ Woodberry Down, a new linear public open space and new Local Area for Play.

7.1.2 As a result of the current economic climate and in order to facilitate the redevelopment of the site, Berkeley Homes propose a number of alterations to the scheme that will ensure its financial viability. These changes have been discussed with Hackney Homes and Hackney's Planning Department as they include alterations to tenure mix and an alteration to the number of storeys in Block A and an extension to Block G.

7.1.3 The key amendments to the scheme to be addressed are as follows:

- Alterations to the tenure and unit mix of KSS1 to provide an increase of 34 residential units
- Alteration to the ground floor retail units in Block C
- Provision of flexible use planning permission for Blocks A, B and D - ground floor uses to provide Class A1, A2, A3, A4, B1, D1, D2 uses;
- Modification of Block A to provide 2 additional floors to the tower element of the scheme and conversion of the first floor for residential use;

- Increase in footprint of southern end of Block G to accommodate the Priority Community Facility (PCF);
- Alteration to the proposed development phases on the site to accommodate the construction of social units prior to construction of the private units.
- Minor modifications to the permitted scheme
- Amendments to the Landscaping Strategy
- Revised Energy Strategy to match Masterplan Energy Strategy
- Modifications to the ES through provision of an addendum statement
- Modifications to the Flood Risk Assessment (FRA) through provision of an addendum statement
- Modifications to the Transport Assessment (TA) through provision of an addendum statement

7.1.4 Each of these key issues is addressed in turn below and assessed against national, regional and local policies and in particular the agreed Woodberry Down Masterplan and Design Code, and the adopted Woodberry Down AAP policies and the non-statutory Urban Design Framework.

7.2 Increase in Residential Units and Revised Tenure/Unit Mix

7.2.1 Table 7.1. Planning permission 2007/1841 :

Unit Size	Private	Intermediate	Social Rented	Total	%
Studio	14	0	0	14	3
1 Bed	75	26	41	142	31
2 Bed	86	19	40	145	32
3 Bed	95	13	22	130	29
4 Bed	0	7	10	17	4
5 Bed	0	5	3	8	2
Total	270 (59%)	70 (16%)	116 (25%)	456	100

7.2.2 Table 7.2. Revised Application:

Unit Size	Private	Intermediate	Social Rented	Total	%
1 Bed	85	27	31	143	29

2 Bed	157	30	45	232	47
3 Bed	56	16	36	108	22
4 Bed	-	2	5	7	1
Total	298 (61%)	75 (15%)	117 (24%)	490	100

7.2.3 The proposed development is a mixed-use scheme that is residential led, but also comprises other uses including retail and commercial uses and a new priority community facility (PCF). The planning permission mix for the development comprises 39% affordable housing and 61% private housing.

7.2.4 As noted previously planning permission was originally granted subject to a Section 106 by the planning committee on 12 March 2008. Further to this and in negotiation with the Council amendments were agreed with officers to ensure the delivery of the scheme and the final proposed mix for the planning permission scheme was presented to and approved by the Planning Sub Committee on 7th January 2008. This mix is set out in Table 7.1. The total number of social rented units was 116 and the number of intermediate units 70 units.

7.2.5 Further to this amendment Hackney Homes has undertaken further research into the housing needs and requirement of existing tenants and leaseholders of existing properties in the remainder of Phase 1 and Phase 2 who will be decanted to KSS1. This research has highlighted the need to amend the proposed mix and tenure of units further to reflect the identified need within the social rented and intermediate units. These alterations are as a result of changes to the scheme including the loss of retail units on the ground floor of Block C and the re-location of the PCF. They are also part of the measures Berkeley Homes require to ensure an early start on site. There are three principal areas where there have been changes to the provision of residential units within the scheme, these are

- Increase in unit numbers
- Amendments to the size and mix of units
- Amendments to the tenure mix

7.2.6 **Unit Numbers:** As noted in the tables above there is an increase of 34 residential units proposed within the revised scheme compared to the planning permission. This has been achieved through physical additions to the envelope of the scheme, through conversion of non residential floorspace to residential (i.e. conversion of the ground floor

retail units in Block C) and through amendments to the overall mix of units being provided (i.e. an increase in smaller units within the private tenure). However some of the proposed changes have also reduced unit numbers, i.e. requirements to meet new housing standards for flats, and the removal of all studio units within the scheme.

7.2.7 With regard the increase in the envelope of the scheme, the physical changes are described in greater detail later within the Statement however these changes are limited principally to:

- Two additional storeys to the tower in Block A;
- Minor extensions to Block A and C;
- Four storey extension to Block G to incorporate 12 Towncourt Path

7.2.8 With regard to the conversion of non-residential floorspace, this occurs at two areas in the scheme:

- At first floor within Block A to utilise the space previously proposed for the PCF which has moved to Block G;
- At ground floor within Block C where the four retail units are to be converted to four residential apartments.

7.2.9 These physical changes and conversion of non-residential space has only a limited impact on the surrounding environment and no significant land use or transport effects. There is a marginal increase in the density of the proposed scheme to that permitted from 240 units per hectare to 257 units per hectare. Policy 4B.3 of the London Plan supports the maximisation of the potential of sites and the Mayor's Housing SPG states that higher densities may be required to generate sufficient cross-subsidy to maintain affordable housing provision. Similarly, PPS3 and the Mayor's East London SRDF seek increases in densities to meet housing targets.

7.2.10 **Unit Mix:** The tables above indicate the approved tenure mix and the proposed tenure mix for KSS1. PPS3: Housing encourages local authorities to meet the housing requirements of local areas as well as providing a mix of dwelling types in order to create sustainable communities. Policies 3A.5 and 6 of the London Plan also encourage new development to offer a range of housing choices, taking into account the housing requirements of different groups. The Council seeks to maximise family-sized residential accommodation of three or more bedrooms in the Borough in accordance with identified needs.

7.2.11 The proportion of family accommodation (three bed+) proposed in the revised scheme is 23% of the total number of residential units, in

accordance with London Plan policies, and addressing specific local housing need. There is a reduction in the overall percentage of family units in the scheme from the permitted scheme from 34% to 23% however this is a result of reassessing the need for private sector three bed units. The reduction in private three beds reflects market demand and also the changing face of the private sector market since the onset of the economic downturn.

7.2.12 The percentage of family units (3 bed +) for the intermediate and social rented tenure is higher than the planning permission scheme with the number of family units in the social rented increasing to 34% and the intermediate tenure increasing to 24%.

7.2.13 The scheme provides 10% wheelchair accessible housing (designed to meet GLA Best Practice Guidance). The achievement of 'Parker Morris plus 10%' space standards in the social units in Blocks F and G is a specific response to decanting residents' concerns about the space standards of new social housing, and should be welcomed and supported. All intermediate units will meet HCA Housing Quality Indicator standards (HQI).

7.2.14 The proposed alteration to the unit mix for the private sector units will enable not only an early start but also targets the provision of both private and affordable housing requirements to facilitate decanting of other residents in the occupied parts of Phase 1 and Phase 2. There is small increase in the provision of family units for the social rented and intermediate tenure.

7.2.15 **Tenure:** The core policy of the AAP and the Masterplan is to deliver a replacement for the existing 2,067 socially-rented homes with the subsequent provision dispersed throughout the neighbourhood, and for each neighbourhood to include a mix of tenures. The AAP also seeks to increase the diversity and mix of housing types and the redevelopment should therefore include a proportion of shared ownership and market housing.

7.2.16 The revised application proposes just over 10% of the total Masterplan housing provision of 4664 units (October 2008). After recent revisions to this application, the affordable component comprises 39% of the total units (24% social and 15% intermediate). There are now 192 affordable housing units – 117 social rented units and 75 intermediate units. The breakdown will be as follows:

- Social rented: 31 one bed, 45 two bed, 36 three bed and 5 four bed flats
- Intermediate: 27 one bed, 30 two bed, 16 three bed and 2 four bed flats

7.2.17 The proposed mix allows an increase of 6 affordable units up to 192 to be provided above the planning permission total of 186 with 1 additional social rented unit and 5 further additional intermediate units.

7.2.18 It is considered that the level of affordable housing (39% by unit) remains appropriate and reflects only a small decrease in the affordable housing percentage granted by Committee in January 2009 and reflects an actual increase in the number of units by 6. The revised tenure mix and phasing enables an early start to the site and will ensure that the social rented units can be provided at the earliest opportunity. It does not conflict with the AAP, Masterplan or Policy 3A.8 of the London Plan in that existing social-rented housing is not affected. Similarly, the proportion of affordable housing is consistent with the aims and policies of the UDP and the London Plan. The overall tenure mix also reflects the Mayor's housing SPG which encourages a mix of dwellings to create a more balanced community.

7.2.19 **Conclusion:** It is considered that the proposed alteration to the unit numbers, mix and tenure accords with Hackney UDP and London Plan policies and is in accordance with the Masterplan and AAP. The scheme will provide a range of unit numbers and sizes which meet the actual needs of social rented, intermediate and private occupiers and will ensure that a viable scheme can be developed at the earliest opportunity. Furthermore, all residential units have been designed to comply with 'Lifetime Homes' standards and 10% of all units are designed to meet the needs of wheelchair users. This is consistent with Hackney and London Plan policies.

7.3 Alteration to the use of ground floor units in Block C

7.3.1 The planning permission includes 4 retail units (flexible uses A1, A2, A3, A4, B1, D1, D2) at ground floor in the western side of Block C (facing the green route). This was to increase the opportunity for non residential uses to enliven the proposed pedestrian route from Woodberry Down to the reservoir. However there are concerns over the viability of these units given their location and the effect the proposed ground floor units have on the landscaping and function of the space. These concerns have been mirrored by CABE and LB

Hackney.

7.3.2 Given the concern about viability and to address these concerns Berkeley Homes proposes converting the four ground floor units in Block C to form four new residential units. These units will be for intermediate tenure and will be accessed from ground level reception areas within Block C. All units will have private garden areas. The landscaping plan has been revised to accommodate the change to residential with defensible boundaries being provided in the landscaping.

7.4 Amendments to Blocks A, B & D ground floors; retail and commercial uses; and the relocation of the Priority Community Facility (PCF)

7.4.1 The regeneration of Woodberry Down is residential-led, but intended to provide a comprehensive range of other commercial, community and leisure uses, including expanded primary and secondary school accommodation and the lifelong learning campus; children's centre and nurseries; business centre and offices; youth centre; community centres; new health centre, retail (including local supermarket), restaurants and bars; sailing club; and public open spaces and wildlife centre.

7.4.2 The 'Old School Site' scheme brings in from the earliest phase a series of new retail/commercial units. These are located in the ground floor of Blocks A, B & D.

7.4.3 In order to make Blocks A, B & D commercially attractive to potential tenants and to reduce the potential for voids between lettings it is proposed that these units be given flexible use planning permission (GDPO 1995 Class E) allowing a range of Class A1, A2, A3, A4, B1, D1 and D2 functions. The views of WDCO in relation to enabling existing businesses to relocate have been noted, and although Class A5 (Take Away) uses are not part of the application, there are no planning policy reasons why changes of use of units could not be considered on their individual merits, in particular calling for conditions to safeguard the amenity of residents in upper floor flats if otherwise acceptable. It would not be acceptable in any case to specify named occupiers in the present application for new buildings.

7.4.4 A new Priority Community Facility to replace the Robin Redmond

Centre was previously to be located at first floor level in Block A, with lift access and a reception at ground level within the planning permission. However there were a number of shortcomings with this arrangement and location. Firstly with the revised phasing Block A is currently proposed to be the last to be constructed. This would mean the PCF may not be delivered until the end of the development programme for KSS1. Secondly the PCF was proposed to be located at first floor which was split level and impacted by the structure of the upper floors. This resulted in a design which reduced access and movement for disabled persons. Thirdly the need for the ground floor reception had a detrimental impact on the quality of the residential reception areas and retail space proposed within Block A ground floor.

7.4.5 The benefits of the new PCF located at ground level in Block G are set out below:

- Greater floor area than previously permitted
- Provided on a single ground floor with level access
- Improved disabled access
- Improved access to the open space adjacent to the west reservoir
- Fantastic views from the PCF and in particular the main hall across the reservoir
- Adjacent to the proposed park in Phase 2
- Easier access for vehicles dropping off or picking up guests

7.4.6 A number of constructive comments have been received from WOODCO regarding the proposed PCF including at a specific meeting to discuss the proposals facilitated by Hackney Homes in early February 2009. It is understood that WOODCO in principle supports the relocation of the PCF subject to discussion on management of the premises.

7.4.7 Table 3 details the proposed non-residential uses on this site and the amount of floorspace for each use. Planning policies strongly encourage mixed-use development, particularly on brownfield sites.

7.4.8 **Table 7.3: Old School site – Proposed non-residential uses and floorspace**

Block	Proposed Land Use	Use Class	Floorspace (m ²)
Block A (Ground floor)	Retail/ office services /restaurants etc/	A1/A2/A3/ A4/B1/D1	571

	community uses (flexible – individual unit uses to be approved)		
Block B (Ground floor)	Retail/office/services/ restaurants etc/ community uses (flexible – individual unit uses to be approved)	A1/A2/A3/ A4/ B1/ D1	483.5
Block D (Ground floor)	Retail/office/services/ restaurants etc/community uses (flexible – individual unit uses to be approved)	A1/A2/A3/ A4/ B1/ D1	153
Block G	Priority Community Facility	Class D1	684.2
Total			1891.7

7.4.9 The Masterplan, AAP and Hackney UDP seek to encourage community uses within the area, with the latter requiring facilities appropriate to the scale of the development (Saved Policy CS2). Although the only community infrastructure brought forward with this ‘Old School Site’ application is the new community centre, the later phases of the Kick Start Sites deliver a health centre, business training centre and new offices for the regeneration team.

7.4.10 The Masterplan shows commercial uses such as shops, services, small-scale offices, cafés and restaurants in key nodes of activity along Seven Sisters Road and near Manor House station, but centring on the new neighbourhood centre in Woodberry Grove.

7.4.11 In qualitative terms, the commercial uses proposed for Woodberry Grove within KSS1 will provide a community hub and local economic activity for Woodberry Down, increasing the vitality of the area and providing essential day-to-day services for the local community.

7.4.12 It is considered that the proposed range of retail and commercial units and the new community centre are fully acceptable and would enhance the vitality of the estate and contribute to the social and economic well-being of the wider area. The proposed uses are therefore in accordance with saved policies R4 and R8 of the adopted UDP, the

core policies of the AAP and the London Plan.

7.5 Design Amendments

7.5.1 The scheme proposes the following changes to the design of the permitted scheme:

- An additional two storeys added to the tower;
- An extension to Block G incorporating 12 Towncourt Path;
- Changes to the elevation of Block G at ground floor level to accommodate the relocation of the PCF;
- Minor changes to the elevation of Block C at ground level to accommodate the conversion to residential;
- Other minor modifications.

7.5.2 Tower and Block A

7.5.2.1 The total number of storeys has increased in the tower in Block A but these remain generally within the overall height of the previous scheme. This is due to the decrease in floor to floor heights from 3000mm to 2900mm. Therefore, the block will comprise a part 25-27 storey tower with lower part 9-11 storey wing to the south adjoining Woodberry Grove.

7.5.3 Block G and PCF

7.5.3.1 The Priority Community Facility (PCF) has been relocated from the ground and first floors of Block A to the ground floor of Block G facing South towards the reservoir. The PCF is angled against the existing rectangular form of the block to create its own identifying entry and semi-public spaces of the hall, internet café and break out spaces. The relocation of the PCF to Block G has resulted in minor amendments to some of the flat plans on the upper floors of the block.

7.5.4 Block C

7.5.4.1 The retail units to the ground floor have been removed to allow for more intermediate flats within the scheme. The ground floor is now entirely of intermediate tenure whilst the upper floors remain private units.

7.5.5 Conclusions on Design

7.5.6 Overall, the proposed first development within Phase 1 of the

Woodberry Down development does not present a more bulky or significantly more dense scheme in its effects on the area. No material visual impact, daylighting or other issues arise from the modifications. It is considered that the proposal complies with the Policies EQ1 of the adopted UDP, 4B.1 of the London Plan and is in accordance with the guidelines set out in the Urban Design Framework and core policies of the AAP.

7.6 Landscape, Play Space and Public Realm

7.6.1 There are only limited changes to the approved landscape strategy which are the result of the conversion of the retail units within Block C to residential and the extension of Block G and the proposed relocation of the PCF to the ground level within Block G.

7.6.2 **Block C:** Given the change of use there are wholly differing requirements for the provision of landscaping adjacent to the ground floor. Whereas previously there was a need for public access to the ground floor and enhanced accessibility along the edge of the building, now it is important to ensure that there is a defensible boundary to the proposed private gardens.

7.6.3 The proposed landscaping now provides public routes set back from the building with hedges and fences ensuring that occupiers of the ground floor units facing the Green Route, can enjoy the vista without having their privacy impacted upon.

7.6.4 **Block G:** The extension of the site into 12 Towncourt Path allows additional landscaping to be provided around Block G and to edge of the New River. Upon completion of Phase 2 of the Woodberry Down Regeneration the proposed landscaping in this area will be a continuation of the proposed new Spring Park to the west.

7.6.5 As for the planning permission the revised scheme will include a number of sustainable measures including the provision of green and brown roofs to maintain biodiversity (particularly for birds) and a Sustainable Urban Drainage Systems (SuDS) to ensure no significant increase in surface water runoff.

7.6.6 The treatment of 'external' areas bordering later phases (Woodberry Grove, Woodberry Lane and other public realm areas) is practical and wholly acceptable. A hard and soft landscaping strategy has already been submitted to the Council under Conditions 5 and 6 of the

Planning Permission and the replanting of tree survey and retention plans have been agreed with the Council's Tree Officer.

7.6.7 Play Strategy: The Planning Permission includes a Doorstep Playable Space (DPS) (formerly termed a Local Area of Play) within the scheme at the southern end of the semi public garden space between Blocks C and E. The DPS is sited in this location to provide a convenient place for young children from all of the blocks to utilise the space and also to allow improved levels of visibility and passive security. A Play Strategy was developed in association with Hackney Homes and its consultants to provide for both the initial phases of development and also the subsequent phases. There are existing neighbourhood play areas to the east of the site on Newton Close. Once the first and second Phases of Woodberry Down have been completed there will be a large park located to the west of KSS1 with significant play facilities including a Multi Use Games Area (MUGA). The provision of landscape, open space, play space and public realm are in accordance with policy H20 (d) of the UDP, the aims and objectives of the Masterplan, Urban Design Framework, the AAP, and the emerging guidance on the public realm. These new open spaces have the potential to be of an excellent standard of design for the application site area and wider community.

7.7 Metropolitan Open Land, Nature Conservation and Water Spaces

7.7.1 The East and West Reservoirs and New River are designated as Metropolitan Open Land (MOL) and Green Chains in the Council's UDP. In addition, the reservoirs and New River are also identified as being Sites of Metropolitan Importance for Nature Conservation; the East Reservoir is also a Local Nature Reserve. The Application Site adjoins a Conservation Area whose special character is largely derived from the relationship between land and water, especially the historic New River.

7.7.2 The planning permission proposes retention and enhancement of the 20m buffer between the New River and the built envelope, with improved landscaping and replanting of native tree species. Substantial planting is proposed across the site, including provision of new trees. In addition, to mitigate against the loss of Black Redstart habitat, brown roofs are to be distributed throughout the site area. Green roofs are also proposed as part of the proposal which can also assist in promoting the biodiversity of the area.

- 7.7.3 The planning permission supports and encourages greater use of the MOL and incorporates the Masterplan aims of providing additional outdoor space and recreational uses associated with the MOL. It incorporates new linked walkways throughout the site, connecting the public open spaces with the MOL (both New River and Reservoirs) and the new linear park. These new north-south links will greatly increase accessibility to the MOL in an area where larger open spaces are at a premium.
- 7.7.4 In addition, the scheme proposes to enhance the New River through the comprehensive re-landscaping of the riverside. No pedestrian bridges are proposed along this section of the New River.
- 5.2.4 TeRNS, the local nature group, had previously raised a number of issues. These were addressed in 2008 and as further concerns about any new landscaping have been expressed by a number of people who use the footpath regularly they remain relevant:
- *The ES appears to have been based largely on a 'desk study'.* Response: Ecologists from WSP have visited the site and have made recommendations based on assessments made during these visits.
 - *Records identified by TeRNS and other groups have not been picked up in any of the desk assessments for the ES.* Response: The recent assessment by WSP for the Addendum has assessed all relevant species to be considered.
 - *A reptile survey was not carried correctly by the Masterplan.* Response: A further assessment has been carried out on site. A toad translocation programme and survey of Bat Activity had been successfully undertaken on site.
 - *The Masterplan ES has understated the potential for impacts to the SPA (located 1.5km distance from Woodberry Down) and needs reviewing.* Response: The EIA and Addendum have assessed the impact of the scheme on the site including any impacts on surrounding areas of importance. English Nature is now satisfied that there are no discernible effects.
 - *Concern that the new buildings will increase light-spillage over the site.* Response: The ES included an assessment of the effects of light spillage onto the reservoirs and concluded that there would not be a significant effect.
 - *The loss of the 'woodland strip' buffer zone adjacent to the New River would decrease habitat.* Response: The revised application retains a landscaped strip of land 20m in width and although there will be some trees removed these have been identified as being of

low quality, with many of them likely to need replacement in several years for reasons such as multi-stemming. There will be extensive replanting of new trees in the scheme, and concentrations of native species ground cover to enhance cover for movements of invertebrates and small mammals.

- *The potential for increased access along the New River and therefore the opportunities for fly tipping, angling and other prohibited activities have not been properly considered.* Response: The increased access will benefit all residents of Woodberry Down. A Landscape Management Strategy is being brought forward to be developed with the Council and this will ensure any activities such as fly-tipping are prevented.
- *Aspects of the scheme (e.g. the wooden bridge from the new river to the west reservoir) were ill advised and poorly thought through.* Response: Bridge has been removed from the scheme.
- *Six UK BAP Priority Species breed or feed on the KSS1 site.* Response: The ES and Addendum have been produced by WSP in association with the Masterplan ES and based on all available data. No definitive evidence was found on the site being a habitat for Priority Species. The effect on all important species of birds has also been assessed and no material effects found – and new brown roofs in the development will give potential new feeding areas.
- *There has been no attempt to put the site and its species into context locally or regionally.* Response: the Masterplan ES, original ES and Addendum all review the local and regional context of the scheme with positive net conclusions.

7.7.5 The proposed improvements to the environment were recognised by the GLA and Natural England, representatives of both having attended meetings and both support the application.

7.7.6 There are only limited changes to the revised planning scheme which affect the MOL and New River and West Reservoir areas. The principal change is the addition of a four storey extension to Block G incorporating 12 Towncourt Path which extends Block G to the west, but the built envelope of Block G does not extend any closer to the MOL or West Reservoir.

7.7.7 Furthermore, the relocation of the Community Facility to Block G will allow greater community accessibility and interaction with the new linear park and landscaped areas in this Quarter of the new Woodberry Down, and is wholly compatible with the future 'Spring Park' which is to be provided as part of Phase 2.

7.7.8 Berkeley Homes has submitted details of the proposed hard and soft landscaping strategies to the Council for Approval under Conditions 5 and 6 of the planning permission. It is considered that the scheme is acceptable and will be sympathetic to and compatible with the MOL, Green Chains, nature conservation and ecology of Woodberry Down. Therefore the application is in accordance with Policies ST9, ST13, ST14, EQ21, EQ30, and EQ31 of the adopted UDP, the core policy requirements of the AAP, Urban Design Framework and policy 3D.9 of the London Plan.

7.8 Addendum to Sustainability and Energy Strategy

7.8.1 As noted in the Stage 2 Report prepared by the GLA in May 2008, an Energy Strategy was agreed for both KSS1 and the overall Masterplan, which saw a stand alone energy centre located under Block A that would be replaced at a future date linking into the estate wide energy strategy developed by Hackney Homes.

7.8.2 Berkeley Homes has commissioned MLM to undertake a thorough review of the energy strategy. This Strategy has been agreed in conjunction with the amendments being proposed to the Masterplan Energy Strategy. These amendments were discussed with the GLA and the Masterplan team at a meeting in December 2008. The reason for the change is that the proposed phasing of the development starting at Block's F and G and working eastwards was wholly incompatible with a single CHP boiler in Block A. In addition, the proposed use of biomass is now questionable given concerns over sourcing and emissions.

7.8.3 The starting point for the revised energy strategy is that the principles agreed within the current planning permission will be largely unaffected by the proposed updated Energy Strategy.

7.8.4 The strategy has been updated inline with the Masterplan Energy Strategy prepared by Scott Wilson and is fully compliant with the long term aim of providing an estate wide energy framework.

7.8.5 The construction sequence will require 2 smaller energy centres located within the Old School Site (KSS1). The primary energy sources will be gas fired condensing boilers and micro CHP with a small amount of photovoltaic (PV) panels. The previous submitted Energy Strategy was for 1 energy centre sized for the KSS1 development and

future KSS3, utilising gas fired boiler and CHP plant. Two smaller energy centres will allow the phased development of the site and early delivery of social housing provision blocks F&G.

- 7.8.6 The revised KSS1 Energy Strategy will achieve a 25% reduction in baseline carbon emissions. The previous submitted energy strategy achieved a 25% reduction in baseline carbon emissions. Future connection to an estate wide energy framework will allow carbon dioxide emissions to reduce further.
- 7.8.7 A fall back provision for additional on site renewable energy is not proposed if the estate wide energy framework is not implemented. Instead, the strategy would allow for a more efficient boiler, CHP or future fuel cell technology to be provided at the end of plant serviceable life should the estate wide energy strategy not be implemented.
- 7.8.8 There is a commitment to provide at least a Code rating of 3 in the Code for Sustainable Homes energy assessment with an aspiration towards Code 4. The proposed measures suggested within the original KSS1 Energy Strategy and now being proposed will assist in achieving this. Given the long term objective of linking with the estate wide Energy Strategy (which will be achieving at least a 25% reduction in carbon emissions), no on-site renewable technologies are currently proposed except for a small level of solar PV during phase 2, which will be the minimum required to ensure that an overall carbon dioxide reduction of 25% will be achieved through the proposed solutions. A 25% reduction in carbon dioxide emissions is the minimum level of carbon saving required for a Code rating of 3 in the Code for Sustainable Homes assessment.
- 7.8.9 As for the planning permission scheme The 'Old School Site' development proposes to advance sustainability across the site by:
- Implementing transport initiatives that reduce the need to travel by private motor vehicles, with a focus on walking and cycling – including a City Car Club
 - applying high energy efficiency building specifications
 - minimising light loss to the sky, particularly from street lights
- 7.8.10 The scheme includes the following sustainable building design measures:

- Reduce CO₂ emissions, with solar efficient forms that maximise solar gain to principal habitable rooms and by incorporating high performance insulation;
- Use sustainable materials;
- Minimise waste from construction;
- Reduce water consumption, including storm water run-off management systems and using water saving appliances;
- Promote recycling, both in terms of neighbourhood recycling facilities and individual properties designed to accommodate refuse storage large enough to enable sorting and recycling.

7.8.11 In addition green and brown roofs will be provided to maintain biodiversity (particularly for birds) and to contribute to Sustainable Urban Drainage Systems (SuDS) and no net increase in surface water runoff

7.8.12 Subject to further detailed approval by the GLA, it is considered the revised planning application Energy and Sustainability Strategy for KSS1 in association with the Masterplan for the scheme accords with policy EQ1(j) of the UDP and Policy 4.A7 of the London Plan.

7.9 Transport & Parking Issues – Addendum to Transport Statement

7.9.1 There are currently two vehicular accesses to the site on Woodberry Grove which has a Public Transport Accessibility Level of four. Seven bus routes operate in close proximity to the development site. Manor House underground station is 320 metres northwest of the site and is serviced by the Piccadilly Line. The nearest Transport for London 'network road' is the A503 Seven Sisters Road 150m north and the nearest 'strategic road' is the A105 Green Lanes 325 metres northwest.

7.9.2 WSP on behalf of Berkeley Homes (Capital) Plc. has prepared an Addendum to the Transport Report previously submitted for the KSS1 application ref: 2007/1841 which assesses the effect of the additional residential units proposed and the reduction of retail space proposed on the following issues:

- Parking and Servicing strategy
- Trip generation
- Impact on existing transport facilities

7.9.3 With regard to parking, the site is currently part of the wider Woodberry Down parking restrictions and the Masterplan envisages that an area wide Controlled Parking Zone will be put in place. Berkeley Homes is proposing 50 on-street parking bays and 119 underground spaces, and this 35% provision reflects the site's accessibility and the Council and Mayor of London's transport aims of reducing the dependence on cars.

7.9.4 The Addendum report identifies that with regard to trip generation rates there would be a very minor change to the figures with a slight reduction to the morning peak period and no change to the evening peak period.

7.95 The Transport Assessment Addendum sets out the impact of the changes to the scheme to various transport users. Given the reduction in retail/commercial floorspace, no increase in service vehicle movements is predicted as part of this component of the development. Similarly, as no change in the function of the PCT is expected, and only a minor change in floor area, the type and number of vehicle servicing trips would not be predicted to increase. It therefore notes the following:

- Pedestrians – No significant change
- Cyclist and Cycling Routes – No significant change
- Public Transport – No significant change
- Road Network – No significant change

7.9.5 There are a number of provisions within the Section 106 provisions relating to Highways Act, including the requirement for agreements under Sections 38, 72 and 278. These include: contribution towards sustainable transport initiatives is essential to assist with initiatives including sustainable travel awareness, the Hackney Car Club scheme, walking, cycling and personalised travel planning. A Travel Plan Co-Coordinator is required to monitor and progress implementation of a Travel Plan, for the first five years.

7.9.6 Overall it is considered the application complies with policies TR6, TR8 and TR19 Planning Standards of the adopted UDP, the car parking and cycle provisions within the AAP, and generally with the London Plan. Planning conditions and obligations will be required to secure the proposed mitigation measures and Travel Plan.

7.10 Addendum to Environmental Impact Assessment and Flood Risk Assessment

7.10.1 Given the scale of development and the potential effects on the environment, a full Environmental Impact Assessment was carried out for the Planning Permission for KSS1 in July 2007 in accordance with the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999. The application was supported by a full Environmental Statement (ES) and a non-technical summary.

7.10.2 The ES addressed the following key environmental topics:

- Planning and Land Use;
- Socio Economics and Community Effects;
- Traffic and Transportation;
- Air Quality;
- Noise and Vibration;
- Waste Management;
- Water Resources;
- Contamination and Hazardous Materials;
- Townscape and Visual;
- Ecology and nature conservation;
- Archaeology and Cultural Heritage;
- Daylight, Sunlight and Overshadowing;
- Wind;
- Sustainability
- Construction programme.

7.10.3 In reviewing the Revised Application, WSP Environmental approached LB Hackney in December 2008 to seek 'scoping advice' as to the scope of the work required to support the revised planning application. The approach to the Assessment and the response to the comments received on the July 2007 Environmental Statement are set out in Chapter 2 of the Addendum ES.

7.10.4 The addendum Statement identifies that there are no significant changes to the ES. Updated information is however required on a number of the Chapters given either the revised tenure mix and limited physical changes to the scheme or that there has been a change in policy or guidance since 2007. The chapters additionally assessed are listed below:

- Planning and Land Use;
- Socio Economics and Community Effects;
- Traffic and Transportation;
- Air Quality;

- Noise and Vibration;
- Waste Management;
- Townscape and Visual;
- Ecology and nature conservation;
- Daylight, Sunlight and Overshadowing;
- Wind;
- Construction programme

7.10.5 A revised draft Flood Risk Assessment (FRA) has been undertaken and discussed with the Environment Agency. The EA has commented on a draft version of this report and it has been agreed not to make any significant amendments, other than indicating the flexibility that can be applied in the detailed design stage for the selection of SuDS features.

7.10.6 The Environment Agency has confirmed that the proposed development is situated in flood zone 1 which is of low risk to flooding. To the south of KSS1 is the New River which feeds the West Reservoir and comes under the management of Thames Water. Thames Water has confirmed that the New River is controlled by a series of sluices and overflow weirs to prevent flooding. The West Reservoir is solely fed from the New River and therefore levels within the water body are controlled and cannot flood.

7.10.7 With the development of KSS1, the amount of impermeable surfaces will increase; therefore, the amount of surface water runoff generated on the site will increase. To mitigate against this increase and any associated increase in flood risk it is proposed to install green roofs, swales, permeable paving and underground storage of approximately 672 cubic metres to manage the 1% annual probability flood event. The outlet to the proposed surface water system will follow the historic routes out to the existing combined sewer in Woodberry Grove.

7.10.8 To prevent any overland flooding from extreme rainfall events, the roads and paths across the site will be used to guide the surface water away from the development to areas of open space and then into the surface water system. Therefore, it has been shown that the proposed development is sustainable from a flood risk point of view.

7.10.9 It is considered that due to the nature of the minor changes to the scheme, and the negligible change to the mitigation measures proposed and overall residual impacts of the scheme it is considered that the findings of the 2007 ES remain robust and in accordance with the Woodberry Down Masterplan and AAP requirements and

approaches sought in government advice, UDP and the London Plan. The FRA demonstrates that the proposed development will meet the objectives of reducing surface water run off and will be sustainable.

7.11 Equal Access

7.11.1 The proposed development is a mixed use regeneration scheme of residential, commercial and community use. The Access Statement sets out the approach to inclusion to ensure the buildings and associated facilities will be accessible to all users.

7.11.2 The following documents (some in related disciplines) have been utilised for statutory and best practice guidance:

- Disability Discrimination Act 1995
- Approved Document, Part M of the Building Regulations
- 'Accessible London: Achieving an inclusive Environment'
- 'Designing an Accessible City'
- Published advice and organizations representing the interests of people with disabilities e.g. RNIB, RNID.
- Lifetime Homes.

7.11.3 External Environment

The site has a number of access points, both vehicular and pedestrian. Entry points to the residential accommodation will be taken from Woodberry Grove., Woodberry Down, Towncourt Path and the Mews as well as the public area to the south of the site. Access to the residential tower, located at the junction of Woodberry Down and Woodberry Grove will be taken from Woodberry Down. The entry point to the commercial units will be from the communal public area in between Blocks A, B, C & D and from Woodberry Grove.

7.11.4 Access to all of these areas from the area, from the linear park and areas to the south will be achievable without steps or sudden changes in level and will be wheelchair accessible. Due to the existing gradient of the site, which slopes downwards from north to south, an extensive and innovative landscape response will be utilised to reduce any steep slopes or inaccessible parts of the site.

7.11.5 Car Parking

In accordance with the Masterplan, 10% of the overall parking units in Kick Start Site 1 will be provided for disabled car parking.

7.12 Planning Obligations

7.12.1 There is a range of on and off-site works proposed to mitigate the impact of the proposals. These obligations reflect the impact of the development (in terms of the tests in Circular 5/2005). Discussions have continued with the applicant to agree the form and wording of the Section 106 for the planning permission and the pro rata level of contributions and other obligations within the Agreement, to reflect the greater number of dwellings now proposed.

7.12.2 It is proposed that the revised application will be subject to a fresh S106 agreement and there will again be a requirement to enter into a S278 agreement and Section 38 Agreement with the Council regarding highway works.

7.12.3 The new Section 106 Agreement will address the following appropriate contributions or obligations:

7.12.4 **Housing:** 192 affordable housing units are to be provided; 117 of which will be social rented units and 75 intermediate units, as follows:

- Social rented: 31 one bed, 45 two bed, 36 three bed and 5 four bed flats
- Intermediate: 27 one bed, 30 two bed, 16 three bed and 2 four bed flats

7.12.5 All social rented units are to meet Parker Morris standards plus 10%. All of the approved housing units shall be constructed to 'Lifetime Homes' standards, in accordance with the London Plan, and 10% of these shall be wheelchair accessible.

7.12.6 **Priority Community Facility:** A lease will be provided at a peppercorn rent to Hackney Council for the ground floor of Block G for use as a community facility with retail uses at ground floor of Block A cross-subsidising the community use. Details are to be provided of the locally based management organisation that will be responsible for its management and maintenance.

7.12.7 **Transport: TfL Contributions.** A contribution of **£XX,XXX** (a pro rata increase from the 2007 application) will be made towards improvements in bus capacity in the area, in particular towards improvements to the No. 253 (TfL request) the contribution to be made

when requested by TfL or within 24 months of implementation, whichever is the sooner. A contribution will be made towards improvements in bus stands within the Woodberry Down Area (TfL request), the contribution to be made when requested by TfL or within 24 months of implementation whichever is the sooner.

7.12.8 A pro rata contribution of **£XXX,XXX** will be made for works to Seven Sisters Road, to include:

- Reduction of Seven Sisters Road from 6 lanes to 4 (10% contribution);
- New signalised crossroads at Seven Sisters Road/Amhurst Park Junction;
- Upgrade to existing crossroads at Seven Sisters Road and Woodberry Grove;
- New signalised pedestrian crossing;
- New uncontrolled pedestrian crossing.

The contribution should be made when requested by TfL or within 24 months of implementation whichever is the sooner.

7.12.9 *LB Hackney Roads*. An agreement under Section 38 of the Highways Act will be signed between Berkeley Homes and LB Hackney which will require either Berkeley Homes to undertake the following highway works or for LB Hackney to undertake works as follows:

- New junction works to Woodberry Grove;
- New pavement works to Woodberry Grove;
- Provision of new parking bays to Woodberry Grove;
- New pavement works to Woodberry Down;
- New junction to Towncourt Path;
- Revised highway layout to Towncourt Path;
- New Pavements to Towncourt Path.

Works to be undertaken within 36 months of the implementation date.

7.12.10 An agreement under Section 278 of the Highways Act to provide new access road: details should be provided of the locally based management organisation that will be responsible for the management and maintenance of internal roads and car parks.

7.12.11 A contribution to be made towards provision of a Controlled Parking Zone: Residents would not be restricted from obtaining residents' parking permits though spaces would limit their actual utility.

The CPZ contribution to be made prior to any occupation of residential/commercial units occurring.

7.12.12 A contribution to be made to Travel Plan monitoring, including appointment of A Coordinator, the contribution to comprise 10% of the Masterplan intended figure of £35,000. Details of the Travel Plan should be submitted and approved prior to any occupation of residential/commercial units occurring. A contribution will be made towards establishment of a City Car Club with an operation capable of being expanded across the whole Woodberry Down development.

7.12.13 **Educational, Skills Training, Construction Training and Library Contributions:** Contributions towards education and skills training & construction training as agreed at committee on 7th January 2009 for **£1,XXX,XXX**

7.12.14 A contribution towards libraries in the borough of **£XX,XXX**.

7.12.15 **Sustainable Design and Development:** Code for Sustainable Homes: The approved housing shall be constructed to a minimum Code for Sustainable Homes Level 3. Details of the Code Assessment to be submitted and approved prior to any occupation on site.

7.12.16 The following should be submitted and approved by virtue of the S106 prior to any work occurring on the relevant part of the development:

- Energy Assessment

7.12.17 Other on-site works should be identified in the following strategies:

- Drainage Strategy, to include assuring the attenuation of surface water run off, (SuDS)
- Sustainable waste management
- Sustainable design and construction
- Construction Environmental Management Strategy
- Considerate contractors scheme
- Water pollution management

7.12.18 **Public Art:** Based on the provision for the overall Masterplan, a 10% pro rata contribution should be made within 24 months of the implementation.

7.12.19 **Health Care:** Berkeley Homes is contracted to provide a new Health Centre within the Pewsham House Kick Start Site within the next phase of the Kick Start Site applications. Given this acknowledged requirement which has already been entered into, it has been agreed inappropriate to require further contributions towards health facilities within the area.

8.0 CONCLUSIONS

The revised planning application for the redevelopment of the former Woodberry Down School site seeks approval for amendments to the planning permission scheme (ref: 2007/1841).

8.1 The following key issues have been considered and are relevant to the determination of the application:

- The residential aspect of the proposal generally accords with policies of the adopted UDP and London Plan;
- All residential units will comply with 'Lifetime Homes' standards and 10% of all units will meet the needs of wheelchair users, consistent with core policies of the AAP and policy 3A.4 of the London Plan;
- The number of affordable homes has increased by 6 and the level of affordable housing (39% by unit) is appropriate in the context of the Woodberry Down Master Plan and accords with objectives of the emerging LDF Core Strategy and Policy 3A.8 of the London Plan; the proposed mix of dwellings will '..create a balanced and sustainable community' (*GLA Stage 1 Report to Mayor of London*);
- The proposed non-residential uses (in small units) are located in sustainable and viable locations and will enhance the vitality of the estate and contribute to the social and economic well-being of the wider area, consistent with policies R2, R4 and R8 of the adopted UDP, the core policies of the AAP and Policy 4B.1 of the London Plan;
- The proposed height and scale of the proposed buildings including the minor amendments to Block A (*total net increase to parapet of x.xm*) are appropriate and the location of the proposed tall building accords with the requirements of the Urban Design Framework, core policies of the AAP, the recommendations in the Council's Tall Buildings Study and Policies 4B.1, 4B.3, 4B.8 and 4B.9 of the London Plan;
- The proposal complies with the Policies EQ1, EQ3, EQ4 of the adopted UDP, 4B.1 of the London Plan and is in accordance with

the guidelines set out in the Urban Design Framework and core policies of the AAP;

- It is considered that the Addendum Energy Strategy in association with the Masterplan Energy Strategy accords with policy EQ1(j) of the UDP and Policy 4.A7 of the London Plan;
- The provision of the landscape/open space/public realm is in accordance with policy H20(d) of the UDP, the Urban Design Framework, the AAP, and the emerging guidance on the public realm;
- Significant improvements to the MOL, Green Chains, nature conservation and ecology of Woodberry Down are proposed, with the detailed implementation of the various mitigation measures proposed to be secured through planning conditions; this is in accordance with Policies ST9, ST13, ST14, EQ21, EQ30, and EQ31 of the adopted UDP, the core policy requirements of the AAP, Urban Design Framework and policy 3D.9 of the London Plan;
- The application complies with policies TR6, TR8 and TR19 Planning Standards of the adopted UDP, the car parking and cycle provisions within the AAP, and generally with the London Plan;
- The Addendum Transport Assessment has assessed the amendments to the scheme, and has identified that the revised scheme will not detract materially from operation of the surrounding highway network or the movement of pedestrians or cyclists, and will assist in meeting sustainable transport objectives;
- The Addendum ES has identified that due to the nature of the minor changes to the scheme and the negligible change to the mitigation measures proposed and overall residual impacts of the scheme it is considered that the findings of the 2007 ES remain robust and in accordance with the Woodberry Down Masterplan and AAP requirements and approaches sought in government advice, UDP and the London Plan;
- The revised FRA demonstrates that the proposed development will meet the objectives of reducing surface water run off and will be sustainable.

8.4 In conclusion the revised planning application is in accordance with national, regional and local planning policies. It is considered that full planning permission be granted as early as possible to allow the development of KSS1 to be fully implemented and act as a beacon for the regeneration of Woodberry Down.

9. RECOMMENDATIONS:

RECOMMENDATION A

- 9.1 The Council, taking account of the environmental information required under Regulation 3 of the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999, resolves to grant approval, subject to any direction by the Mayor of London and to the following conditions:

CONDITIONS

i) SCB1 – Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

ii) SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

External Appearance:

iii) SCM7 – Details to be approved

Detailed drawings of the proposed development showing the reserved and other matters, as set out below, must be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved:

- a) Details of the maintenance regime for the public open space and other non-curtilage open areas of the site, including the area up to the near bank of New River, detailing location and any boundary treatment proposed
- b) The means of enclosure on all site boundaries, indicating clearly which are existing and which are proposed, and including full details of height, materials and construction
- c) The facilities to be provided for the storage and removal of waste materials for each building or area
- d) The provisions to be made within the development to ensure that people with disabilities are able to gain full access to the accommodation to be provided.

REASON: To ensure the satisfactory design, layout and external appearance of the development and to ensure that the proposed development does not prejudice the open setting and conservation value of the Metropolitan Open Land adjoining and including the New River.

iv) **SCM6 – Materials to be approved (entire site)**

Details, including samples, of materials to be used on the external surfaces of all buildings and boundary walls shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area

v) **SCT1 - Landscaping scheme to be approved**

The landscaping of the site shall be carried out in accordance with the detailed scheme shown on the submitted drawings for the development. All landscaping in accordance with the scheme shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years. Such maintenance is to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990, and to provide reasonable environmental standards in the interests of the appearance of the site and area.

vi) **SCM4 – Ground Surface Treatment**

Full details of all ground surface treatment to the site shall be submitted to and approved by the Local Planning Authority, in writing, before any work on the site is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the visual amenity of the area.

vii) **Highways/TfL
(NSC)**

Details of the following matters are reserved for further approval, to be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved:

- a) The layout of the site to a scale of not less than 1:500 and incorporating:
1. Detailed layout and proposals for management and security of all car parking and servicing areas (including the basement) and details of car parking provisions and facilities for Use Classes A1-4 and D uses;
 2. Details of any proposed Controlled Parking Zones;
 3. Details of cycle parking provisions including numbers, covered and secure provisions to accord with London Plan standards;
 4. Details of all emergency access arrangements suitable for police, fire and ambulance service use.

(b) Any public rights of way shall be preserved to allow a maximum accessibility and all footways shall be of a minimum of 2m wide footpaths with safe even surfaces and road crossings suitable for wheelchair users;

(c) Full details of highway/ access areas land ownership and adoption for the site

REASON: To ensure the satisfactory design, layout and external appearance of the development and to ensure that the proposed development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

viii) SCH8 – Parking for people with disabilities

Before the use hereby permitted first commences, at least 10% of the car parking spaces shall be marked and retained permanently for use by the vehicles of people with disabilities, including 19 spaces at basement level at locations close to the entrances to the buildings.

REASON: In order to ensure that a reasonable minimum of parking spaces are located conveniently for use by people with disabilities.

ix) SCH11 - Adequate visibility

Adequate visibility shall be provided to the highway within the application site above a height of one metre from footpath level for a distance of three metres on one/both side(s) of the permitted points of vehicular access, in accordance with details to be approved by the Local Planning Authority before any work on the site is commenced, and be so maintained.

REASON: To provide a suitable standard of visibility to and from the highway and to ensure that the use of the access does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

x) (NSC)

Details of the new road access shall be approved prior to commencement of any development

REASON: To ensure the satisfactory design, layout and external appearance of the development and to ensure that the proposed development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

xi) SCH5 – Provision of parking, turning and unloading space

No part of the development hereby approved shall be occupied until accommodation for car parking, turning and loading/unloading has been provided in accordance with the approved plans, and such accommodation shall be retained permanently for use by the occupiers and/or users of, and/or persons calling at, the premises only, and shall not be used for any other purposes.

REASON: To ensure that the proposed development does not prejudice the free flow of traffic or public safety along the neighbouring highway(s) and to ensure the permanent retention of the accommodation for parking/ loading and unloading purposes.

xii) SCH4 - Forward vehicle ingress/egress only

All vehicles shall enter and leave the site only in a forward direction.

REASON: In the interests of road safety generally and avoidance of obstruction of the highway.

xiii) (NSC)

Prior to first occupation of any of the proposed new residential development, a Travel Plan shall have been submitted to and approved by the Local Planning Authority detailing means of conveying information for new occupiers and other techniques for advising residents of sustainable travel options. The Travel Plan shall then be implemented as dwellings are occupied until completion of the development.

REASON: To enable residential occupiers to consider sustainable transport options, as part of the measures to limit any net increase in travel movements (Policy TR6 of the UDP).

xiv) (NSC)

Prior to first occupation of the proposed Priority Community Facility, a Travel Plan shall have been submitted to and approved by the Local Planning Authority. The Travel Plan shall then be implemented prior to the use commencing and shall be so maintained for the duration of the use, unless prior written approval of the Local Planning Authority is obtained in writing.

REASON: To ensure that the travel arrangements to the business/training centre are appropriate and to limit the effects of the increase in travel movements (Policy TR6 of the UDP).

xv) (NSC)

Prior to first occupation of the proposed retail and other commercial units, a Travel Plan shall have been submitted to and approved by the Local Planning Authority. The Travel Plan shall then be implemented prior to the use commencing and shall be so maintained for the duration of the use, unless prior written approval of the Local Planning Authority is obtained in writing.

REASON: To ensure that the travel arrangements to the health centres are appropriate and to limit the effects of the increase in travel movements (Policy TR6 of the UDP).

xvi) (NSC)

Details of continuing implementation of the Travel Plans as required by these planning conditions shall be submitted to enable monitoring by the Local Planning Authority for a period of 2 years from first occupation of these uses.

REASON: To ensure that the travel arrangements are appropriate, and to limit the effects of the increase in travel movements (Policy TR6 of the UDP).

xvii) (NSC)

A Construction Management Plan shall be approved prior to commencement of any work on site, detailing routing, management and all other operational aspects of traffic related to construction, landscape and demolition works.

REASON: In order to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

xviii) (NSC)

Within two months of completion of each phase of the proposed development, as identified on the application drawings, all redundant accesses located within the area of development of that phase and not incorporated in the development shall be permanently closed with the kerbs, footway and verge reinstated in accordance with details to be submitted to and approved in writing by the Local Planning Authority.

REASON: To limit the number of access points along the site boundary for the safety and convenience of highway users in accordance with Policy TR9 and TR10 of the UDP.

xix) (NSC)

Provisions shall be made within the site to ensure that all vehicles associated with the demolition and construction of the development are properly cleaned. Wheel washing or other cleaning facilities for vehicles leaving the site during construction works shall be installed in

accordance with details approved by the Local Planning Authority prior to the commencement of works on site.

REASON: To prevent the passage of mud and dirt onto the adjoining highway in the interest of highway safety.

Environment Agency:

xx) (NSC)

The development shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) for Kick Start Site 1 dated 1st January 23009 and the following mitigation measures detailed within the FRA:

- a) limiting the surface water run-off for the 1 in 100 year climate change critical storm to a flow of 13.8 litres per second
- b) provision of surface water attenuation in green roofs, swales, permeable paving and geocellular systems.

REASON: To prevent flooding by ensuring the satisfactory storage of and/ or controlled disposal of surface water from the site.

xxiv) (NSC)

Before development commences, a landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the Local Planning Authority. The scheme shall include the following elements:

- a) detail of the extent and type of new planting (native species only)
- b) details of maintenance regimes
- c) details of any new habitat created on site
- d) details of treatment of site boundaries and/ or buffers around water bodies
- e) details of the green roofs proposed

REASON: To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of nature conservation value of the site in line with the policies set out in PPS9, London Plan and Hackney UDP. Natural networks of linked wildlife corridors can also help wildlife adapt to climate change.

Environmental Health – Pollution:

xxv) (NSC)

Noise and vibration that may be foreseen prior to, or that which occurs during, construction, demolition, excavation, concrete crushing, foundation work and super-structure work shall be managed in accordance with details to be approved prior to commencement of relevant parts of the development, based on the recommendations in the applicants' Environmental Statement *Appendices on Noise and Vibration*

REASON: to mitigate the potential of noise and vibration nuisance to occupiers of neighbouring premises.

xxvi) (NSC)

Full particulars and details of the scheme for sound insulation between the proposed commercial, community and residential uses of the buildings shall be submitted to and approved in writing by the Local Planning Authority and the approved scheme shall be installed before commencement of the use hereby permitted and permanently retained thereafter.

REASON: to mitigate the potential of noise and vibration nuisance to occupiers of neighbouring premises

xxvii) (NSC)

No construction (including demolition) which may be audible at the site boundary or in any occupied dwelling shall be carried out except between the hours of 08:00 to 18:00 hours (Monday to Friday), 08:00 to 13:00 hours (Saturdays), with no construction activity whatsoever on Sundays or Public Holidays.

REASON: to mitigate the potential of noise and vibration nuisance to occupiers of neighbouring premises

xxviii) (NSC)

Mechanical ventilation equipment and air conditioning units shall be designed, located and acoustically insulated to prevent noise disturbance. The design of equipment and units should provide an operating level of 10dB(A) below background noise level in order to achieve inaudibility and avoid adversely affecting the amenity of occupiers of dwellings in close proximity by reason of noise.

REASON: to mitigate the potential of noise and vibration nuisance to occupiers of neighbouring premises

xxix) (NSC)

The Community Facility, Restaurants and Take-Away Establishments shall each provide a kitchen extract system to suppress and disperse odour, smoke and fume produced by cooking and food preparation without causing a nuisance to neighbours. Details of the equipment shall be submitted to, and approved by this Council's Planning Authority and Pollution Control with the equipment installed and in full working order prior to commencement of use. Details of these measures should be submitted to the Pollution Unit, Development Control and Building Control for consideration. The sound insulation measures will have to be in place before the premises are first brought into use and shall be maintained in an effective manner thereafter.

REASON: to mitigate the potential for nuisance from cooking odours and other smells to occupiers of neighbouring premises

xxx) (NSC)

Details of Street Cleansing arrangements for each Quarter shall be submitted prior to commencement of construction, and

REASON: To ensure the implementation of the Council's street cleansing and public realm policies.

Renewable Energy:

xxxii) (NSC)

Before any relevant part of the development commences, details of all renewable energy and energy efficiency facilities and measures outlined in the Energy Strategy for the Old School site and compatible with the aims of maximising renewable energy across the whole Woodberry Down development shall be submitted to and approved in writing by the Local Planning Authority. The submitted details shall include an assessment of how the inclusion of renewable energy technologies will contribute towards the reduction of carbon emissions from the development. The development shall be carried out in accordance with the approved details.

REASON: To ensure the proposed development contributes towards the objectives of the Mayor's Energy Strategy in accordance with Policies 4A.7 and 4A.9 of the London Plan.

Environmental Health –Contamination:

xxxiii) (NSC)

No development shall take place until a detailed assessment of the likely presence and extent of any contamination of the land on the site has been submitted to the Council's Pollution Control Group. The assessment should be carried out having regard to the technical documents relevant to the assessment of human health risks arising from contaminants in soil from Department for Environment, Food and Rural Affairs and the Environment Agency:- Assessment of Risks to Human Health from Land Contamination: An Overview of the Development of Soil Guideline Values and Related Research and Contaminants in Soil: Collation of Toxicological Data and Intake Values for Humans and Soil Guideline Values;2002, and the British Standards Institution: Investigation of potentially contaminated sites - Code of practice, BS 10175:2001. Should the site be regarded as contaminated, then no development shall take place until proposals for decontamination works have been completed and approved by the Council's Pollution Control Group.

REASON: To establish whether there are any land decontamination measures required to prepare the site for development.

Archaeology:

xxxiiii) (NSC)

No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation for each Quarter, which has been submitted by the applicant and approved by the Local Planning Authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition. The archaeological works shall be carried out by a suitably qualified investigating body acceptable to the Local Planning Authority.

REASON: To safeguard the archaeological interest of the site, which is within an Area of Archaeological Priority.

Trees/ Landscape:

xxxiv) SCT4 – Tree Survey/Retention Plan

A detailed Tree Survey/Retention Plan (plan and schedule) indicating precise location, species, height and condition of each tree accurately plotted and showing which trees are to be retained and which are proposed for felling shall be approved by the Local Planning Authority before any work commences on site.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

xxxv) SCT3 - Protection of trees on-site during site works

No demolition, site clearance or building operations shall commence until chestnut paling fencing of a height not less than 1.2 metres shall have been erected around each tree or tree group to be retained on the site, at a radius from the trunk of not less than 4.5 metres. Such fencing is to be maintained during the course of development to the satisfaction of the Local Planning Authority.

REASON: In order to protect the existing trees during building operation and site works.

Lighting:

xxxvi)(NSC)

Prior to the commencement of the development, details of a lighting strategy for the development site shall be submitted, setting out the general distribution and design guidelines for all installations in the development and its public realm areas in accordance with the Council's adopted Public Realm Design Guide.

REASON: To ensure that the principles of location and design of external lighting are acceptable in terms of adopted design principles, including the Woodberry Down Design Code, and enhance public safety and crime prevention.

xxxvii)(NSC)

Prior to the development commencing, details of lighting of all buildings and public areas shall be submitted. The approved lighting shall be installed before any use in the relevant part of the development commences and maintained thereafter.

REASON: To ensure that the detailed location and design of external lighting are acceptable in terms of adopted design principles, including the Woodberry Down Design Code, and enhance public safety and crime prevention.

Building Heights:

xxxviii) (NSC)

The 27 storey residential tower within Block A of the development hereby submitted shall not exceed a height to parapet of the uppermost floor of 113.4m from ground level of the building.

REASON: To ensure that this tall building as finally constructed does not exceed the height shown in the application, in the interests of design, townscape and visual amenity.

Technical Reports

xxxix) (NSC)

Prior to the occupation of any of the development, a TV reception survey shall be submitted (carried out pre and post development) to ensure that no loss of reception occurs, with mitigation details of any loss of TV reception.

REASON: To minimise any loss of amenity for existing occupiers.

RECOMMENDATION B

8.2 That Recommendation A be subject to the Landowners and their mortgagees entering into an Agreement under Section 106 of the Town and Country Planning Act 1990 (as amended) in order to secure the following matters, both on-site and off-site provision, to the satisfaction of the Director of Neighbourhoods and Regeneration and the Head of Law to the Council:

i) Housing

A contribution to the provision of 192 affordable housing units – to include 117 social rented units and 75 intermediate units, broken down as follows: Social rented: 31 one bed, 45 two bed, 36 three bed and 5 four bed flats; Intermediate: 27 one bed, 30 two bed, 16 three bed flats and 2 four bed flats. All social rented units to meet Parker Morris + 10%.

100% of the approved housing shall be constructed to 'Lifetime Homes' standards, in accordance with the London Plan, and 10% of these shall be wheelchair accessible

ii) Priority Community Facility

Lease at peppercorn rent of £1 to Hackney Council of ground and first floor of Block A for use as a Community Facility with retail uses at ground floor cross-subsidising first floor community use. Details should be provided of the locally based management organisation that will be responsible for its management and maintenance

Transport

Transport and Highways Contributions

- iii) Contribution of £29,800 towards improvements in bus capacity on the area, in particular towards improvements to the No. 253 (TfL Request): contribution to be made when requested by TfL or within 24 months of implementation whichever is the sooner.
- iv) Contribution towards improvements in Bus Stands within the Woodberry Down Area (TfL Request): contribution to be made when requested by TfL or within 24 months of implementation whichever is the sooner.
- v) Works to Seven Sisters Road – contribution of £424,970 to include:
- Reduction of Seven Sisters Road from 6 lanes to 4 (10% Contribution)
 - New signalised crossroads at Seven Sisters Road/Amhurst Park Junction
 - Upgrade to existing crossroads at Seven Sisters Road and Woodberry Grove
 - new signalised pedestrian crossing
 - new uncontrolled pedestrian crossing

Contribution to be made when requested by TfL or within 24 months of implementation whichever is the sooner. It is recommended that TfL be a Party to the Agreement.

- vi) Section 38 Agreement to be signed contemporaneously between Berkeley Homes and LB Hackney which will require either Berkeley Homes to undertake the following highway works or for LB Hackney to undertake the following works:

- New junction works to Woodberry Grove;

- New pavement works to Woodberry Grove;
- Provision of new parking bays to Woodberry Grove;
- New pavement works to Woodberry Down;
- New junction to Towncourt Path;
- Revised highway layout to Towncourt Path;
- New Pavements to Towncourt Path.

Works to be undertaken within 36 months of the implementation date.

- vii) Section 278 agreement to undertake new access road: LB Hackney noted that agreement may combine S106 and S278. Details should be provided of the locally based management organisation that will be responsible for the management and maintenance of internal roads and car parks.
- viii) Contribution of £2,200 towards provision of a Controlled Parking Zone: Residents would not be restricted from obtaining residents' parking permits though spaces would limit their actual utility. The CPZ contribution to be made prior to any occupation of residential/commercial units occurring.
- ix) Travel Plan monitoring, including appointment of Coordinator: £3,860 contribution which comprises 10% of the Masterplan intended figure of £38,600. Details of the Travel Plan to be submitted and approved prior to any occupation of residential/commercial units occurring. Contribution towards establishment of a City Car Club with an operation capable of being expanded across the whole Woodberry Down development.
- x) Provision of improved cycle and pedestrian facilities within the scheme. These facilities include new public routes along linear park and a new pedestrian route from Woodberry Down to the river. Details of proposed routes to be provided prior to any work being undertaken on the relevant parts of the scheme.

Educational, Skills Training, Construction Training and Library Contributions

- xi) A contribution totalling £1,269,000 towards primary and secondary education, education and skills training, construction training and library provision is payable in this case.
- xii) Commitment to use of a local construction based training programme

- xiii) Library contributions totalling £88,026 in accordance with Planning Obligations SPD, for both residential and non-residential elements of the scheme. The educational, training and library contributions to be made prior to any occupation of the residential or commercial units.

Sustainable Design and Development

- xiv) Code for Sustainable Homes: The approved housing shall be constructed to a minimum Code for Sustainable Homes Level 4 standard. Details of the independent code assessors report to be submitted prior to any work occurring on the relevant part of the development. Details of the Code Assessment to be submitted and approved prior to any occupation on site.
- xv) The following would be submitted and approved by virtue of the S106 prior to any work occurring on the relevant part of the development.
- No more than 3 community heating networks serving KSS1-4;
 - No more than 3 energy centres to serve KSS1-4;
 - Heat mains to the edge of each of the separate development areas within KSS1 (so that it easily can be linked to adjacent development sites later);
 - Decommissioning the 3 energy centres if the preferred site wide strategy is adopted.
 - Reasonable endeavours used to sign up with an ESCO;
 - Monitoring of the sourcing of any Biofuels used to ensure that it comes from sustainable sources.
- xvi) Other on-site works, Strategies and Restrictions:
- Drainage Strategy, to including assuring the attenuation of surface water run off, SUDS
 - Sustainable waste management
 - Sustainable design and construction
 - Construction Environmental Management Strategy – including construction traffic routing
 - Considerate contractors scheme
 - Water pollution management
 - Control of noise pollution
 - Designing out crime – to ensure Secured by Design or equivalent
 - standards achieved throughout development

Public Art

- xvii) Based on the provision for the overall Masterplan, a contribution of £11,037 as a pro rata calculation towards a total Masterplan contribution of £100,000. Contribution to be made within 24 months of the implementation.

Open Space and Landscape

- Landscape Strategy, including public parks, play space, public realm, private open space, landscaping of the riverside and reservoirs
- Nature conservation strategy
- Play Strategy

Section 278 – Highways Act

- xviii) The owner will be required to enter into agreement under Section 278 of the Highways Act, including payment to the Council costs to reinstate and improve the public highway including footways adjacent to the boundary of the site and include any measures for the relocation of street furniture and carriageway markings.

RECOMMENDATION C

- 8.3 That in the event of the Section 106 agreement referred to in Recommendation B not being completed by 30th October 2009, the Assistant Director of Planning be given the authority to refuse the application for the following reasons:

- i) The proposed development, in the absence of a legal agreement for securing affordable housing, would be to the detriment of housing needs in the borough and would fail to promote a mixed and inclusive community, and as such would be contrary to policy HO3 of the Hackney UDP (1995), policies 3A.7 and 3A.8 of the London Plan (2004 as amended), the adopted Planning Contributions SPD (2006), and advice contained in PPS1 and PPG3.
- ii) The proposed development, in the absence of a legal agreement for securing community facilities contributions, would be to the detriment of community provision in the borough and would fail to promote a mixed and inclusive community, and as such would be contrary to policy CS2 of the Hackney UDP (1995), policy 3A.15 of the London Plan, the adopted Planning Contributions SPD (2006), and advice on balanced and sustainable development contained in PPS1.
- iii) The proposed development, in the absence of a legal agreement for securing transport and highway improvement contributions, would be contrary to policy TR19 of the Hackney UDP (1995), policies 3C.1,

3C2, 3C.9, 3C.16, 3C.19 and 3C.20 of the London Plan, the adopted Planning Contributions SPD (2006) and advice in PPG13.

- iv) The proposed development, in the absence of a legal agreement for securing educational and library contributions, would be likely to contribute to pressure and demand on the borough's education provision, contrary to policy CS2 of the Hackney UDP (1995), policies 3A.15 and 3A.21 of the London Plan, the adopted Planning Contributions SPD (2006) and advice on balanced and sustainable development contained in PPS1.
- v) The proposed development, in the absence of a legal agreement for securing training and skills development contributions, would fail to make appropriate provision towards such needs amongst residents in the new development, contrary to policy E15 of the Hackney UDP (1995), policy 3B.12 of the London Plan, the adopted Planning Contributions SPD (2006) and, and advice on balanced and sustainable development contained in PPS1.
- vi) The proposed development, in the absence of a legal agreement for securing suitable Obligations to ensure sustainable design and development, would be contrary to policies of the Council and Mayor of London seeking progressive improvements in energy efficiency, use of renewable energy, water conservation and other sustainability aims, contrary to policies EQ44 and EQ46 of the Hackney UDP (1995), policy 3A.21 of the London Plan, the adopted Planning Contributions SPD (2006) and advice on achieving sustainable development contained in PPS1.
- vii) The proposed development, in the absence of a legal agreement for securing contributions to public art, would fail to add to a sense of place and identity that such provision can bring to new development, contrary to policy ACE5 of the Hackney UDP (1995), the adopted Planning Contributions SPD (2006) and advice on balanced and sustainable development contained in PPS1.
- viii) The proposed development, in the absence of a legal agreement for securing open space, landscape and nature conservation Obligations and contributions, would be fail to preserve and enhance these critical aspects of the site's relationship with the surrounding development, New River, Metropolitan Open Land and areas of nature conservation importance, contrary to policies OS1, OS5, OS9,, OS16 of the Hackney UDP (1995), policies 3D.9, 3D10 and 3D.12 of the London Plan, the adopted Planning Contributions SPD (2006) and advice on balanced and sustainable development contained in PPS9 and PPS17.

INFORMATIVES

- i) (SI.1) Building Control
- ii) (SI.2) Work Affecting Public Highway
- iii) (SI.3) Sanitary, Ventilation and Drainage Arrangements
- iv) (SI.7) Hours of Building Works
- v) (SI.24) Naming and Numbering
- vi) (Environment Agency) Conservation
- vii) (EA) Soil Remediation
- viii) (EA) Discharge
- ix) (EA) Potential Contamination
- x) (EA) Abstraction Licence
- xi) (EA) Geothermal systems

- xii) The contractor should ensure that the best practicable means as defined by *Section 72 of the Control of Pollution Act 1974* are employed and have regard to the provisions of BS 5228: 1997 *Noise and Vibration Control and Open Sites* to ensure the construction work, including the use of plant, proceeds in a way considerate to the local community and to mitigate noise to neighbours.

- xiii) The use of individual retail/ commercial units as take away hot food outlets will be considered on their individual merits, without prejudice to the final decision of the Council in any case, and with any permission that may be granted likely to include conditions imposed to safeguard local residential amenity.

- xiv) (NSI): The London Plan and also the following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1, EQ16, EQ18, EQ46, EQ48, HO3, HO5, E14, E18, R4, R8, TR19, OS1-6, OS9, OS13, OS14, CS2,3,4,6, ACE 6, ACE8. The detailed application of these policies is also summarised at paragraph 9.2 of this report.

- xv) (NSI): In deciding to grant planning permission the Council has also had regard to the relevant Policies of the Woodberry Down Area Action Plan – Supplementary Planning Guidance, August 2004, as well as relevant national and regional guidance.



Signed.....
















Date: **1 June 2009**

STEVEN DOUGLAS,
CORPORATE DIRECTOR, NEIGHBOURHOODS AND REGENERATION

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1. 2. 3. 4. 5. 6.	Hackney UDP 1995 London Plan 2004 London Plan Alterations adopted 2007 Woodberry Down Area Action Plan 2004 Woodberry Down Regeneration Urban Design Framework 2005 Woodberry Down Masterplan & outline applications (LBH Refs 2007/0014 and 2008/1050)	Ron Madell (All)	Ron Madell (all)

NOTES:
 1. This drawing is the property of fabrik. It must not be copied or reproduced without written consent. Only
 the information shown on this drawing is to be taken from this drawing. All dimensions are in millimetres and the responsibility for
 the accuracy of the information shown is the responsibility of the drawing.

Legend

-  Application boundary
-  Proposed Trees
-  Trees to be retained
-  Lawn grass
-  Elevated grass mounds
-  Meadow grass / swale
-  Shrub planting
-  Native planting
-  Proposed hedgerows
-  Vehicular tarmac
vehicular sub base to Engineer's details
-  Retain bound gravel
pedestrian sub base to Engineer's details
-  Breeding gravel with timber edge
pedestrian sub base to Engineer's details
-  Block paving -
600 x 300 / 240 x 140 / 200 x 100 x 80/55mm
La Linear (By Marshalls or similar approved)
-  Silt paving
200x100x50mm
Conservation (By Marshalls or similar approved)
-  Granite setts -
200x100x50mm



No.	Date	Attachment to architect drawings	Name
A.			
Revisions			
1	01/10/20	Woodberry Down - construction Drawings/Architect/Build	Judd/Reed 08 01
2	04/01/21	Copy of A_010100.dwg	
3	01/02/21	Woodberry Down Working Drawings/Architect/Reed 09 02 21/09/2024	
4	11/02/21	Copy of A_010100.dwg	

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Project
 Kick Start Site One, Woodberry Down
 for Berkeley Capital

Drawing
 Colour Masterplan

Scale
 1:500@A1

Date
 Feb'09

Drawn
 SOC

Revision
 A.

Drawing No.
 D1398.L.100

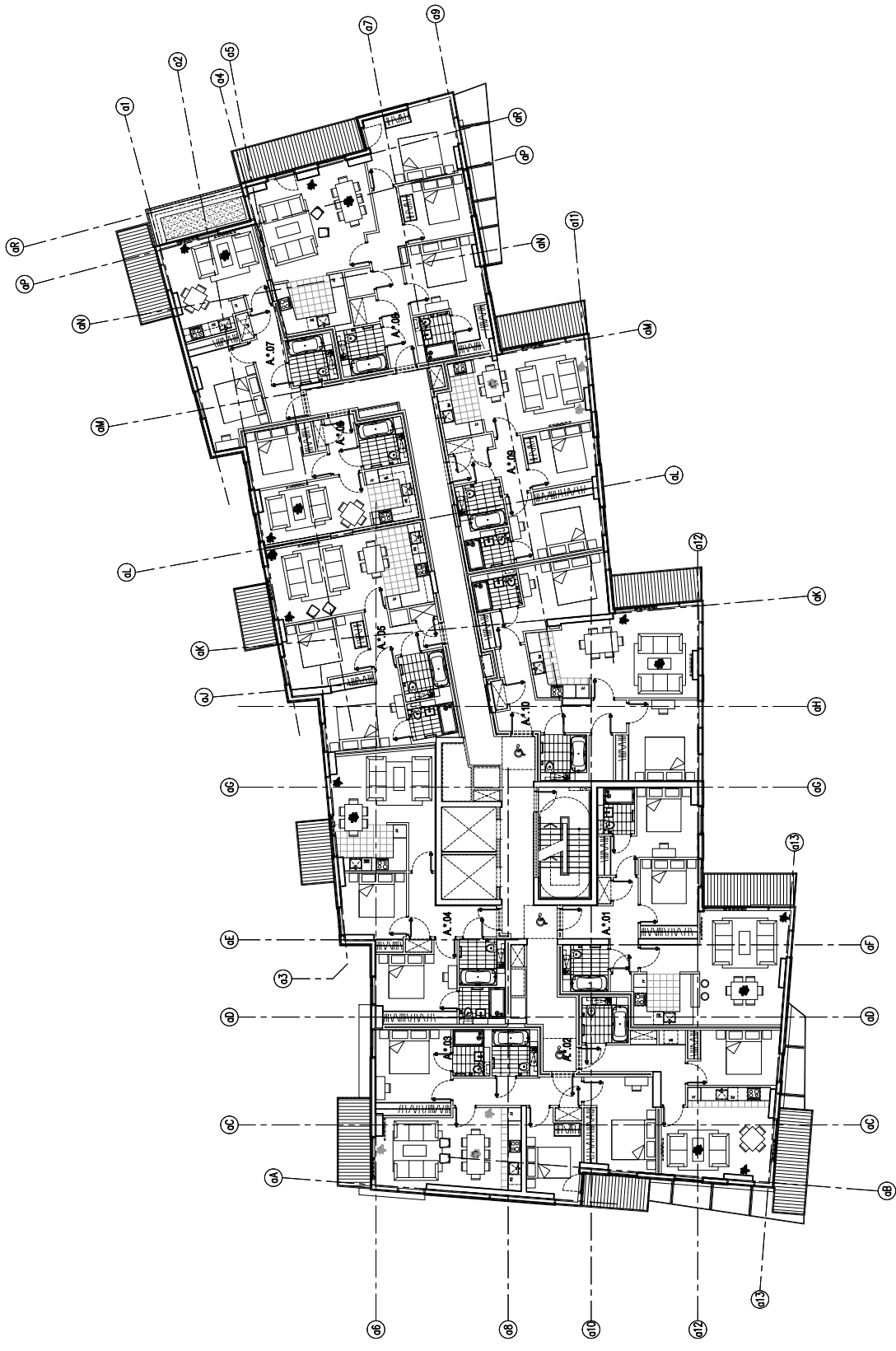
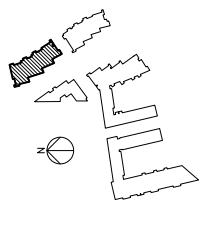
Legend

- Preliminary
- Issued for Planning Approval
- Issued for Design/Information
- Issued for Tender
- As Built

Drawing sheet size - A1

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- NOTES**
1. The Contractor must check and confirm dimensions.
 2. All work must be done in accordance with the approved plans and specifications and as directed by the Architect before work commences.
 3. This drawing is not to be used.
 4. All work must be done in accordance with current Codes of Practice and British Standards.
 5. Layout of units is indicative only.



1 - 1ST TO 3RD FLOOR TYPICAL PLAN
SCALE: 1:100 (A1)

28/02/09
Date

pl Planning Issue

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BERKELEY HOMES (CAPITAL) PLC

Project
WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION

Drawing
BLOCK A
FIRST TO THIRD FLOOR PLAN

Scale	Date	Drawn
1:100 (A1)	FEB 2009	ROH

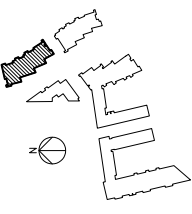
Drawing No: 4894 / T1-A-(20)P01
Revision: p1

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- NOTES**
1. The Contractor must check and confirm dimensions.
 2. All work must be done in accordance with the approved drawings and materials by the Architect before work commences.
 3. This drawing is not to be used.
 4. All work must be done in accordance with the current Codes of Practice and British Standards.
 5. Layout of units is indicative only.



Materials Key

1. Full Height Glazing.
2. GRC Panel
3. Terracotta Panels
4. Buff Brick
5. Antique Red Brick Glazing.
6. Coloured Glazing
7. Timber Infill Panel
8. Glass Balconies
9. Steel Balconies
10. Steel Frame
11. Shop Front Glazing
12. Aluminum Louvres
13. Steel Plant Louvres.
14. Platinum White Brick
15. Fair-Faced Concrete
16. Timber Screen
17. Open Grille
- 18.

08/02/09
27/02/09
P3 Planning update.
P2 Planning Issue.
[Date]

ROLFE JUDD

PLANNING
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INTERIORS
EXTERIORS

01323 694104
01323 694105
01323 694106
01323 694107
01323 694108
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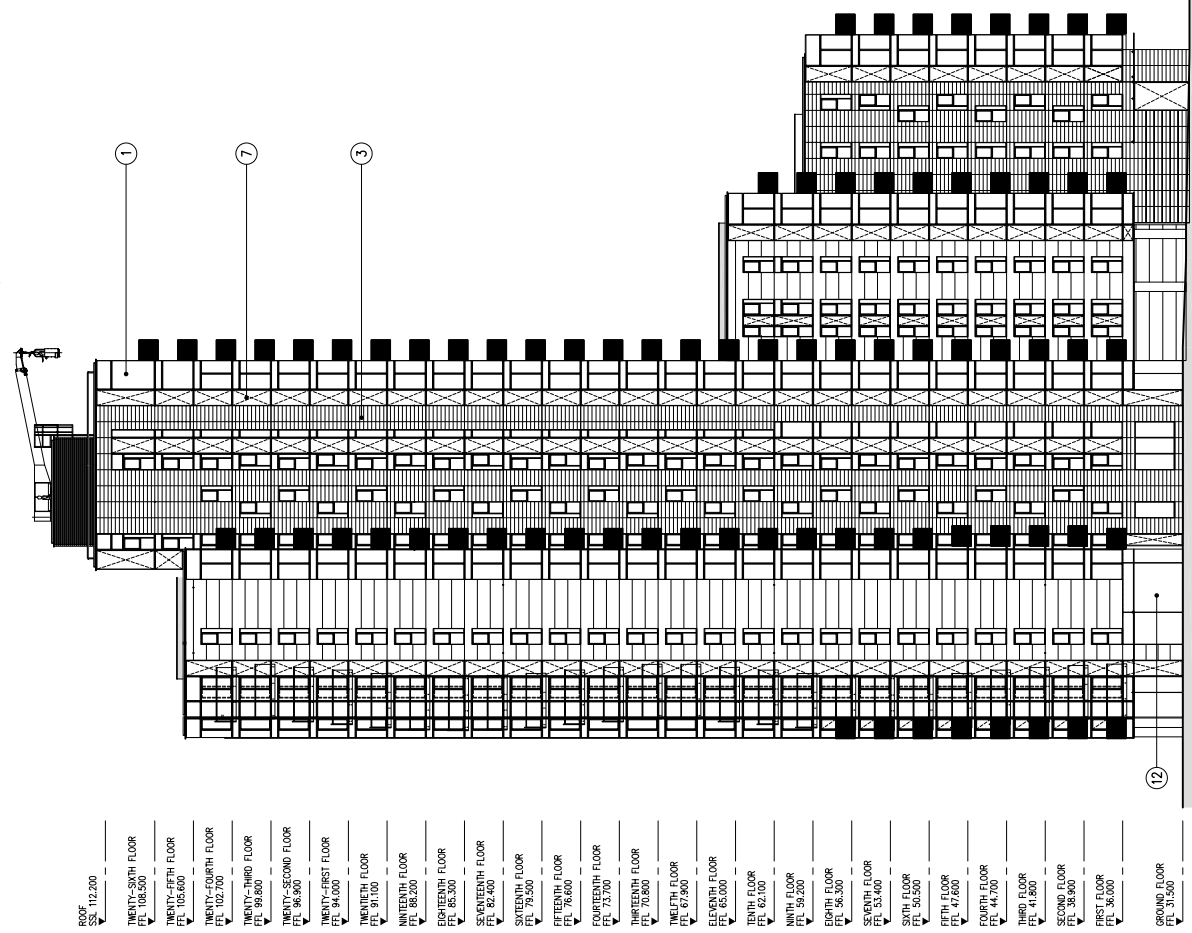
Client
BERKELEY HOMES (CAPITAL) PLC

Project
WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION

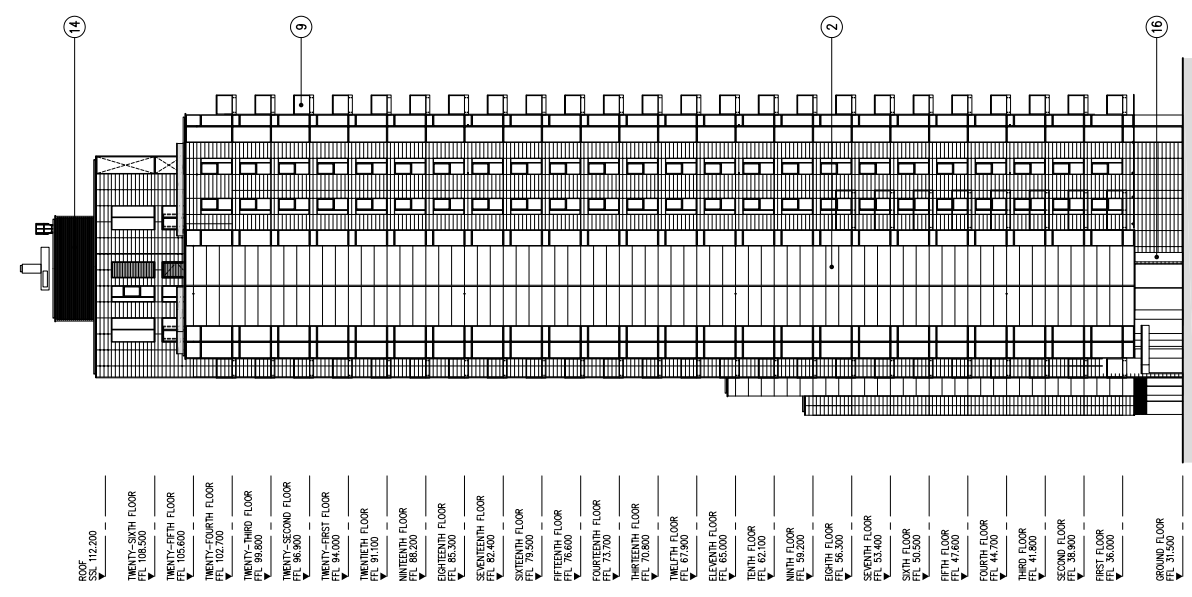
Block A
GA ELEVATIONS (NORTH & WEST)

Date	Issue	Revision
1:200 (A1)	NOV 2008	ROH

Drawing No
4894 / T1-A-(20)E01
PS
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02 WEST ELEVATION
SCALE: 1:200 (A1)



01 NORTH ELEVATION
SCALE: 1:200 (A1)

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NOTES

- The Contractor must check and confirm dimensions.
- Architectural materials and finishes are indicated and measured by the Architect's schedule of materials and must be confirmed by the Contractor before work commences.
- This drawing is not to be scaled.
- All work and materials to be in accordance with current Codes of Practice and British Standards.
- Layout of units is indicative only.

- Materials Key**
- Full Height Glazing.
 - CPC Panel
 - Terracotta Panels
 - Buff Brick
 - Antique Red Brick Glazing.
 - Coloured Glazing
 - Timber Infill Panel
 - Glass Balconies
 - Steel Balconies
 - Steel Frame
 - Shop Front Glazing
 - Aluminium Louvres
 - Steel Plant Louvres
 - Platinum White Brick
 - Fair-Faced Concrete
 - Timber Screen
 - Open Grille

06/07/09
27/02/09
P3 Planning update.
P2 Planning Issue.
Date

ROLFE JUDD
PLANNING ARCHITECTS
100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

Client
BERKELEY HOMES (CAPITAL) PLC

Project
WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION

Block
BLOCK A
GA ELEVATIONS (SOUTH & EAST)

Drawing No
4894 / T1-A-(20)E02

Date
1:200 (A1)

Issue
NOV 2008

Revision
ROH
PS

Scale
1:200 (A1)

Author
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Check
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Drawn
ROLFE JUDD

Project
WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION

Block
BLOCK A
GA ELEVATIONS (SOUTH & EAST)

Drawing No
4894 / T1-A-(20)E02

Date
1:200 (A1)

Issue
NOV 2008

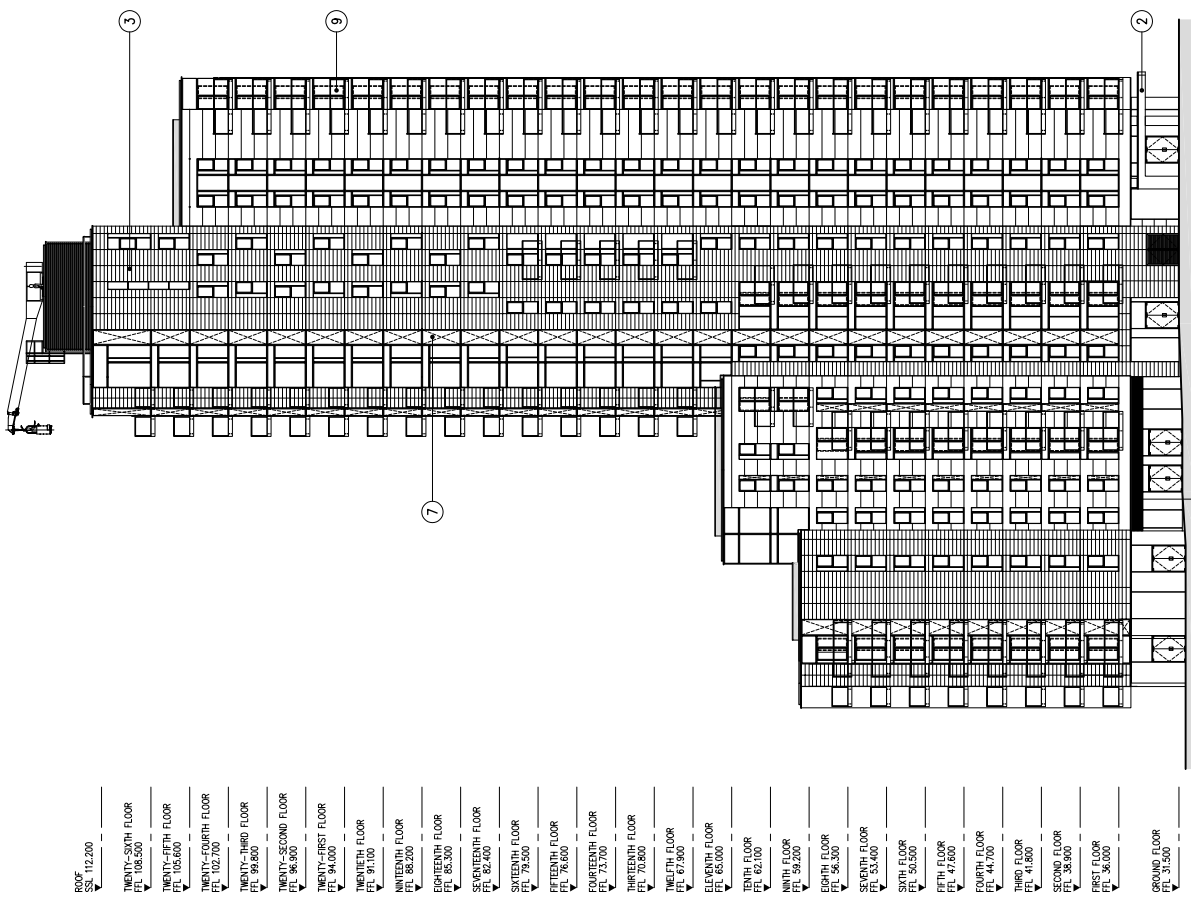
Revision
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PS

Scale
1:200 (A1)

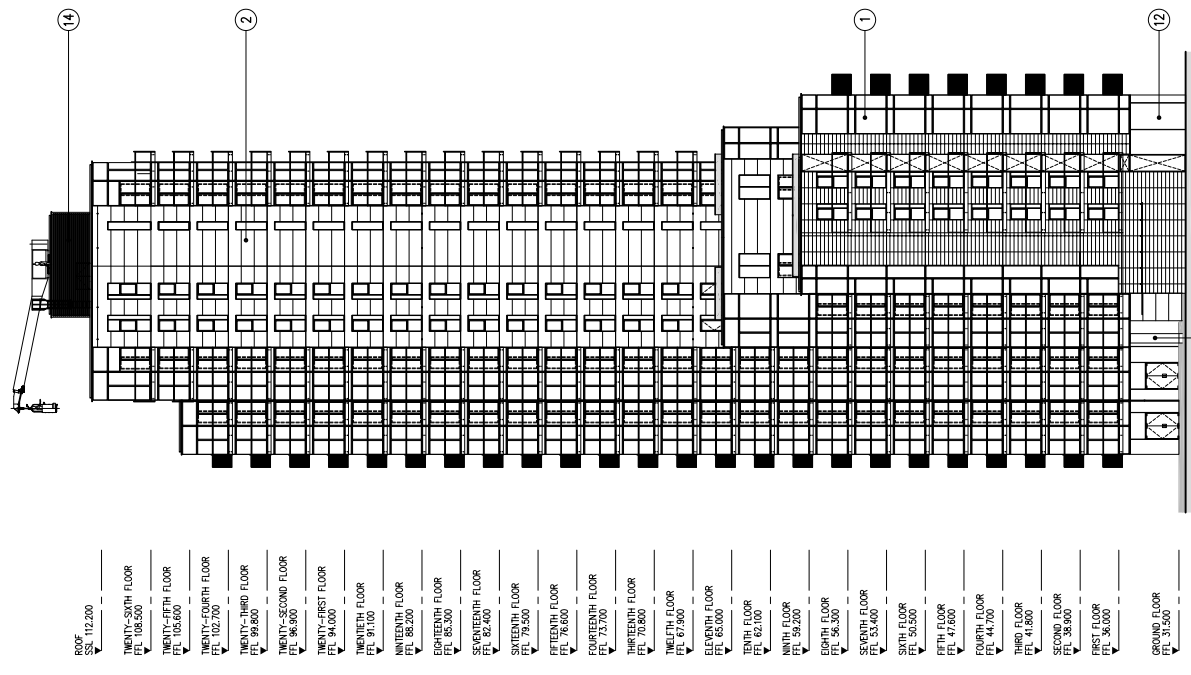
Author
ROLFE JUDD

Check
ROLFE JUDD

Drawn
ROLFE JUDD



02 EAST ELEVATION
SCALE: 1:200 (A1)

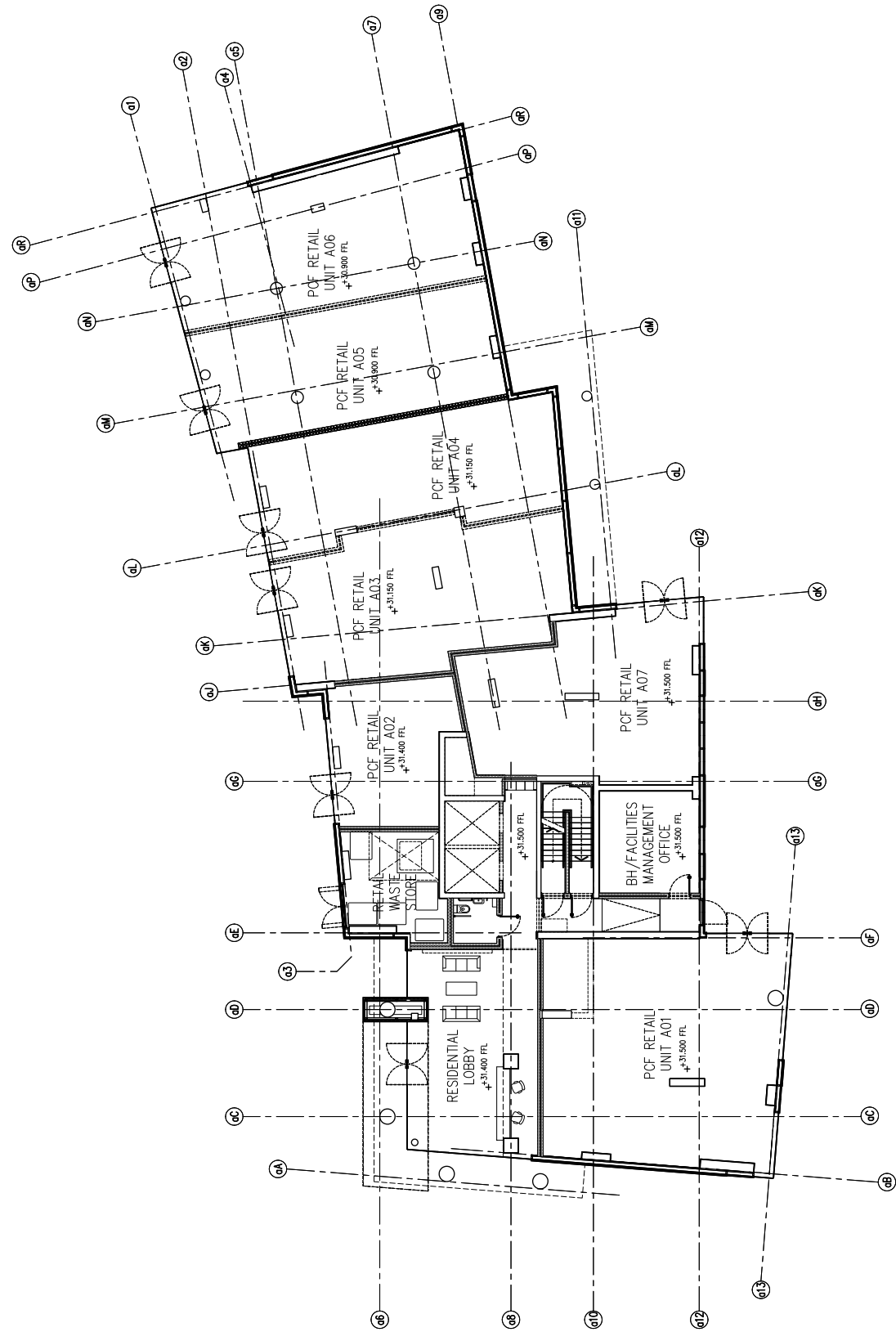
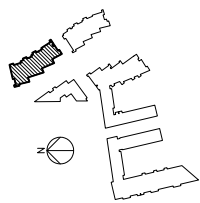


01 SOUTH ELEVATION
SCALE: 1:200 (A1)

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- NOTES**
1. The Contractor must check and confirm dimensions.
 2. All dimensions are to be taken from the finished and indicated by the Architect's survey points.
 3. This drawing is not to be used for construction.
 4. All work must be completed in accordance with current Codes of Practice and British Standards.
 5. Layout of units is indicative only.



P3 Planning Issue: 26/02/09
 P2 Planning Issue: 26/02/09
 P1 Issued for comment: 17/1/08
 Date:

ROLFE JUDD
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 ARCHITECTS
 INTERIORS
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 Chichester
 West Sussex PO19 1SE
 Telephone: 01243 792511
 Fax: 01243 792512
 www.rolfejudj.com

Client: BERKELEY HOMES (CAPITAL) PLC
Project: WOODBERRY DOWN
 KSS1 REVISED PLANNING APPLICATION
Block: BLOCK A
Drawing: GROUND FLOOR PLAN

Scale	Date	Drawn
1:100 (A1)	NOV 2008	ROH
Drawing No	Revision	
4894 / T1-A-(20)P00	P3	

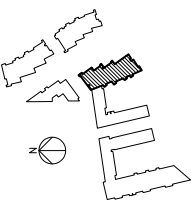
This scale is 100mm to 1m. It is not intended to be used for construction purposes.

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NOTES

1. The Contractor must check and confirm dimensions.
2. All materials and finishes to be used must be approved and reviewed by the Architect before work commences.
3. This drawing is not to be scaled.
4. All work and materials to be in accordance with current Codes of Practice and British Standards.
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Materials Key

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2. GRC Panel
3. Terracotta Panels
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5. Antique Red Brick Glazing.
6. Coloured Glazing
7. Timber Infill Panel
8. Glass Balconies
9. Steel Balconies
10. Steel Frame
11. Shop Front Glazing
12. Aluminium Louvers
13. Steel Plant Louvers
14. Platinum White Brick
15. Fair-Faced Concrete
16. Timber Screen
17. Open Grille
- 18.

27/02/09
 P.F. Planning Issue
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 PLANNING ARCHITECTS
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Client
 BERKELEY HOMES (CAPITAL) PLC

Project
 WOODBERRY DOWN
 KSS1 REVISED PLANNING APPLICATION

Block
 BLOCK C
 GA ELEVATIONS

Scale
 1:200 (A1)

Date
 NOV 08

Drawn
 SP

Revision
 4894 / T1-C-(20) E01
 P2

Author
 R. Judd

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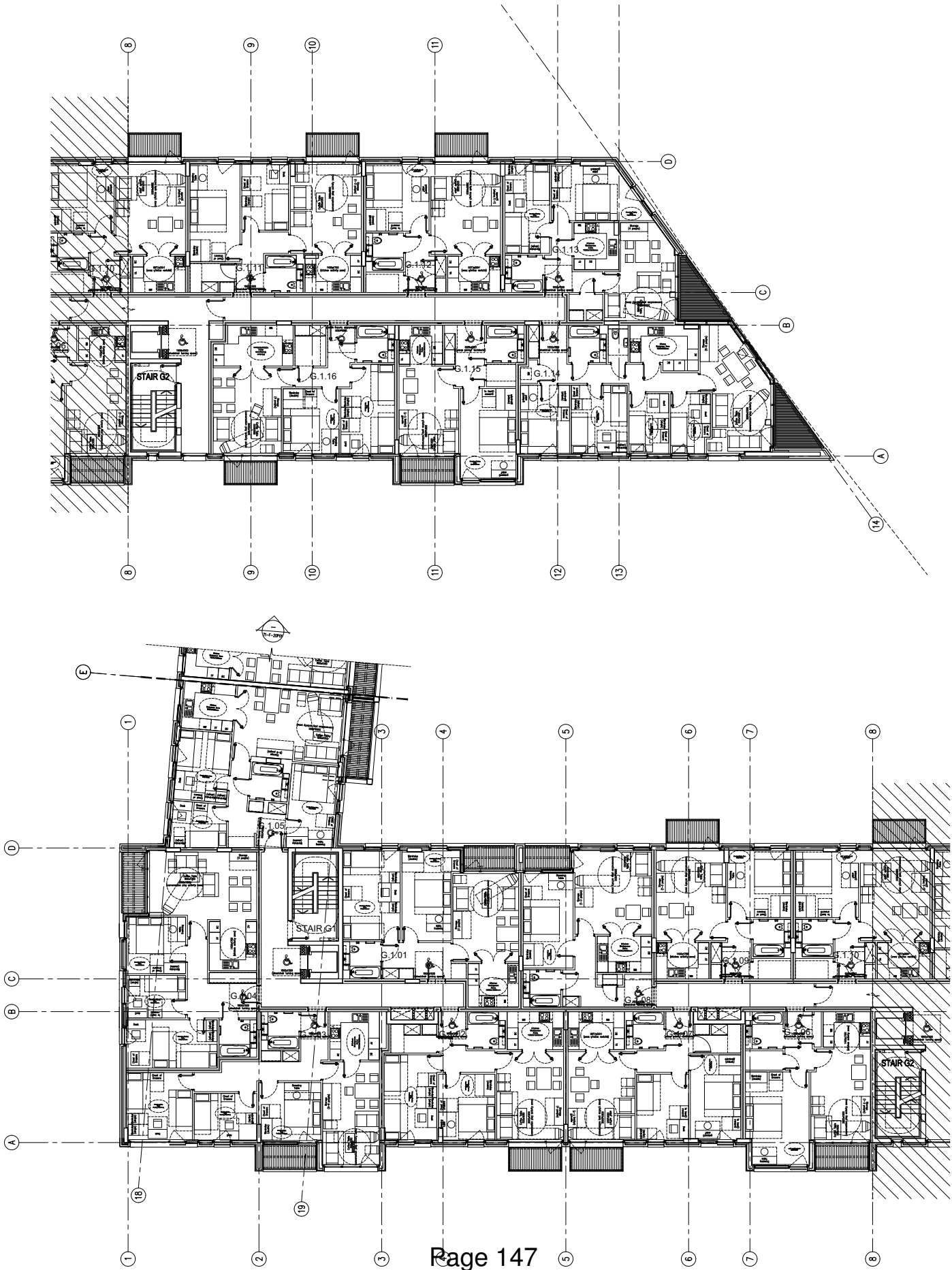
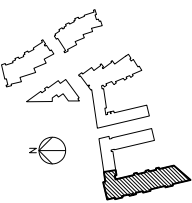
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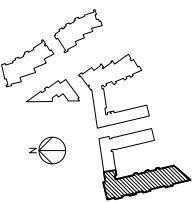
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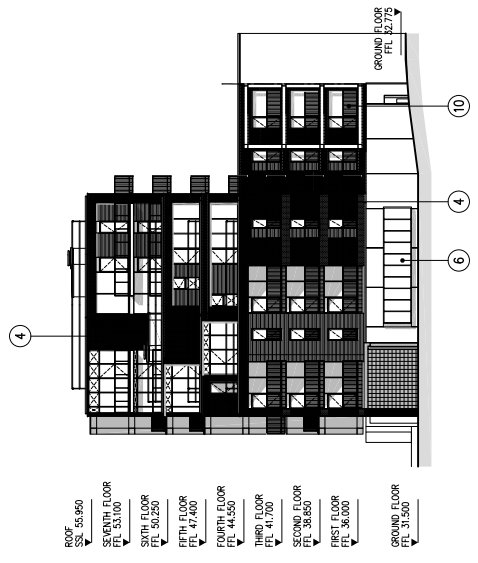
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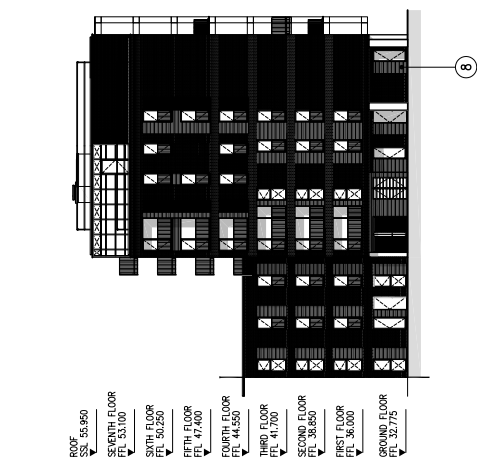
Materials Key

1. Full Height Glazing.
2. GRC Panel
3. Terracotta Panels
4. Buff Brick
5. Antique Red Brick Glazing.
6. Coloured Glazing
7. Timber Infill Panel
8. Glass Balconies
10. Steel Frame
12. Shop Front Glazing
13. Aluminium Louvres
14. Steel Plant Louvres
15. Platinum White Brick
16. Fair-Faced Concrete
17. Timber Screen
18. Open Grille



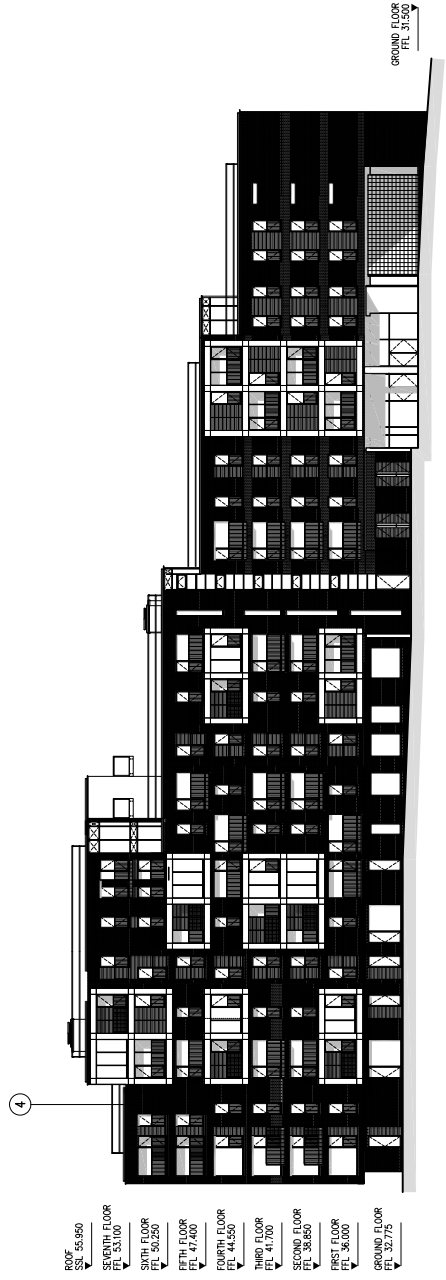
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FIFTH FLOOR
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FOURTH FLOOR
FEL 44.550
THIRD FLOOR
FEL 41.700
SECOND FLOOR
FEL 38.850
FIRST FLOOR
FEL 36.000
GROUND FLOOR
FEL 33.150

02 SOUTH ELEVATION
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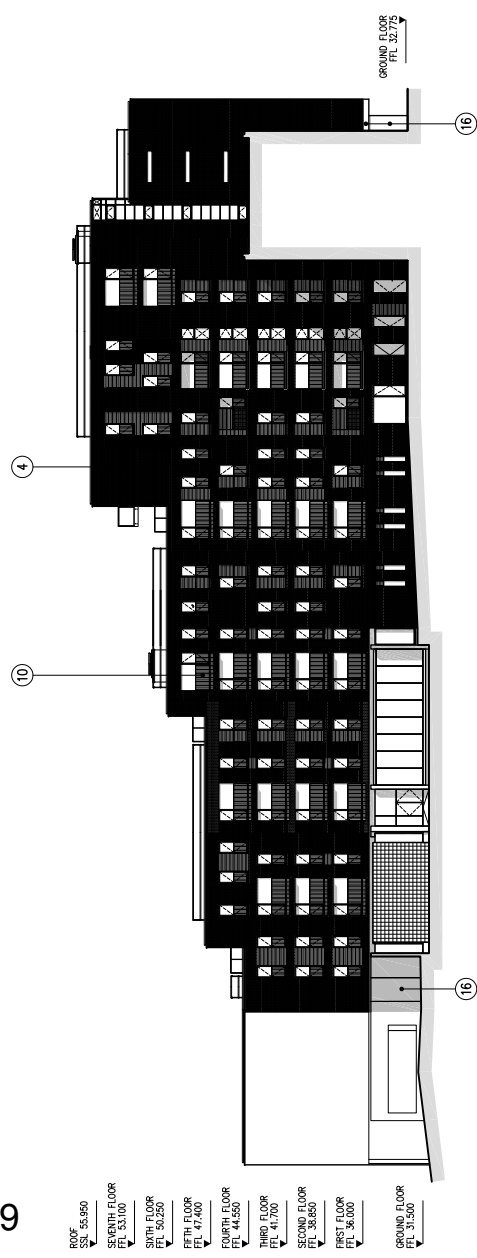
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GROUND FLOOR
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04 NORTH ELEVATION
SCALE: 1:200 (A1)



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FIFTH FLOOR
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01 WEST ELEVATION
SCALE: 1:200 (A1)



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FIRST FLOOR
FEL 36.000
GROUND FLOOR
FEL 33.150

03 EAST ELEVATION
SCALE: 1:200 (A1)

17/03/09
PL Planning Update
Date

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Client
BERKELEY HOMES (CAPITAL) PLC

Project
**WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION**

Block
**BLOCK G
GA ELEVATIONS**

Scale
1:200 (A1)

Date
NOV 2008

Revision
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Drawing No
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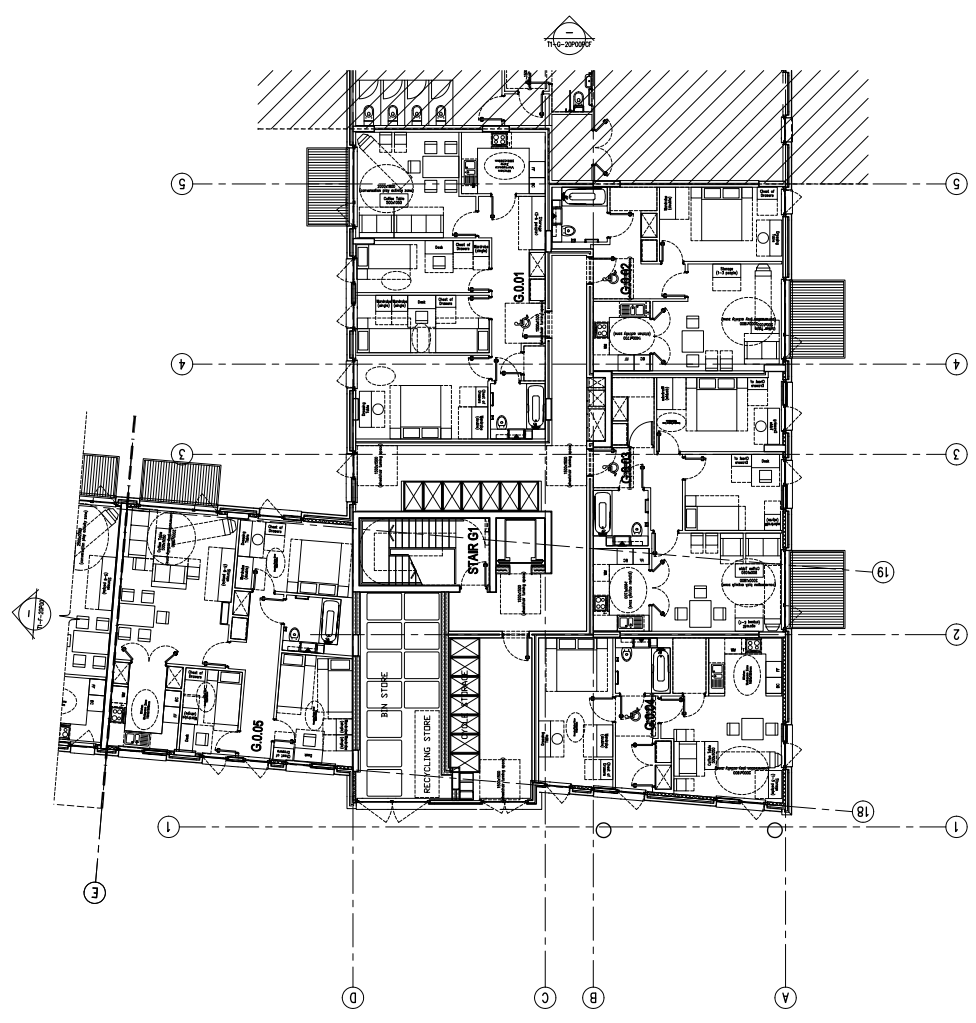
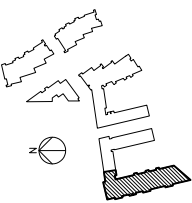
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Client BERKELEY HOMES (CAPITAL) PLC

Project WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION

Block BLOCK G
GROUND FLOOR PLAN (RESIDENTIAL)

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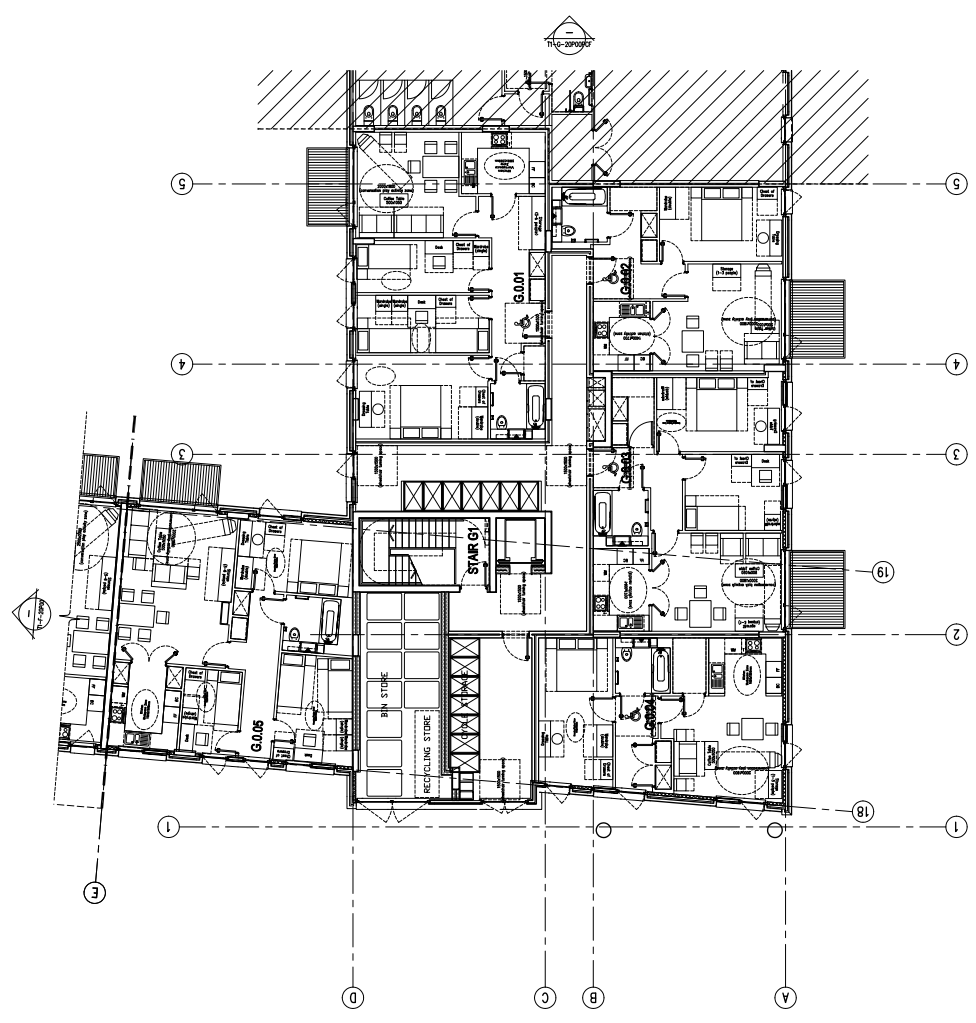
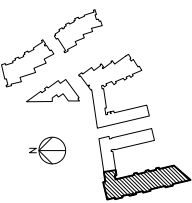
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Client
BERKELEY HOMES (CAPITAL) PLC

Project
**WOODBERRY DOWN
KSS1 REVISED PLANNING APPLICATION**

Drawing
**BLOCK G
GROUND FLOOR PLAN (RESIDENTIAL)**

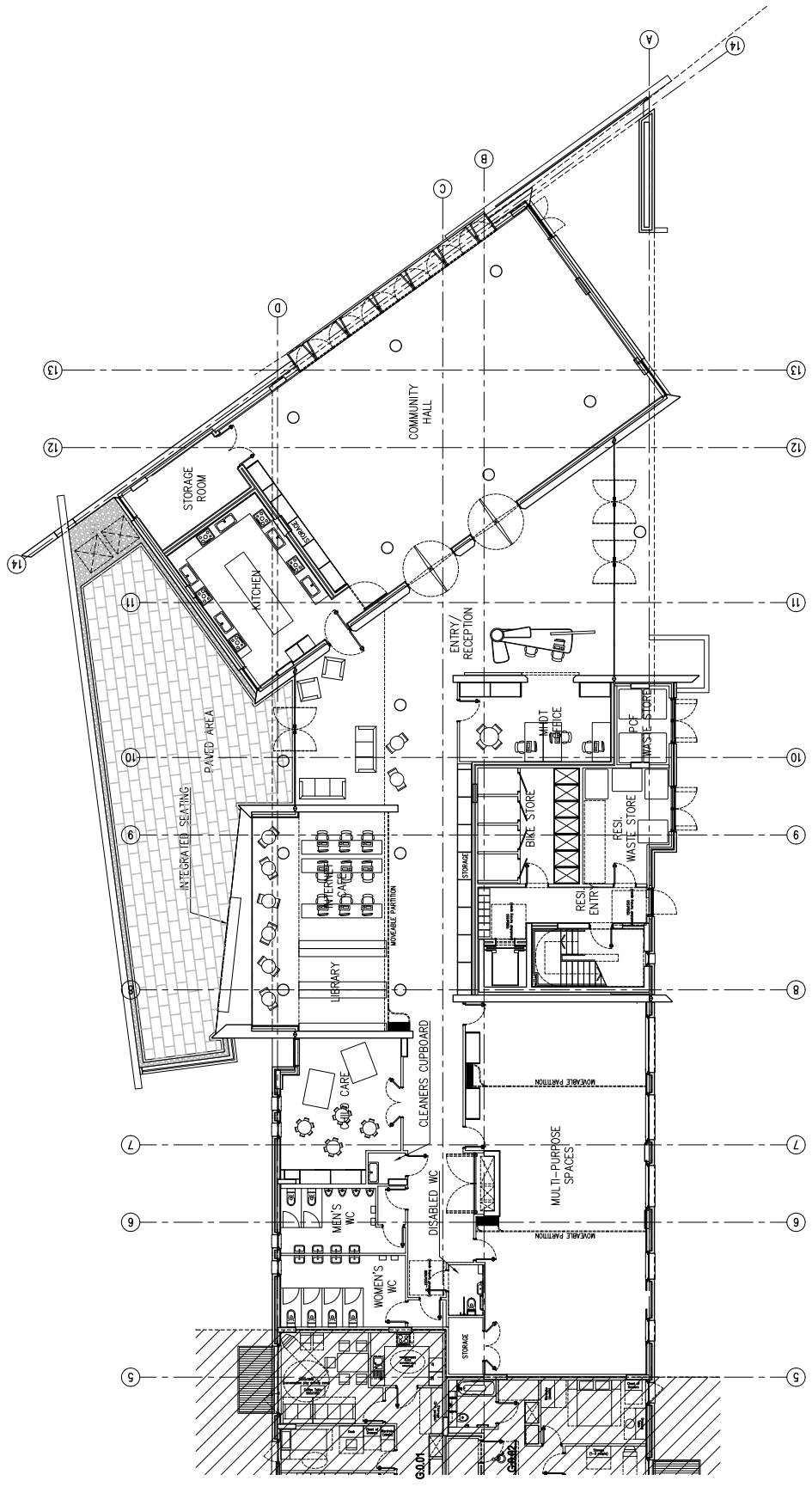
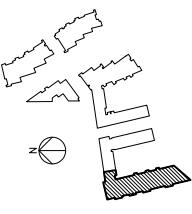
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BERKELEY HOMES (CAPITAL) PLC

Project
 WOODBERRY DOWN
 KSS1 REVISED PLANNING APPLICATION

Block G
 GROUND FLOOR PLAN (PcF)

Scale	Date	Drawn	Revision
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ADDRESS: 12-32A Hertford Road, 27-31 Downham Road and 305 Kingsland Road, London N1 and E8.	
WARD: De Beauvoir	REPORT AUTHOR: Gillian Nicks
APPLICATION NUMBER: 2008/3131 (Full Planning Application), 2008/3166 (Conservation Area Consent) and 2008/3167 (Listed Building Consent). DRAWING NUMBER: PL100 -121, PL200-211, PL300-304, PL400-433 and PL500-527. DOCUMENTS: CGMS Archaeological desk based assessment – AUG 05 (updated Jan 2006); Site remedial services Ltd, Remediation Plan Sept 2008; Ecology consultancy Black Redstart and Bat Survey, November 2008; Peter Brett Flood Risk Assessment, Oct 2008; Peter Brett Air Quality Assessment November 2008; Peter Brett Planning and Noise Assessment November 2008; Tym and Partners Employment Policy Appraisal Final Report, Dec 2008; Ecology consultancy Phase 1 Habitat Surbey and Protected Species Assessment, Nov 2008; Peter Brett, Transport Assessment Nov 2008; Clarkebond Report on Listed Buildings 19 November 2008; Doyle Conservation Area Appraisal, December 2006; Doyle Building Gazetteer December 2006; CGMS Historic Building Assessment, Dec 2006; JCMT et al Sustainable design and construction statement and energy assessment, December 2007; JCMT and Whitelaw+Turkington Design and Access statement, Dec 2008; Delva Patman Associates Daylight and Sunlight Study Dec 2008 and Technical Appendices Dec 2008.	VALID DATE: 5 th February 2009

APPLICANT: London and Quadrant Housing Trust Straford Eye 10 Grove Crescent Road London E15 1BJ	AGENT: Doyle Town Planning and Urban Design Studio 540 Highgate Studios 53-79 Highgate Road Kentish Town London NW5 1TL
PROPOSAL: Mixed use development to provide 207 residential units (70 x 1 bed, 69 x 2 bed, 45 x 3 bed and 23 x 4 bed including 65 affordable units) 5130sqm B1 floor space, 704sqm D1 (health centre)/B1 floor space, 271sqm A1 (retail) floor space, 86sqm A3 (restaurant) floor space, 336sqm B8 floor space plus associated landscaping, refuse and cycle storage together with 53 car parking spaces. This application is accompanied by associated Conservation Area Consent and Listed Building Consent applications.	
POST REVISION SUMMARY: The following details have been provided following the consultation period and have sought to respond to points raised by LBH officers and the GLA: Play Space and Sunlight Plan – PL312 April 2009 Wheelchair Adaptable units – PL305 Typical Lifetime Home unit – PL306, 307, 308, 309, 310, PBA – Technical notes (Bus Stop Audit Notes) - 02/04/2009, Bus stop map, Bus stop audit Hoare Lea – Response to GLA’s comments, April 2009 Amendments to Delva Patman Associates Daylight and Sunlight Study (Kings Wharf) 20 th April 2009.	
RECOMMENDATION SUMMARY: Grant conditional planning permission subject to a section 106 agreement following STAGE II referral to the Greater London Authority.	

ANALYSIS INFORMATION
ZONING DESIGNINATION: (Yes) (No)

CPZ	x	
Conservation Area	x	
Listed Building (Statutory)	x	
Listed Building (Local)		x
DEA	x	

LAND DETAILS:	USE	Use Class	Use Description	Floor space sqm
Existing		A4	Drinking Establishment	529
		A5	Take Away	158
		B1/B8	Office/Storage	4594
		B2	Motorbike repair shop	336
Proposed		A1	Retail	271
		A3	Café	86
		B1	Office	5103

	B2	Motorbike repair shop	336			
	C3	Residential	13,693.6			
	D1	Health Centre	704			
RESIDENTIAL USE DETAILS:	Residential Type	No of Bedrooms per Unit				
Type		1	2	3	4	
Existing	Not applicable	Not applicable				
Proposed	Flats	70	69	45	23	
PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage			
Existing	-	-	-			
Proposed	30 (1 for goods vehicles)	23	233			

CASE OFFICER'S REPORT

1. SITE CONTEXT

- 1.1 The site extends to approximately 1 hectare located on the eastern side of Hertford Road, to the south of Downham Road, and on the western side of Kingsland Road. It is adjacent to Kingsland Basin, a site of 'Special Landscape Character', and the Regents Canal, a 'Green Link' and part of the London Plans Blue Ribbon Network.
- 1.2 The site is made up of a number of buildings of various forms, ages and states of repair as follows:

12-14 Hertford Road:

A two-storey circa early twentieth century commercial building of yellow stock brick and contrasting darker brick to openings and plinth. Historically a brick wharf, currently occupied at first floor level by artist studios.

16 Hertford Road – Dating from the late nineteenth century, historically used as a stables and other associated activities with the storage and transportation of manure, today it is in commercial use. It is a two storey yellow stock brick block, with contrasting blue bullnose brick to front openings. There are other detailing, including inset terracotta tiling. To the rear, a horse ramp runs into 16A Hertford Road.

16a Hertford Road – Around similar age as 16 Hertford Road, this is a three-storey building with a single storey rear addition facing the Basin. Historically of a similar use to the aforementioned building, the property is now in commercial use.

18-20 Hertford Road (Norway Wharf):

A two storey stock brick building with a central entrance and two loading bays arranged symmetrically either side as it faces Hertford Road. A single storey post-war building lies to the rear facing the Basin.

22 Hertford Road:

Three storey brick built house from the mid-nineteenth century,

24 Hertford Road

Double height open timber storage sheds with corrugated metal roof used as scaffolding yard.

32 Hertford Road (Old Ivy Public House)

Three-storey brick built, former public house.

32a Hertford Road

Nineteenth century two storey yellow stock brick warehouse building with contrasting red brick segmental arch. Original iron hoists with iron tracery inserts mounted to the front of the building.

27-29 Downham Road:

Currently used as a motorbike repair shop with commercial space above, three storey stock brick property.

31 Downham Road:

Two-storey Victorian plain stock brick terrace building

305 Kingsland Road, London E8 (Commercial Wharf):

With exception of shed, vacant plot with high boundary wall to Basin

- 1.3 The surrounding area has a mix of varied building styles and uses. To the west of the site is the De Beauvoir Estate, characterised by a range of building heights from five storeys directly facing the site, to a twenty storey tower block further west at the interior of the estate. To the north of the site is the De Beauvoir Conservation Area, with three-storey residential property and a fire station to the north side of Downham Road. On the east of the basin, fronting onto Kingsland Road, a series of recent developments, on either side of the 305 Kingsland Road element of the proposed site are established. These include the restoration and conversion of the Grade II listed building at 315 Kingsland Road, otherwise know as the Spice Warehouse at Quebec Wharf, and two depots for Travis Perkins. The east side of Kingsland Road is characterised by traditional nineteenth century terraces with Ability Plaza facing the junction of Kingsland Road with Downham Road. The southern side of Regents Canal is characterised by a range of various industrial, commercial and mixed use developments.
- 1.4 The application site is within the Kingsland Basin Defined Employment Area (Site no.127), and designated for other leisure proposals (Site no.336) being suitable for 'Water-based community and recreation facilities and moorings'. It is part of the London Plans Blue Ribbon Network and classified as an 'Area of Special Landscape Character' and an 'Area of Archaeological Priority'. It also sits adjacent to the Councils designated 'Green Links' chain.

2. CONSERVATION IMPLICATIONS

- 8.1 The site lies within both the Kingsland and Regents Canal Conservation Areas.

16 and 16A Hertford Road are Grade II listed buildings, listed for the following principal reasons:

- a. 16A Hertford Road is of special interest as a rare survival of multi-storey stabling from the late nineteenth century;
- b. the massive scale of this accommodation for horses illustrates how commercial and industrial activity a hundred years ago relied on animals, even though steam and electric vehicles were becoming more common place and this is of special historic interest;
- c. The ramp abutting 16 Hertford Road, complete with its cobbled surface and raised sets to assist horses in climbing the incline, is a relatively rare survival and of particular interest;

8.2 In the vicinity of the site is also located the Grade II Quebec Wharf building at 315 Kingsland Road.

3. HISTORY

6.5.1 **2006/0903** – Planning application for ‘Demolition of 12-14, 16, 22-24 Hertford Road, 27-29 Downham Road and 305 Kingsland Road. Mixed use development involving refurbishment of part of 16, 18-20 and 32 Hertford Road and New building of 3, 4, 5, 6 and 7 storeys to provide 290 residential units (113x1 bed, 79 x 2 bed, 67 x 3 bed and 31 x 4 bedroom) and 3006sqm mixed commercial floor space (indicative mix: 1561sqm B1 (Business) 338sqm B2 (General Industrial), 655sqm D1 (health centre), 325sqm A4 (Drinking Establishment), 127sqm parking and services areas) plus ancillary A1 (retail), A2 (Office), A3 (Café/restaurant) uses and including basement car parking for 80 cars, accessed from Hertford Road’ refused in 2006 for the following reasons:

1. The proposals represent a substantial loss of employment generating floor space within the Kingsland Basin Defined Employment Area thereby leading to a significant reduction in the capacity of the site to provide employment within the Borough and would be contrary to Policies ST1, ST24, ST25, H03 and E5 of the Hackney Unitary Development Plan. The area is also identified in the Council’s Employment Growth Options Study (March 2006) to be protected as a Priority Employment Area.
2. The proposals include the demolition of buildings within the Kingsland Conservation Area which individually and as a group contribute positively to the character and appearance of the Conservation Area and would thereby be contrary to Policies ST1, ST2, ST8, H03 and EQ13 of the Hackney Unitary Development Plan and advice in Planning Policy Guidance 15.
3. The proposals, by reason of their layout, height, scale, bulk, design and appearance would be out of scale and character with the site and surrounding area, failing to respect the established architectural and historic character of Kingsland Basin and adjoining areas of Hertford Road, Downham Road and Kingsland Road, failing to preserve or enhance the character and appearance of the Kingsland

Conservation Area including views into and out of the Conservation Area and Area of Special Landscape Character and would be contrary to policies ST1, ST2, ST4, ST8, H03, EQ1, EQ3, EQ12, EQ14, EQ24, EQ26 and EQ30 of the Hackney Unitary Development Plan, Policies 4B., 4B.4, 4C.20, 4C.28 of the London Plan, Planning Policy Guidance 15 and Planning Policy Statement 1.

4. The proposed layout, scale, bulk and height of the buildings up to the water's edge would have an overbearing and enclosing impact on Kingsland Basin and as such would be detrimental to the amenities and environment of occupants of the residential moorings within the Basin, out of character with the quite and secluded nature and historic character of the Basin and harmful to the implementation of Policies 4C.3, 4C.4 (BRN) of the London Plan and contrary to Policies ST1, ST2, ST4, ST12, ST42, EQ1, EQ24, EQ30 of the Hackney Unitary Development Plan.
5. The applicant has failed to adequately address how the proposal will protect and preserve the wildlife habitat, nature conservation interest and ecology of the Kingsland Basin and Regents Canal and also fails to respect and enhance the unique character of this Area of Special Landscape Character and adjoining Area of Nature Conservation Importance and would be contrary to Policies ST1, ST5, ST12, ST13, ST42, EQ24, EQ26, EQ30, OS13, OS16 and OS17 of the Hackney Unitary Development Plan and Supplementary Planning Guidance No. 9 Regents Canal.
6. The proposal fails to provide adequate public access to and from Regent's Canal and Kingsland Basin, thereby failing to increase the leisure and amenity value of the canal basin as well as inhibiting the implementation of Unitary Development Plan Proposal ref:336 to use Kingsland Basin for water based community and recreation facilities and moorings and would be contrary to Policies ST1, ST12, ST13, ST42, EQ24, EQ26 EQ30, OS13 and OS18 of the Hackney Unitary Development Plan and Supplementary Planning Guidance No. 9 Regents Canal.

6.5.2 The accompanying Conservation Area Consent (2006/1227) for the 'Demolition of building at 12-14 Hertford Road (Bick Wharf), 16 Hertford Road (Hertford and Crown/Reglan Wharf), 22-24 Hertford Road (Union Wharf), 27-29 Downham Road, 31 Downham Road, 305 Kingsland Road in connection with development of mixed use scheme submitted under reference 2006/0903' was refused for the following reason:

1. The proposed demolition of 12-14 and 16 Hertford Road, by reason of the positive contribution these buildings make to the character of the Kingsland Road Conservation Area would have a serious and detrimental effect on the character and appearance of the Conservation Area and would be contrary to Policies St8 (Conservation Area), EQ1 (Development Requirements) and EQ13 (Demolition in Conservation Areas) of the Hackney Unitary Development Plan.

6.5.3 The application was appealed, and a public inquiry was held in April and May 2007. The proposal was dismissed, and in summary the Inspector made the

following comments:

- The Kingsland Basin Urban Development Framework provides a useful background to consideration;
- Design to 305 Kingsland Road has more domestic character, for example through the use of balconies, than its neighbours (though not excessive) and though the proposed building be storey higher than Quebec Wharf (Listed) consider would not diminish the quality of massiveness in the older building or its overall impact.
- Demolition at 27-31 Downham Road acceptable in principle subject to acceptable replacement, considers linking of new building to Duke of York PH handled well.
- Agree with applicants that Nos 12-14 Hertford Road have qualities of age, style and materials which relate to other wharf buildings surrounding the canal basin, has an historic association with the Regent's Canal and the Basin and reflects their traditional functional character but individually only limited value as part of the wider street scene. Its loss would not have a substantial impact on the character or appearance of the Conservation area, however in its favour the buildings are occupied by the Barbican Arts Group Trust, which accords it some community value.
- As a design concept, entirely content with the appellant's approach to scale and massing. The traditional continuous frontage would be maintained to the road and the progressive increase in height would be managed in a sensitive way that does not overpower the older buildings.
- On the waterside, the concept to create a number of open spaces would retain an element of the more open character of the western side of the Basin and maintain the idea of having a series of separate 'wharfs'.
- Its 7-storeys scale, although much taller than anything presently on the west side of the basin would be acceptable. The eastern side of the Basin has already been redeveloped at such heights, and permission has been given for a building of similar scale at its head.
- Loss of southern and eastern elevations to 16A Herford Road would be particularly regrettable. And would fail to preserve or enhance the character or appearance of the Conservation Area.
- The site is not identified as a Strategic Employment location within the London Plan but that does not indicate that UDP Policy E5 or the DEA designation should be overridden and does not mean it is not worthy of protection for employment use in a more local context.
- There would be little material impact on the residents of properties on the east of the Basin.

6.5.4 **2007/0015** – Planning application for 'Mixed use scheme comprising either (Option 1):4950m² (B1, B2 or B8) and 230 residential units (15 studios, 74 x 1 bed, 64 x 2 bed , 52 x 3 bed and 25 x 4 bed which includes 31 x 1 bed , 23 x 2 bed , 12 x 3 bed and 15 x 4 bed affordable units); or (Option 2): 4295m² employment use (B1, B2, B8), 655m² health centre (D1) and 230 residential units (15 studios, 74 x 1 bed , 64 x 2 bed , 52 x 3 bed and 25 x 4 bed which includes 31 x 1 bed , 23 x 2 bed , 12 x 3 bed and 15 x 4 bed affordable units), plus 93 basement car parking (11 disabled spaces), 252 bicycle and 5 motorcycle spaces' withdrawn by applicant in May 2007.

4. CONSULTATIONS

- 4.1 Date Statutory Consultation Period Started: 19th February 2009
- 4.2 Date Statutory Consultation Period Ended: 23rd March 2009
- 4.3 Site Notice: Yes
- 4.4 Press Advert: Yes
- 4.5 Neighbours

Consultation by way of coloured brochure was circulated to 1418 surrounding occupiers. A drop in session was held at Haggerston Community Centre, within five minutes walk of the application site, on 18th March 2009 from 4-9pm, approximately 20 people attended the event where the Case Officer and applicant were present. A total of 6 letters neither supporting or objecting to the application were received, with 106 letters of objection and 13 letters of support received at the time of writing.

In summary, the grounds of objection are as follows:

- Proposal clearly conflicts with Hackney UDP policies and London Plan;
- Density and scale represents overdevelopment of the site that is out of scale with the environment and dominates the setting of the Kingsland Basin and its surrounding buildings; Any future development should be restricted to the height of the current buildings on the site. The plan shows that the height and density of the development will cause overlooking, a feeling of enclosure, loss of privacy and a significant loss of sunlight and daylight to many of the habitable rooms of the already existing dwellings contrary to building research establishment guidelines. Shadows will be cast over the Basin and this open and clear area will be turned into yet another 'canal canyon' to provide profits for developers
- Scale and layout of the buildings fail to preserve and enhance the setting of the listed buildings at 16 and 16A Hertford Road and the setting of the Conservation Area. The orientation of the buildings conflict with the historic layout and scale of the site;
- The buildings are too high and should not exceed six stories taking precedent from De Beauvoir Crescent.
- Height of proposed buildings should be an absolute limit of five storeys and where the proposals cluster around listed buildings they must not be higher than the historic buildings to invade and ruin their character. This means three storeys at most.
- Commercial wharf will be higher than Kings Wharf, daylight will be severely impacted as a result.
- Commercial wharf will adjoin Kings Wharf. Balconies of the courtyard facing apartments will be too close to the rear windows of Kings Wharf Block B, allowing easy sight into bedrooms and living areas, thus invading privacy.

Rooftop terraces adjoining and on top of the penthouse flats on Commercial Wharf will lead to a significant loss of privacy for flats at Kings Wharf and shall be only metres from facing windows of flat 406 (Kingsland Road window) and flat 411 (Kingsland Basin window) Kings Wharf.

- Inappropriate separation between Kings Wharf and Commercial Wharf and could increase chances of intrusion and with public access to the basin via Commercial Wharf, concerned about anti-social behaviour at night time alongside the canal basin. The plans do not make clear what safety provisions there are.
- The volume of works that the entire basin redevelopment entails will mean several years of building works noise and pollution, interrupting the daily lives of those living and working at Kings Wharf.
- The overall proposal is a cheap, utilitarian uniform design without variation such that the buildings lack individual identity and overall character. Kingsland Basin is one of the few remaining areas of its type with character and listed buildings and a more imaginative design should be employed for a site of such significance. The current design seeks purely to maximise profitable gain from commercial exploitation. Design in this area should take advantage of the site's history and character, rather than simply working around them.
- The development is out of character with the historic use of the site. In the past this area, and much of Hackney was used for manufacture and trade (mainly furniture). Consideration should be given to develop this site to provide commercial premises to bring in jobs, not residential accommodation. Hackney should be promoting developments which provide jobs and local services, rather than encouraging yet more dormitory developments which put a strain on transport and other services.
- Basin is designated as an Area of Special Landscape Character due to its wide range of aquatic flora, invertebrates, fish and breeding water fowl. It lies along a Green Link, i.e. the Regents Canal and it is located next to the London Can's site of metropolitan importance. It supports a fragile ecology requiring very careful consideration and treatment. A total of 26 bird species, 12 of which showed signs of breeding on site, have been identified. Additional species were breeding nearby and obtaining food from the site. The Basin is a particularly attractive habitat for swifts and housemartins as feeding area. Residents have in addition observed kingfishers on the site and swans breeding on the site. It is not considered that the proposals to mitigate loss of habitat are adequate.
- The proposed movement of houseboats, and the expansion of recreational use, to the northern part of the Basin will adversely affect the ecological balance and the use of the area for birds nesting on rafts and water. Several species of fish breed in the quieter waters of the basin and grow to large size in the weed and plant sheltered banks. Destruction of these will cause severe disruption of fish breeding, and impact on the bird life of the area as a consequence. Kingsland Basin has become a site of serious nature significance to the area and remains one of the few less disturbed portions of the canal;
- Parking is inadequate, surrounding area already full with Mandarin Wharf to add further to the demand.
- No provision for children or teenagers. There should be play parks and

- green spaces as part of this plan, the ecozone is too small for this purpose.
- Buses are already full at rush hour, what new and additional bus links will be provided, e.g. service to Angel to alleviate pressure.
 - Lack of green open space within the development, with green roofs not accessible to residents and only southernmost courtyard provided with green space. Courtyards should be provided with more soft landscaping, with paths rather than whole areas provided in hard standing.
 - Inspiration of network narrow streets between converted warehouses (such as South of Shad Thames) inappropriate since the open spaces in this development are not streets and people should be able to relax there as they cannot do in narrow alleys. Better inspiration would be Bishops Square, where open space (formerly a street) surrounded by new buildings entirely comprises calming, mainly green surfaces, aside from necessary walkways around the outside of the space. Design of new courtyards could easily be adapted to make them much more visually appealing and more versatile. Some of the spaces between the paths are already shown as to be mounded up – which would effectively deter people from walking across, rather than around them; there is no need for further deterrence by covering these mounds with pebbled hard surfaces (as proposed for Norway Wharf) or growing prickly low box shrubbery all over them (such as the northernmost courtyard, intended for residents only) which simply prevents their being used at all, in non-destructive ways. Soft, green surfaces would make these mounded-up areas much more versatile: usable for sitting in summer or for children to play there. Inadequate provision of child play space when considering quantum of family housing.
 - Prevalent hard landscaping contemplates the possibility of these spaces being used for art exhibitions or a farmers market, which is unrealistic. Catering for a remote possibility should not take precedence over the potential for everyday recreational use of the public courtyards in this development.
 - If more soft landscaping were used at ground level, there would be no need for elaborate mechanism to provide for the run-off of ground water which would have nowhere natural to soak away under the current proposals.
 - Proposed application fails to demonstrate the new office accommodation is needed in the area, and the provision of such significant amount of accommodation will have a further downward pressure on the commercial market in the area and poses significant crime and disorder risks.
 - Proposal includes new shop frontage to Kingsland Road. There are a number of empty shops along that stretch of Kingsland Road, both new and existing. The application fails to demonstrate that adding further to available shop frontage is needed.
 - The proposed application includes 65 affordable housing units and 139 one and two bed units. The application fails to demonstrate that such accommodation is needed in the area. Available demographic and socio-economic data would suggest that Hackney is polarised in its socio-demographic structure and that it desperately needs accommodation to attract middle income families. Further, there is significant development of one and two bedroom flats in the area.
 - There should be a greater number of shared ownership homes as opposed to socially rented properties, noting that there are substantial numbers of

social rented properties on the De Beauvoir Estate and there is a great need for key worker accommodation in the area. A higher number of Shared Ownership properties would maintain a more balanced community locally and would facilitate an overall reduction in density on the site whilst maintaining the viability of the scheme.

- The application would result in a number of existing buildings along Hertford Road being lost. The demolition of the buildings would reduce further the local history in the area, replacing character, locally relevant buildings, with modern, characterless buildings that lack any relationship to the local context within which they sit.
- The application does not include sufficient detail on quality of materials to be used. A number of recent developments in the area are of poor quality in terms of their finishes and materials, which does not enhance or improve the local area.
- The scale and layout of the buildings fail to preserve and enhance the setting of the listed buildings at 16 and 16A Hertford Road and the setting of the Conservation Area. The orientation of the buildings conflict with the historic grain.
- The buildings are designed to a uniform pattern without variation in typology such that the buildings lack individual identity and overall character. A more imaginative design should be employed for a site of such significance and character and that the design should take advantage of the historic buildings on the site rather than simply work around them as 'retained' buildings.
- 16 and 16A Hertford Road have not been fully appreciated in the Building Gazetteer compiled by Doyle in Dec 2006. There are other buildings on the development site similarly been underestimated by the survey. There has not been sufficient and careful consideration so as to justify demolition of the following buildings which contribute to the conservation area on account of their character, function and group and townscape value
 - e.g. 12-14 Hertford Road, circa 1905 and 1916 is categorised by Doyle as B/C only;
 - the 1900/1920 timber warehouse at 24 Hertford Road which Doyle categorised only as B;
 - 31 Downham Road is possibly of B category based upon its group value and underlying remnants of historic fabric;
 - 27-29 Downham Road, circa 1900 with front elevations rebuilt in 1921, could increase its contribution to the conservation area by restoration of its group value.
- Public access must be gated and be limited to residents and canal boat users only. There should be no through routes to the proposed scheme and no new links between the Basin and the canal tow path as incidents of crime is high on the latter
- Impact on light levels for properties in Kings Wharf Block B, units 6-10 on each floor.
- Scale and height of proposed buildings dwarf the stables, general height of four storeys adequate for the site.
- Density of certain buildings has merely been shifted around since the listing of certain older buildings to compensate for the loss of flats in these areas. Commercial Wharf will encroach on Kings Wharf walkway, has significantly increased in height and density from the previous proposal despite concerns

voiced in consultation with the architects and previous applications. Large parts of the scheme at Commercial Wharf and west of Kingsland Basin are significantly higher than Kings Wharf, in addition it appears there will be paving on top of the penthouse flats at Commercial Wharf, thus facilitating rooftop use even higher than shown in the drawings. Risk that the freeholders of existing buildings such as Kings Wharf will seek to add further floors.

- Plan PL207 and related plan PL208 overstate the height of Kings Wharf. This implies that the proposed development at Commercial Wharf will be higher relative to Kings Wharf than is shown on the drawings. Within the supporting planning statement it states that the "*Kings Wharf development rises to nine storeys (21m) and the adjoining Benyon Wharf rises to 20m*". This may adversely effect TV reception for Kings Wharf. The communal aerial is located on the roof above the flat on the Kingsland Road side, closest to Commercial Wharf. It may also give rise to other issues reliant on using the correct height for Kings Wharf. Also, find no reference to height in the Delva Patman survey. They do not refer to the plans for Kings Wharf or Benyon Wharf in their list of source materials.
- Loss of daylight/sunlight to Spice/Quebec Wharf. The relevant information for assessing impact under the BRE guidelines for calculating Annual Probable Sunlight Hours includes information about the flats layout as well as floor level because it is the adverse effect on the habitable rooms with windows within 90 degrees due south which is critical. Measures have been taken recently on Quebec Wharf building and it has been established that the building is substantially within the 90 degrees. Building has been ignored from the current calculation and therefore a separate reading should be taken.
- The Delva Patman report does not consider the reduction in daylight to the walkway windows of the flats at the northern end of the canal and Kingsland Road blocks of Kings Wharf. Currently, one photocell operates all walkway lighting. There will be a combination of loss of daylight and overshadowing of the walkways at the northern end of the walkways for the Canal and Kingsland Road Blocks. This will require separate photocell circuits as some of the walkway lighting will need to be left on all day during autumn and winter if the proposal is approved.
- Delva Patman drawing SHD/506 shows the courtyard of Commercial Wharf will be permanently overshadowed. The lower flats in the courtyard block of Kings Wharf will thus have no access to an area not in shade, this is unacceptable for a forward thinking development by a social housing provider.
- The shadowing report, which accompanied the previous application, included detailed analysis of the reduction in sunlight for the moorings. It is unsatisfactory that no similar test has been undertaken for this given the greater height of the current scheme. The Delval Patman report indicates that the existing moorings will be overshadowed until 10am or later and will then be overshadowed from 2pm onwards. Any development of the waterside area of the two Travis Perkins yards would completely overshadow the eastern side of the basin for much of the day.
- There is little opening for common ground in the form of allotments
- No reference found to any application for permission in respect of the blue

line plan that include residential moorings. The residents on the boats form an integral part of the basin. Greatly concerned that boat residents will have not appreciated that the propose moorings shown are not part of the application. Consequently, Boat residents will not have considered the severe loss of sunlight, privacy and security should the scheme be approved and their moorings remain in their current location, general paucity of information for CGUG community.

- The sunlight and daylight report does not provide sufficient explanation or statistics to justify its conclusions.
- Current indications are for a “more of Benyon Wharf” approach (referring to outward faces rather than successful internal courtyards). Architects must respect character of the existing buildings and work hard to produce something special to Kingsland Basin, not repeat what can be seen at many other new sites across London. Use of glass balcony fronts visible in some of the illustrations seem inappropriate producing a sleek and shiny corporate office face.
- Proposal should provide more industrial space
- The proposals will turn the Canal into a residential cul-de-sac rather than a mixed area of homes, small businesses and wildlife.
- Consultation incorrect. On the page with the heading ‘proposed uses’ the image labelled ‘existing site plan’ should in fact say ‘Proposed site plan’. This might have dissuaded several residents from commenting on the proposal since the rendered perspectives there seems to be little different.
- Passive solar heat system at Kings Wharf at risk with the south-west faced large windows for capturing sunlight and the exposed concrete ceilings for thermal mass storage.
- Listed buildings should be retained and reused where possible rather than demolished as stated in the conclusion of the Regents Canal Conservation Area.
- Too many car parking spaces for area of good and improving public transport – 207 homes should mean no more than ten per cent for disabled users. As within a CPZ ban others from holding resident parking permits and require developer to pay first years membership of Hackney Car Club for all residents with a driving licence.
- 32 Hertford Road will be overlooked, especially upper two bedrooms, back garden will be overlooked and roof terrace as well as kitchen.
- Proposal will destroy the historic character of the street. They are not going to build extensively in brick, they are not going o maintain the low rise nature of the buildings, various fixtures and fittings of this heritage as currently seen on the outside of the buildings, such as the warehouse winches,, painted murals etc. Any attempt to ‘preserve’ the character of the buildings is consonant with destroying them, as preservation within the context of a contemporary housing development is tantamount to reification.
- The architecture designs seem to seek to continue the Benyon Wharf aesthetic which is disappointing. It would be good to see more variety and features. Not advocating that new buildings have to look like Kings Wharf: a mix of both styles and matiers is to be encouraged, but hope to see ground level and water level planting, not only to sofen the exterious but to support bird and other life and greater provision of upper level balconies to allow residents to install their own planting.

- Proposed Commercial Wharf is taller than last scheme and in higher density.
- Fourteen rooms in Kings Wharf reviewed in the Sunlight and Daylight study – which rooms are these?
- Kings Wharf absent from sunlight tests.
- Mezzanine level at Kings Wharf (Basin side) receives very little light during day. As the work area of these live/work units have barely habitable room heights and therefore so low that it is very hard to fit central light fittings which don't obstruct movement around the space.
- Construction waste and demolition materials have been allowed into the water, waste blows around. It is hard to see how much wildlife will remain when the proposed Kingsland Wharves development has been completed. Urge Council to make greater efforts and lay conditions on developer and his contractors to mitigate these problems.
- No indication of what physical separation will be provided. It must be both effective and aesthetic. Urge Council to insist the developer allows and encourages his architect to consult with Kings Wharf residents on reasonable design details.

Barbican Arts Trust submitted objection on the grounds that:

London and Quadrant have ignored all communication from BAGT concerning its inclusion in the development. Comments made in direct relation to BAGT by the inspector in his report following L&Qs unsuccessful appeal have been similarly ignored.

(Paragraph 45 of the Appeal Decision, following L&Q=B9s second planning application): I recognise that in view of their condition, age and configuration, the buildings are not as flexible as modern structures, or as easy to upgrade. For these reasons, they are unlikely to be attractive to users who require up-to-date facilities. On the other hand, some are likely to be more attractive to occupiers who need cheaper accommodation and who cannot afford the rents sought for modern buildings. I heard first hand and convincing evidence of this from the Barbican Arts Trust, who occupy Nos. 12-14 as studios. That view is backed up by the Artists Studios guide produced by the Arts Council and others, which highlights the difference between affordable and commercial rents for studios. In this connection, Hackney is identified in the London Plan (para 3.139) as a place where creative industries cluster, recognising that one influencing factor is the availability of low cost workspace. LP Policy 3B.9 promotes the identification and support of such clusters. In my opinion, the appeal site provides such an opportunity. Provided that development of the site was to be appropriately targeted, I have no reason to believe that occupiers would not be found.

In the current uncertain financial climate regard should be had to BAGT twenty years in Hertford Road. It seems ludicrous that L&Q should turn it back on an organisation, backed by Arts Council England, that has a proven track record for studio provision and a public programme of cultural advancement in the local community.

Canals in Hackney User Group – support the scheme but do not feel the

suggested unrestricted public access along the whole of one side is feasible.

- provision of squares allow space onto the basin and avoids a canyon effect as seen on the east side developments. Also, the retention of existing buildings has improved the scale and reduced over shadowing of part of the basin. The public square at Norway Wharf is in a good position for local people to view the conservation end of the basin that they could enjoy without disrupting the unique security and tranquillity of the basin by full through route to the towpath.
- Can see that in the future the security may improve and increased public access agreed on the west side. To allow for that possibility our mains supplies, general facilities and permanent moorings will be moved to the Kingsland Road side of the Basin within L and Q's proposal.
- As the main towpath suffers from anti-social behaviour such as drug taking and theft, a through link would spoil the current amenity of the basin enjoyed by local people
- Should be more units available for cafes and restaurants as currently ample supply of housing but not enough services to provide for them
- No mention of disabled units
- No mention of lamp posts around the site

The Inland Waterways Association wrote without objection but to share concerns of Canals In Hackney Users Group about the security aspects for boats in the basin and the increased public access to the waterside.

Support

Will regenerate the local area, whole area is in desperate need of regeneration and more greenery.

The creation of additional amenities will be a benefit to existing local residents.

Tree planting scheme for Hertford Road and Downham Road

Direct access for the public to the Basin from Hertford and Downham Road.

Proposal will clean up a dilapidated area and hope that the pub will also be included in these plans.

Great they are planning to restore and keep the existing buildings whilst adding with new ones.

Wharf area and conservation area will be great and enhance the canal making use of the canal.

Opening up the Wharf would be a great addition to the canal and area.

4.6 Statutory consultees

4.6.1 British Waterways

No objection to the proposed development subject to conditions and contribution of £25,000.00 towards improvements under Cycle Route Implementation and Stakeholder Plan (CRISP) as well as two chicanes required to encourage safer cycling along the towpath, to and from the development. Wish to provide comments that should be considered in context of letter to applicants agents (dated 27th October 2008 – Index 5 to Application Planning Statement) as follows:

Support the design and layout of the development, with the proposed variation in building design and height and the retention and redesign of the listed buildings, which we feel has successfully incorporated the heritage features of the site. Also support the idea of including art works such as the water feature in the Stable Yard, perhaps with a map of the Regents Canal, which would further help to link the basin with the adjacent canal network. Further idea of temporary art work displays within the site helping to make it an attractive visitor destination, and promoting its cultural and historic elements.

Please see further public and communal amenity access to the Basin, particularly in coordination with the adjacent proposed development of 2-10 Hertford Road. Also, pleased to note the new landing stages for canoeists (including access for the Laburnum Boat Club) and other boats, including potential provision for the floating classroom, which is all in accordance with London Plan Blue Ribbon Network Policies.

Support the proposed commercial uses around the waterside to help add interest and vitality to the Basin and capitalise on the water as an asset in accordance with the BRN policies. New accesses allow increased permeability and help to integrate development with the water space, thus adding interest and vitality to the basin and its surroundings. Accept that a level of security is required for the new occupants of the development, keen that the development is not cut off from the towpath and the Regent's Canal.

Consider that the development should contribute towards local canal side environmental improvements such as upgrading the towpath (i.e. widening, resurfacing and in appropriate locations, verge planting) and graffiti removal in the local area. This would increase the capacity and attractiveness of the towpath as a practical link between destinations and a beautiful leisure resource, thereby helping to reduce local traffic movements and to encourage walking and better health and well-being.

Pleased revised scheme respects amenities of the existing boaters within the Basin, and includes provisions for various amenity improvements such as formal mooring pontoons, services points and pump out facilities.

Support ecological and landscaping enhancements proposed for the basin, allowing it to be brought back into use as a functional waterside while mitigating the impact of development, and enhancing the existing habitats.

In interest of sustainable development and to satisfy a BRN principle, BW would like to see the development utilise its canal side location for waterborne transport. The construction cycle could potentially be serviced from the canal. Construction waste can be removed by water and building material and plant can be deliver by water. BW request that a feasibility study, and implementation of its findings, be carried out in connection with the potential use of the site for waterborne transport.

4.6.2 East London Line

No representation received.

4.6.3 English Heritage

This application should be determined in accordance with national and local policy guidance and on the basis of your specialist conservation advice.

Archaeology:

Recommendation for Condition to secure Building Recording and Analysis and a Condition to secure programme of archaeological work.

4.6.4 Environment Agency

No objection in principle to the proposed development subject to conditions (as listed within Recommendation A, 8.1.14-21).

4.6.5 Georgian Group

No representation received.

4.6.6 Greater London Authority

The GLAs Stage I response was received on the 1st April 2009. This found that on balance the application did not comply with the London Plan but set out a number of changes that could remedy the application to become compliant. Following submission of further information, an update to the GLAs stage I received on 28th May 2009 states that:

Now provided up to date responses on the issues raised in the Stage I report, with the following issues partially outstanding:

- Resolving the requirement to provide PV as part of the renewable energy component;
- Securing a condition to move demolition fill by canal (agreed wording with the Council);
- Securing a condition for noise mitigation (agreed wording with the Council);
- Securing conditions to ensure the inclusion of the proposed Green Roofs and SUDS;
- Securing conditions or S106 requirements for a Travel Plan, Servicing Plan and Construction Plan;
- Securing a financial contribution for off site play facilities or open space improvements;
- Securing a condition for the energy efficiency modelling;
- Securing a condition for the delivery of the energy strategy (CHP and renewable component)

4.6.7 Invest In Hackney

Believe that the proposal is well placed to bring the site back to optimal use. Investment by L&Q will ensure the creation of a highly desirable working and living environment, resulting on a significantly improved public realm. This investment, together with others planned for the adjacent properties, has the potential to create a landmark scheme for Hackney, ensuring quality open space for residents, businesses and visitors, transforming a collection of unattractive buildings and contributing to the wider regeneration of the

Kingsland Road and Kingsland Basin areas.

Proposals not only to maintain but increase employment floor space, together with GLE an experienced workspace management company, developers propose to create high quality office and studio space suitable for SMEs and aimed particularly at the artistic and creative industries, a targeted growth industry. Proposed commercial floor space includes B2 light industrial space in the form of small production units, which is welcomed by liH. Incorporating these units successfully into this development will be important in showing that they can work in close proximity to residential units in future development.

4.6.8 London Fire and Civil Defence Authority
No representation received.

4.6.9 Police
No representation received.

4.6.10 Primary Care Trust
New health centre, designed to latest NHS standards, will replace an existing practice at Englefield Road that, whilst one of City and Hackneys best performing practices currently has inadequate space and facilities to meet new standards and expand its services to the local community, including extended hours. The PCT fully supports the application.

4.6.11 Thames Water Utilities
No representation received.

4.6.12 The Learning Trust
No representation received.

4.6.13 Transport for London
Comments included within GLAs Stage one response:

The applicant has not provided sufficiently detailed travel plan, has not carried out a survey of local bus stops within 400 metres of the site, has not provided sufficient modelling work, and has not committed to the provision of a delivery and servicing plan.

4.7 Local Groups

4.7.1 Kingsland Conservation Area Advisory Committee
The Committee is pleased to see that L&Q, after submitting several applications and working closely with Hackney Council, have arrived at a design for Kingsland Basin that will deliver a very attractive scheme.

Glad that the development now contains more open spaces and views from Hertford Road to the basin and that there will now be access to Regents Canal from Hertford Road. The retention and refurbishment of a number of historic buildings is also very welcome. The managed access to the scheme will be of great benefit to the local community.

The Landscape design is essential to the success of this project and it should be a condition of this application that the external works, as described in the application, are carried out in full prior to occupation of the buildings.

The Committee has some concern about the seven and eight storey buildings on the site but appreciate that these are mitigated by the courtyards and the pathway along the edge of the Basin.

- 4.7.2 The Hackney Society
No representation received.

4.8 Council Departments

- 4.8.1 Arboriculture/Landscape and Tree Officer:
Proposals acceptable, conditions recommended.

- 4.8.2 Building Control
No representation received.

- 4.8.3 Community and Leisure Services
No representation received.

- 4.8.4 Conservation and Design:
Kingsland Basin is one of the largest Canal Basins in London. Since its completion in 1827 the Basin has been associated with timber, building trade and furniture trade and manufacturing.

The Majority of wharves on the east bank of the Basin including Baltic Wharf, Benyon Wharf, Kings Wharf and Quebec Wharf have been redeveloped into residential-led mixed use schemes ranging between 4-9 storeys. The head of the Basin (11-23 Downham Road) is under construction (up to 8 storeys) and Reliance Wharf (2-10 Hertford Road) on the west bank of the basin (resolution to grant) is for up to 6-storeys, mixed use development including a publicly accessible courtyard. Several other Canal side sites in the vicinity of Kingsland Basin along De Beauvoir Crescent and Orsman Road are in various stages of planning and construction. The cumulative impact of developments in and around Kingsland Basin is transforming the nature, function, character and perception of this area.

New developments have largely followed a courtyard pattern with the Basins edge interrupted by gaps and wide-openings and continuous frontage along the surrounding streets. However, they are mostly private and inaccessible to the public. In response to this the Council approved the Kingsland Basin Urban Design Framework for public consultation in 2007. The Framework sought to establish a number of urban design principles that should influence the design of future development around the Basin. These included:

- Public Realm - a sequence of publicly accessible routes and spaces along the west side of the Basin;
- Historic fabric – retention of the best of the historic wharf buildings (including

- unlisted buildings) within any new development;
- Encouragement of mixed use development;
- Acceptable buildings heights, scale and massing.

The height and massing strategy and the overall layout of the proposal is based on an understanding and appreciation of its context. It maintains the established historic scale and height along Hertford Road, it creates generous open spaces and sense of openness around the listed Stable Block (16A Hertford Road), and it creates an effective variation in building lines, heights and setbacks along the Basin's edge framing interesting views and balancing the intensity of development. In its layout it makes appropriate references to the grain and historic morphology of wharves which forms part of the character and special interest of the Basin.

The proposal provides a good size, mix and range of public open spaces, including a busy and vibrant Norway Wharf, a quiet and tranquil Stable Yard, experiential water-side boardwalk and a jetty at the head of the Basin offering expansive views of the Basin and Canal. The proposal capitalizes the site's major asset – the water, by providing access and opportunities for a range of water based activities. The proposed pedestrian routes link into the existing network of routes i.e. the Canal towpath and Hertford Road, significantly enhancing local permeability. The proposed open space adequately responds to and forms the setting of the Listed Buildings on site but also frames and creates a series of interesting views in and out from the proposed development. Of the provision of private open space, the proposal provides an adequate level and range of amenity space including opportunities for play for toddlers and young children for its residents.

The three main elevation treatments adopt a disciplined and contemporary approach based on the architectural character defined by the surviving examples of nineteenth Century and early twentieth Century Industrial buildings. It effectively introduces new elements such as balconies to accommodate residential use. The palette of material is controlled and subtle variations are introduced by using a variety of colours. Stock brick is the principle material used and is a direct response to the stock brick used in Victorian buildings. The elevation treatment and the palette of material preserve the appearance of the Conservation area and the setting of the listed buildings.

The application site forms a substantial part of Kingsland Basin which lies within the Regents Canal Conservation Area (also adjacent to the Kingsland Conservation Area), the special character of which is derived from its canal-side industrial past and characterised by surviving examples of 19th and early 20th century wharf buildings. The proposal includes substantial redevelopment of the western bank of Kingsland Basin and will have a profound impact on the character of the basin and the canal.

Improved accessibility and provision of public open space: The proposal's new pedestrian routes links into the existing network of routes i.e the canal tow path and Hertford Road, which significantly enhances local permeability. It provides a good size, mix and range of public open spaces, including a busy and vibrant

Norway wharf, a quiet and tranquil Stable Yard, experiential water-side boardwalk and a jetty at the head of the basin offering expansive views of the basin and the canal. The open spaces adequately respond to and form the setting of the listed buildings on site but also frame and create a series of interesting views in and out from the proposed development. The proposal capitalises the site's major asset – the water, by providing access and opportunities for a range of water based activities. The proposal also provides an adequate level and range of amenity space including opportunities for play for toddlers and young children, for its residents.

Retention of the historic fabric of the site: Majority of buildings associated with the historic character and appearance of Kingsland Basin have been retained, this includes the listed stable block 16-16a Hertford Road, 18-20 Hertford Road and 32 -32a Hertford Road. The historic buildings which are proposed for demolition are either, not of particular relevance to the special interest of the conservation area or are not of sufficient architectural quality and interest to merit retention.

Appropriate height and architectural character: The height and massing strategy and the overall layout of the proposal is based on an understanding and appreciation of its context. It maintains the established historic scale and height along Hertford Road, it creates generous open spaces and sense of openness around the listed Stable block (16a Hertford Road), and it creates an effective variation in building lines, heights and setbacks along the basin's edge framing interesting views and balancing the intensity of development. In its layout it makes appropriate references to the grain and historic morphology of wharves which forms part of the character and special interest of the basin. The three main elevation treatments adopts a disciplined and contemporary approach based on the architectural character defined by the surviving examples of 19th century and early 20th century industrial buildings. It effectively introduces new elements such as balconies etc. to accommodate residential use. The palette of material is controlled and subtle variations are introduced by using a variety of colours. Stock brick is the principle material proposed and is a direct response to the stock brick used in the Victorian buildings.

The application scheme has been arrived at following extensive pre-application discussions that also included the involvement of English Heritage and presentations to the Hackney Design Review Panel. The layout and design of the scheme meets the principles set out in the Kingsland Basin Framework and the historic character of the area, including the principal buildings of interest, are to be retained. The application scheme is therefore acceptable subject to the approval of further details including materials. Suitable conditions should be attached to any consent to ensure that it is delivered to the high standard of design and materials specified in the application documents and drawings.

4.8.5 Highways:

Following visit to the site works to highway required at estimate cost of £103,760.98. The proposals include the following:-

Take up and dispose of wearing course on footway (Bit mac paving)

Take up existing footway base course and dispose (Concrete)
Take up and dispose of existing granite kerbs
Provide and lay new granite straight kerbs and transition kerbs
Provide and lay new base course on footway
Provide and lay new fibre - reinforced paving in accordance with the Public Realm Design Guide
Reconstruct / Renew 2 No. vehicular crossovers in accordance with the Public Realm Design Guide and as directed by the engineer on site.
Removal of a number of crossovers, as directed.
Renew/install line carriageway

The above works are to Hertford Road and Downham Road only all work to Kingsland road must be agreed with TfL

The estimate includes for traffic management in accordance with Chapter 8 however the estimate does not include any statutory apparatus adjustments that may be required as a part of the construction of the crossover. A minimum of 450 - 500mm cover from the top of services is required for residential/ light use crossovers however, 600mm cover is required for heavy duty crossovers. This is a task required to be carried out and paid for by the developer and should be carried out in advance of LB Hackney carrying out any highway works.

4.8.6 Housing:

Proposals acceptable.

4.8.7 Policy

It is good.

4.8.8 Pollution

Recommend number conditions (see Recommendation A , 8.1.38).

4.8.9 Transport:

The site is located within a controlled parking zone and has a public transport accessibility rating of 2/3. The PTAL level of the site is expected to increase to level 3/4 with the construction of the new Haggerston Station on the East London Line Extension, expected to be completed in 2010. The site is therefore considered to have good accessibility. Kingsland Road is part of the A10 Transport for London Road Network and therefore under the management of TFL.

Approval of the access arrangements in Kingsland Road to be sought from TfL. The vehicular access in Hertford Road is considered satisfactory. The details of this access will need to be provided prior to development for approval and construction by LBH highways.

The layout of the car park is satisfactory. The minimum dimensions for standard car parking places, disabled parking spaces and width of access are satisfied. The width of the proposed vehicular ramp is generous and allows for two-way traffic. The minimum visibility requirements appear to be met.

The total car parking provision is acceptable and takes account of the future increase in accessibility to public transport. A total of 23 disabled parking spaces are provided across the two sites – 15 at the basement of Hertford Road and 8 at ground level in Kingsland Road.

There is an existing car club bay located within five minutes of the development in De Beauvoir Square. Whilst conveniently located for this development, provision of a bay within the basement car parking for use by occupants of the site and possibly the wider community is recommended by way of Section 106.

The servicing and delivery arrangements are considered satisfactory. Whilst there is no objection to the installation of a second loading bay on Hertford Road, approval from the Councils Parking Services department must be sought.

The transport assessment included a trip rate assessment that demonstrates the proposal will generate slightly less vehicular trips than the existing use. The Council therefore agrees that the trip rate of the proposed development will have a minimal impact on the existing traffic situation and no serious impact on the adjoining junction capacities.

The Cycle parking provision for the various uses is in line with TfL standards and therefore considered to be satisfactory. The layout and location of the proposed cycle parking places are accepted.

The Transport assessment included a Travel Plan Framework (TPF), which states the measures to be included in the Travel Plan (TP). The TP for the site will include two components: A workplace and Residential TP. Part of the TPF states that a car club will be investigated as a TP measure. However, this will be secured as a separate obligation in the section 106 agreement and a Travel Plan is recommended as an obligation also.

No objection subject to standard conditions.

4.8.10 Waste management:

Application has been discussed in depth with waste strategy and waste operations and the developers to come to an agreement on their waste strategy.

There are seven collection points for residential/commercial and mixed waste collections, including recycling stations. All collection points have been agreed with operations team for storage, distance, suitability for collection, such as dropped kerbs and weight allowed for vehicles and recycling.

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995)

- EQ1 - Development Requirements
- EQ12 - Protection of Conservation Areas
- EQ13 - Demolition in Conservation Areas

EQ14	-	Alterations and Extensions of buildings in Conservation Areas
EQ16	-	Protection of Listed Buildings
EQ17	-	Alterations to Listed Buildings
EQ18	-	Setting of Listed Buildings
EQ19	-	Changes of use of Listed Buildings
EQ28	-	London Squares
EQ29	-	Archaeological heritage
EQ30	-	Areas of Special Landscape Character
EQ31	-	Trees
EQ32	-	Shop Front and Shop signs
EQ41	-	Development close to existing sources of noise
EQ42	-	Air pollution
EQ43	-	Development of contaminated land
EQ44	-	Water Pollution
EQ46	-	Recycling facilities
EQ48	-	Designing out Crime
H03	-	Other sites for housing
H06	-	Residential use of upper floors above shop units
H07	-	Redevelopment of housing
E12	-	Office Development
E18	-	Planning Standards
TR19	-	Parking standards
R4	-	Local Shops
R10	-	Cafes, Restaurants, Wine Bars and 'Take-away' Hot Food Shops
OS6	-	Green Chains and Links
OS9	-	Recreational Footpaths, Towing Paths, Cycle ways and Bridleways
OS10	-	Children's Play areas
OS12	-	Protection of Open Water Areas
OS13	-	Access and Use of Water Areas
OS14	-	Areas of Nature Conservation Importance
OS16	-	Development and Areas of Nature Conservation Importance
OS17	-	Wildlife Habitats
CS2	-	Provision of Community Facilities as part of Development Schemes
CS3	-	Retention and provision of Community Facilities
CS4	-	Provision of healthcare facilities

5.2 Supplementary Planning Guidance (SPG)

SPG1	-	New Residential Development
SPG9	-	Regents Canal
SPG10	-	Restaurants, Public Houses, Hot Food Take-away
SPG11	-	Access For People With Disabilities
SPG13	-	Listed Buildings

5.3 London Plan 2008 Consolidated with Alterations since 2004

- 2A.1 - Sustainability Criteria
- 2A.2 - The spatial strategy for development
- 2A.7 - Areas for Regeneration
- 3A.1 - Increasing London's supply of housing
- 3A.2 - Borough Housing Targets
- 3A.3 - Maximising the potential of sites
- 3A.5 - Housing Choice
- 3A.6 - Quality of new housing provision
- 3A.7 - Large Residential developments
- 3A.8 - Definition of affordable housing
- 3A.9 - Affordable Housing Targets
- 3A.10 - Negotiating affordable housing in individual private residential and mixed use schemes
- 3A.11 - Affordable Housing Thresholds
- 3A.20 - Health Objectives
- 3A.21 - Locations for Health Care
- 3A.27 - Meeting floor targets
- 3B.1 - Developing London's economy
- 3B.2 - Office demand and supply
- 3B.3 - Mixed use development
- 3B.8 - Creative industries
- 3B.11 - Improving employment opportunities for Londoners
- 3C.1 - Integrating transport and development
- 3C.2 - Matching development to transport capacity
- 3C.3 - Sustainable Transport in London
- 3C.19 - Local transport and public realm enhancements
- 3C.21 - Improving conditions for walking
- 3C.22 - Improving conditions for Cycling
- 3C.23 - Parking strategy
- 3D.3 - Maintaining and improving retail facilities
- 3D.4 - Development and promotion of arts and culture
- 3D.8 - Realising the value of open space and green infrastructure
- 3D.13 - Children and young people's play and information recreation strategies
- 3D.14 - Biodiversity and nature conservation
- 4A.1 - Tackling climate change
- 4A.2 - Mitigating climate change
- 4A.3 - Sustainable design and construction
- 4A.4 - Energy assessment
- 4A.5 - Provision of heating and cooling networks
- 4A.6 - Decentralised Energy: Heating, Cooling and Power
- 4A.7 - Renewable Energy
- 4A.10 - Overheating
- 4A.11 - Living Roofs and Walls
- 4A.12 - Flooding
- 4A.13 - Flood Risk Management
- 4A.14 - Sustainable drainage

- 4A.15 - Rising groundwater
- 4A.16 - Water supplies and resources
- 4A.17 - Water quality
- 4A.18 - Water and sewerage infrastructure
- 4A.19 - Improving air quality
- 4A.20 - Reducing noise and enhancing soundscapes
- 4A.21 - Waste strategic policy and targets
- 4B.1 - Design principles for a compact city
- 4B.2 - Promoting world-class architecture and design
- 4B.3 - Enhancing the quality of the public realm
- 4B.4 - London's buildings: retrofitting
- 4B.5 - Creating an inclusive environment
- 4B.6 - Safety, security and fire prevention and protection
- 4B.8 - Respect local context and communities
- 4B.10 - Large scale buildings – design and impact
- 4B.11 - London's built heritage
- 4B.12 - Heritage Conservation
- 4B.13 - Historic conservation-led regeneration
- 4B.15 - Archaeology
- 4C.1 - The strategic importance of the Blue Ribbon Network
- 4C.2 - Context for sustainable growth
- 4C.3 - The natural value of the Blue Ribbon Network
- 4C.6 - Sustainable growth priorities for the Blue Ribbon Network
- 4C.10 - Increasing sport and leisure use on the Blue Ribbon Network
- 4C.11 - Increasing access alongside and to the Blue Ribbon Network
- 4C.12 - Support facilities and activities in the Blue Ribbon Network
- 4C.14 - Structures over and into the Blue Ribbon Network
- 4C.15 - Safety on and near to the Blue Ribbon Network
- 4C.20 - Development adjacent to canals

5.4 National Planning Policies

- PPS1 - Delivering Sustainable Development
- PPS3 - Housing
- PPS9 - Biodiversity and Geological Conservation
- PPG13 - Transport
- PPS22 - Renewable energy
- PPS23 - Planning and Pollution Control
- PPG24 - Planning and Noise
- PPS25 - Development and Flood Risk

6. COMMENT

Planning permission is sought for the redevelopment of six sites, including both new build and the refurbishment and change of use to conservation and listed buildings. The Application site, as previously introduced, is more easily presented by discussion

of the proposals six built elements:

Firstly, at 27-31 Downham Road, a part four, part five storey block would provide 336 sqm of B2 floor space for a proposed motorbike repair shop at ground floor level with further commercial floor space provided at upper floor levels. These would be subdivided into 33 SME style units, varied in scale from seventeen to 42sqm. At fourth floor level a four metre set back along the western building line would accommodate roof level access to the block. Easy access to the motorbike shop for customers and their bikes will be complemented by the use of a cantilevered shop front. Internally, both refuse and cycle storage is provided to the commercial units coming off the separate access way to the upper level commercial units.

Secondary access to the rear of Downham Road will lead to Downham Wharf: access to cycle storage for the Wharf would be provided against the rear of the Downham Road block. Currently referred to as Union Wharf (as well as incorporating 32A Hertford Road and the Old Ivy Public House) a part two, part three, part four, part five and part six and part seven storey development of blocks around an internal courtyard would be erected here. Facing Hertford Road, the existing façades of 32-32a Hertford Road shall be retained, with new build at 22-24 Hertford Road up to seven storeys with sixth floor set back Basin side. Part of this new build element would also be the north elevation framing a public courtyard to Norway Wharf.

The internal courtyard to Downham Wharf is framed by the rear building line to the Downham Road Block, the rear building line to the properties fronting Hertford Road, at two to three storeys, and a winged element of the new build at Hertford Road running through to the western edge of the Basin. This wing shall accommodate part of the accommodation to a Health Centre; the main access to the health centre will be off Hertford Road through an entrance punctuated in the retained frontage at Norway Wharf. An internal corridor shall manipulate the manner in which the health centre is laid out, as to ensure multiple windows through both a north and south façade, taking advantage of its location with proposed courtyards flanking its sides. Treatment and therapy rooms shall be so located as to have the northerly aspect overlooking the Courtyard at Downham Wharf that shall be accessible to staff of the health centre also.

Downham Wharf shall also accommodate commercial floor space to those units at 32 and 32a Hertford Road, with access leading to eleven individual units, again ranging in size for SME's. The new build element shall be set back from Hertford Road at third floor level by two metres increasing at the fourth floor level by ten metres from the front building line.

Facing the Basin, the block would rise to seven storeys with a two metre set back at the sixth floor. At ground level, a single storey under croft to afford both views and private access to the Basin would be accommodated.

Norway Wharf leads off from Hertford Road through a 3.6 metre high under croft to a public courtyard with views toward the Basin and Quebec Wharf, on the east side of the Basin. The west and north edges to the Courtyard are flanked by the medical centre. A café with full height glazing to the basin will be at the northeast corner junction of the courtyard to this Wharf.

Through retaining the existing façade, twelve SME commercial units would be provided at first floor level, taking internal division cues from existing opening patternation.

The southern side of the courtyard shall be framed by the Listed Building at 16A Hertford Road, with openings at ground level that shall provide access to commercial units falling within Hertford Wharf. With the retention of the listed buildings of 16 and 16a Hertford Road, except for the demolition of a single storey rear addition to 16A Hertford Road, the L-shaped form of the block will be entirely commercial, again providing varied accommodation for SME units. In so being, a further courtyard shall be accommodated, with new buildings to the south and part of the eastern edge of the yard, with an opening leading towards the Basin leaving the Listed Building free standing and set back from the Basins edge following demolition to its existing single storey rear extension. The block to the east would align with the end wall of the Listed Building, similarly set back from the Basin edge.

Across from the pedestrian entrance to the stable yard at the end of 16 Hertford Road, a new build block rising to eight storeys (set back from the Basin at the sixth floor) would be provided. Following the demolition of the existing two storey brick built structure, it would be predominately brick clad with some timber and metal cladding also. De Beauvoir Wharf, proposed at five storeys on Hertford Road, would accommodate at basement level the majority of the proposals car parking. With ramped access off Hertford Road, the parking would be ventilated through a double skin to the front elevation. A wall would be brought in front of the main façade, with half podium level of the car parking opening behind the wall, with planting built in between the façade and the wall. A similar arrangement is proposed at the Basin side for cross ventilation. The effect of the wall accommodates the bringing forward of Balconies that are set within the forward building line to upper levels along the Hertford Road elevation.

De Beauvoir Wharf would provide the only sole residential block, with the provision of a private courtyard provided, with a narrow, private access only, opening towards the Basin, set back from the water, aligned with the Basin facing block at Downham Wharf. The courtyard would be accommodated with child play space.

Across the Basin, at Commercial Wharf, the site would be cleared to accommodate the erection of two blocks to provide part six, part seven and part eight storeys, between Kings Wharf to the south and 305A Kingsland Road (Travis Perkins site) to the north. The building would be a mix of brick with metal cladding to the roof level. The west (basin) elevation would be provided with balconies. Along Kingsland road, a commercial/retail unit would be provided, with residential to the rest of the block. Access to a central courtyard would be off Kingsland Road, with a main access joint for pedestrians and vehicles. Views toward the Basin would be provided through a double height undercroft at the southern end of the site, as the west block would abut Kings Wharf.

Considerations

The main considerations relevant to this application are:

6.1 The principle of the use

- 6.2 Design and appearance of the proposed development
- 6.3 Potential impact on the amenity of prospective and adjacent residents
- 6.4 Traffic and transport considerations
- 6.5 Response to objectors
- 6.6 Response to Greater London Authority
- 6.7 Planning Contributions

Each of these considerations is discussed in turn below.

6.1 The principle of the use

- 6.1.1 The existing site is occupied by a range of employment generating uses, within a range of building types and occupations, from a scaffolding yard to office space. Additionally, parts of the application site are occupied by artist studios, and businesses otherwise connected to the Creative Industry sector.
- 6.1.2 The site falls within a Defined Employment Area, one that is recommended to come forward as a Priority Employment Area by Atkins within their Employment Growth Options Study published in 2006. The Inspector to the appeal scheme, as mentioned at paragraph 3.3 above, recognised that the application site was not marginal in terms of its employment potential, and met a number of criteria that also reflected those recommended for inclusion by the Mayors Industrial Capacity SPG:
 - capable of meeting a short term demand for industrial development;
 - an area designated for industrial protection and could support local clusters of industrial activity;
 - offers potential for in-situ expansion of existing business;
 - well located to take advantage of proposed infrastructure, notably a new tube station;
 - offers potential for the provision of small industrial units serving the local area;
 - contributes to local employment objectives and local economic diversity;
 - well located with respect to the highway network and public transport, and offers potential for transport by water;
 - provides lower cost industrial accommodation suitable for small start—up or lower-value industrial uses; and
 - provides sufficient space for parking and turning for goods vehicles.
- 6.1.3 The Inspector determined that the appeal scheme was contrary to policy, at the time, which sought to safeguard employment generating floor space within this DEA. Whilst the local planning policies were not saved by the Secretary of State direction under paragraph 1(3) of Schedule 8 to the Planning and Compulsory Purchase Act 2004, given the proposed designation in the Core

Strategy Proposals Map as a Priority Employment Area the presumption to retain employment floor space at the site is still relevant. This application would provide 5103sqm of B1 floor space. This seeks to address the quantum of floor space the Council considers as existing (6493 sqm of B Class floor space) and exceeds the 3006sqm previously proposed.

- 6.1.4 Whilst policy seeks to safeguard employment floor space, there is also a need to provide essential infrastructure and the Council are committed to ensuring an appropriate provision of healthcare services are provided across the Borough. The inclusion of D1 floor space to come forward as a new Doctors Surgery is welcomed, is in line with Council policy, and in this instance is acceptable as contribution to the shortfall of B Class employment floor space with this component taking the total B1/D1 floor space to 6500sqm. Officers have received letters of support from the Primary Care Trust and the Englefield Road Surgery who are anticipating occupying the D1 space. It is understood the current surgery to which they operate from is inadequate in terms of capacity and does not meet current NHS standards. Other uses under D1 classification would not be acceptable as compatible, nor having been afforded appropriate public consultation (such as a public hall). Given the scale of development and nature of Norway Wharf the interface of other D1 uses is considered inappropriate and as such it is recommended a condition to restrict this D1 floor space to health care only is recommended to ensure that the floor space is safeguarded for such purpose.
- 6.1.5 The B1 class floor space is so designed as to accord with the requirements for SME's in being laid out into small units as previously described above. Invest in Hackney have provided their support for these proposals. Whilst it is acknowledged there are a number of units particularly at 12-14 Hertford Road occupied by those in the Creative Industry (artists, sculptors etc), planning authorities are not at liberty to safeguard land use for specific users but by the way such land is sort to be used. The submission is such that a range of occupiers could occupy the B1 floor space, arranged in varied floor plate sizes, and different aspects across the site also that may encourage occupation by artists in certain areas but suit other B1 operators elsewhere.
- 6.1.6 The proposals include the provision of B2 floor space accordingly designed for use by the current motorbike repair shop. Again, this provision is welcomed within the scheme and seeks to provide a truly mixed use development.
- 6.1.7 In addition, some A class uses, along Kingsland Road, and to Norway Wharf facing the Basin, are accommodated within the development to provide retail and café floor space respectively. In accordance with Local, Regional and National planning policy to create sustainable, mixed used developments, this fusion of uses around the Basin are considered complementary to each other and would contribute to igniting the regeneration of the area.
- 6.1.8 Overall, the mix of commercial, retail and health care use here is supported and in accordance with the local, regional and national policy. The level of B1 floor space provision is considered to overcome the previous reason for refusal where in this instance the addition of health care as part of the reprovision is

welcomed.

Residential mix and affordable housing provision

- 6.1.9 It has been established previously, by the Inspector, that a mixed use proposal at the site is acceptable in principle; therefore the introduction of housing on the site is considered acceptable. The proposal brings forward a mix of accommodation. A total of 68 family units, equating to 33% of the residential component, would be accommodated which seeks to accord with the London Plan objective towards housing choice. Just over eleven per cent of the family units would be large (four bed) units. Whilst this falls short of the London Plans expected provision of forty per cent for large family sized units, this policy is for 'overall' London wide housing and on balance given the context of the site with its DEA designation and historic conservation sensitivity is considered adequate. The Councils Housing Needs Survey demonstrates a high demand for family sized units, and whilst not wholly meeting this need, the scheme does seek to make an acceptable contribution in mind of the aforementioned factors. Furthermore, the majority of two bed units are four person units that whilst not considered family sized accommodation, may address a need for young families outside the affordable housing market.
- 6.1.10 All residential units would be built to lifetime home standards, secured by way of a legal agreement. The units seek to comply in the majority with the Councils New Residential Development SPG (1), including layouts and room standards. Furthermore, ten per cent of units would be wheelchair adaptable; a condition is recommended to secure this provision should approval be given for the development. The majority of units are accommodated with some form of private amenity through provision of balconies. The proposed density would equate to 206.6 dwellings per hectare which is compliant with the sites location as a central location (within 800 metres of a Major Town centre (in this instance Dalston) under the London Plans Density matrix that anticipates a density range of up to 240 units per hectare for a site in this location.
- 6.1.11 The application proposes 32% affordable housing by unit; it is represented as 41% by habitable rooms, illustrating the weight towards family housing as part of the affordable housing element. Of the affordable provision, twenty four units would be Intermediate with the remaining 41 units as Social Rented. This equates to a 37:63 tenure split. London Borough of Hackney and London Plan policy presumes a tenure split of 30:70. The surrounding site context, with De Beauvoir Estate to the west, accommodates a higher than average level of social accommodation and therefore to contribute towards balanced and sustainable communities the proposed weighting in favour of intermediate housing is considered acceptable. This is supported by both Council Housing Officers and the GLA.
- 6.1.12 Overall, the residential component of the development is considered to be in accordance with policy and shall make an acceptable contribution towards the need for both affordable and family sized accommodation in the Borough.

6.2 Design and appearance of the proposed development

- 6.2.1 The Regents Canal Conservation Area Appraisal claims “Kingsland Basin is one of the largest canal basins in London”. Further, in respect of the west side of the Basin: *“it is important that any new development takes notice of the qualities of the basin and respects the character of the surviving buildings...there is a much more open feel, with many open yards and the buildings that do exist generally erected beside the roadside, rather than the waterside. This is a unique quality and one that should be preserved”*.
- 6.2.2 Following lengthy discussions between Council Officers and the applicant’s agents as well as early (pre-application stage) presentation to Design Review Panel, the proposed development is considered to address the qualities noted above. The proposal respects the existing building line to Hertford Road, with a series of courtyard areas interspersed behind it. This introduces the first public access to the west side of the Basin since its completion in 1820. The retention of 32, 32a, 18-20 16A and 16 Hertford Road acts to retain elements of the heritage of the Basin, whilst these are enhanced by sensitively designed, brick faced blocks at 12-14 and 22 to 30 Hertford Road. From the south of the Basin, at views from the Bridge over its mouth, the open yard character to be orientated across the site from its existing state shall be visible.
- 6.2.3 In total, along Hertford Road, four wharves shall be established by a combination of existing and new build. These shall be interspersed in turn by four courtyards, each of varying scale to address the scale of development. From two stories along Hertford Road the building height to this side of the Basin shall peak at eight storeys, set back from the Basin, at De Beauvoir Wharf. With 16a Hertford Road set back from the basement following the demolition of its single storey extension, the opportunity to create a continuous footpath along the Basin is accommodated. Furthermore, to the north and south of the 16a Hertford Road, the provision of courtyards provides both real and visual ‘space’ to frame the listed building appropriately.
- 6.2.4 Along Hertford Road, at the southern end of the application site, the new build element shall rise towards the proposals resolved for approval at 2-10 Hertford road, up to eight stories, set back from the Basin edge. This is comparable to the building height of other developments around the Basin, similarly with eight storey set back. With the inclusion of a listed building within the proposal site, the application is different from earlier iterations that sought a greater massing, without the increased setting back and transition of scale.
- 6.2.5 With basement car parking, the design includes a ‘hidden’ approach to natural ventilation of the car parking, through the inclusion of double facades along Hertford Road. It is considered this approach will be visually sensitive, with the allowance for planting, as well as being supplemented with the accommodation of balconies at upper levels. - way works with venting etc
- 6.2.6 On the east side of the Basin, at Commercial Wharf, the new build would have a double height base established on the street side that would continue into the courtyard on the West Elevation. This would be presented with regular bays of large glass and metal panels, with a similar palette proposed for use on the top

floor also. The intermediate floors would be clad in timber and brickwork with a combination of recessed balconies to improve privacy with adjoining Kings Wharf. The Kingsland Road elevation would step down towards the lower scale development towards the north, being one storey higher at the party line, as it steps up to an eight storey to the south, adjacent to Kings Wharf. The façade picks up cues from the developments at both Benyon and Kings Wharf to bring forward a strong vertical rhythm broken into three parts, with a central brick clad verticality with a regularity of openings balanced on either side. The Basin façade also continues to take cues from the afore-mentioned wharfs to the South, with a strong grid of glazing broken up by timber panels. The massing across the site would be broken into two blocks, providing the courtyard space and so aligned as to not be forward of the existing building form at Kings Wharfs east and west blocks.

- 6.2.7 Mindful of the Inspectors comments in relation to the overall scale and massing of the appeal scheme, and the general scale of buildings at all other sites surrounding the Wharf, it is considered that the proposed height at the site is acceptable. It should not be forgotten that the site has come forward since the appeal, with the listing of 16 and 16A Hertford Road, nonetheless, giving the conservation proposals and sensitively set back massing to neighbouring blocks, the overall layout is considered to enhance the character and appearance of the buildings, and the Conservation Area also. The Kingsland Conservation Area Advisory Committee have noted that the proposed design “will deliver a very attractive scheme”.
- 6.2.8 Given the setting of the site particularly, the applicant has been encouraged to illustrate at the planning stage proposed details to address conservation standards. These include loading bay door, stable yard door and Norway Wharf door details. Furthermore, party to the listed building application, typical details of the internal alterations to 16A Hertford Road works have been provided, including new openings in existing filler joist floor for new stairwell and lift shaft for instance. All existing steel windows are proposed to be repaired or replaced with traditional pattern steel windows to match the existing. All such matters would be controlled under the Listed Building consent sort for approval subject to this application.
- 6.2.9 Overall, the proposed internal works and proposed refurbishment to the buildings proposed for retention are considered to be appropriate and by condition will be sensitivity addressed, mindful of conservation practise. In conjunction with the proposed new build and general proposals for the site, the Conservation Area Consent and Listed Building consents are acceptable.
- 6.2.10 It is considered appropriate that should the opportunity arise for the inclusion of street lighting along Kingsland Road be timely with the construction of the development that this be secured by condition. However, given the sensitivity of the street scene along Hertford Road, it would be inappropriate to require this here. Indeed, given the predominance of retained building frontage, there would be an unacceptable amount of cabling to the front of these facades to accommodate this, which would be considered to detract from the character and appearance of the Conservation Area. Particularly for the listed building,

this would require separate Listed Building Consent and would detract from the buildings heritage in line with the comments made above.

- 6.2.11 Overall, the proposed development is considered to be of an appropriate scale in relation to its position and area coverage. The proposals have been brought forward positively following the appeal, previous iterations and the listing of 16 and 16A Hertford Road. The approach by the applicant has appropriately taken advantage of the sites waterside location whilst mindful of its position within a Conservation Area, the surrounding built context and particularly the Listed Buildings within the site and adjacent at Quebec Wharf. With the imposition of conditions to capture the detail of the proposals, securing the desired high design quality for the development, it is considered that the application is acceptable and in accordance with pertinent local, regional and national policies.

Sustainability and Renewable Energy Provision

- 6.2.12 The proposals see development on existing Brownfield land and reuse of some existing building stock that addresses sustainable methods of development as sort by London Plan policy 4A.3. In a similar vein, all residential units are proposed to accord with Lifetime Home standards to have flexible use throughout their lifetime.
- 6.2.13 The residential element of the proposed development seeks to rate a Code for Sustainable Homes Level 4.
- 6.2.14 The London Plan seeks a reduction in carbon emissions generated from proposed developments by twenty per cent through the provision of lean (minimising demand for energy), clean (energy efficiency) and green (energy from zero-carbon sources) means. Firstly passive methods to reduce energy demands, followed by the provision of energy through clean methods that do not have an adverse impact on the environment. Lastly, some provision of energy through renewable energy measures is expected. The proposal seeks to address this policy presumption, with the predicted reduction in carbon emissions from these measures (starting from the base level (Building Regulations Part L) where no interventions would have taken place) equating to 19.7 per cent. A CHP plant is proposed to be housed in the basement under De Beauvoir Wharf. Biomass technology is to be incorporated to provide reductions in carbon emissions as part of the schemes 'green' provision. Overall, carbon reductions are predicted to be 29.6%, in excess of the GLA's current targets, but seeking to peak towards those set out in National Planning Policy Statement one. In order to complement these intentions it is recommended that details of the source of Biomass be secured. The GLA seek a condition that requires further details of the modelling, particularly to ensure that all components of the scheme have been appropriately tested in accordance with baseline understandings; this request is supported by Council officers.
- 6.2.15 The GLA are unconvinced by the applicants argument that Photovoltaic cells can not be provided at roof level given competition for green roofs etc. Council

officers are in agreement, and similarly understand the conflict with the status of the listed building not meriting inclusion at that block, but further consideration needs to be taken, notwithstanding the financial attribution. The GLA rightly contends that, similar to all policy presumptions, the London Plans policies in this regard should have been given due attention at the outset of the schemes development.

- 6.2.16 Whilst statements have been provided within the application to the provision of water collection across the scheme, it is considered that insufficient detail has been provided and the imposition of conditions to secure this within the proposal should be applied where members are minded to support the proposal.

Refuse provision

- 6.2.17 Refuse, including recycling provision, is distributed across the development in accordance with both commercial and residential requirements, following discussions with the Councils Waste department. Recycling provision has been reviewed to be in compliance with the Councils co-mingled bin policy.
- 6.2.18 Overall seven collection points are to be provided across the scheme, including the recycling provision. Commercial refuse provision to the Downham Road is provided. A larger combined residential and commercial refuse and collection centre is proposed at Norway Wharf with further smaller refuse points at Hertford and De Beauvoir Wharf. Similarly at 305 Kingsland Road both bulk refuse storage and ordinary refuse points would be accommodated.
- 6.2.19 All collection points have been agreed with Wastes operation team for storage, distance, suitability for collection such as dropped kerbs and weight allowed for vehicles and recycling.

6.3 Potential impact on the amenity of prospective and adjacent residents

- 6.3.1 Under the appeal scheme, the Inspector concluded that *“the proposed development on the living conditions of occupiers of dwellings adjacent to the Basin, including the residential moorings, would be acceptable”*.

Daylight, Sunlight and Overshadowing

- 6.3.2 The application has been accompanied by a Daylight and Sunlight study the scope of which has considered the potential impact upon adjacent buildings at Belvedere Court, Fermain Court East, St Martins Court, 11-23 Downham Road, 319, 321 and 323 Kingsland Road, Quebec Wharf, 266 to 268 Kingsland Road, Kings Wharf, Benyon Wharf and Reliance Wharf (as resolved under planning application reference 2008/0199). This scope is considered appropriate with respect to the orientation of the site. Whilst properties to the north of Downham Road, at 4-19 Downham Road, have not been considered, they are approximately 25 metres away from the application site. Along Downham Road, the height of the building is increasing by one metre which whilst reducing the availability of natural light to these properties, the applicant advises there will be

no breach of British Research Establishment (BRE) standards and given their position this is considered adequate.

- 6.3.3 The British Research Establishment has produced guidance notes on site layout planning for daylight and sunlight that provides tests and recommendations against which to consider the acceptability of a proposal on current environmental conditions. These tests and recommendations are widely recognised and accepted as a point of reference for planning in this regard.
- 6.3.4 One test, the 'Vertical Sky Component' (VSC) is a measure of the amount of sunlight available at the centre point to the external pane of a window. The target value is equal to 27% and should be no less than 0.8 times its former value. However, it is recognised that within urban areas, this level may not be reached. Indeed the daylight and sunlight report submitted demonstrates that a large number of windows to the surveyed properties fall below 27% under existing conditions, representative of the urban context of the site.
- 6.3.5 With the exception of Kings Wharf, to be discussed below at paragraph 6.3.5, only fourteen windows out of 86 windows surveyed of surrounding properties failed the VSC test under proposed conditions, with all but one not meeting BRE under existing conditions. Where the VSC test fails, it is considered more appropriate to consider the quality and distribution of light using 'Average Daylight Factor' (ADF). Taking into consideration the type of use a room has, the ADF target values are varied for bedrooms, living rooms and kitchens at 1%, 1.5% and 2% respectively. Of the fourteen windows that have failed the BRE guidelines, all passed the ADF test, demonstrating that the overall impact on neighbouring properties is negligible.
- 6.3.6 The tests carried out for Kings Wharf covered its west and north elevations. The VSC test shows that though a number of units do not meet BRE standards currently (27% VSC) , the change in level is such that they do not meet the standards under proposed conditions. However, when looking at the ADF levels, it is found that the proposal would not result in a failure of the BRE standards.
- 6.3.7 The BRE also provide a guide to the Annual Probably Sunlight Hours to windows, this considers the main windows of rooms which face within 90 degrees of due south. Neighbouring properties that fit this condition are Belvedere Court, Fermain Court East, St Martins Court and 11-23 Downham Road. Out of twenty four windows surveyed at these properties, only two, at Belvedere Court were found to be effected by the proposed development. This impact will be for living/dining rooms to this development for units at ground level.
- 6.3.8 Shadowing guidelines are provided by the BRE as well. It is recommended that for gardens and open space to be adequately sunlit, no more than forty per cent of such spaces should be prevented from receiving sun at all on 21st March, Spring Equinox, though preferably no more than 25%. As an amenity space, the Basin has been reviewed, and the study finds that there will be no permanent shadow cast on the Basin throughout the day. All the new courtyard areas have

been surveyed also. This shows that there be no breach of the BRE guideline targets.

- 6.3.9 Overall, with the exception of the two rooms at Belvedere Court, it is considered following the study submitted with the application that the overall impact to neighbouring properties will be marginal.

Privacy/overlooking and sense of enclosure

- 6.3.10 Of the proposed residential component within the scheme, the distance between the west and east side of the Basin of more than twenty one metres wide is such that no detriment is envisaged, and compliant with SPG1 standards.

- 6.3.11 At commercial Wharf, the orientation of blocks to the north elevation with Kings Wharf is so positioned as not to have an adverse impact, with no direct overlooking to be experienced. Similarly, at 11-23 Downham Road the development shall be at such an orientation with the residential components at the head of the Basement as to result in no direct overlooking. Similarly, development to the west of the site, along Hertford Road is considered to be at a sufficient distance from the application site as not to raise any privacy concerns. The adjoining proposed development to the south (Reliance Wharf) is designed without prejudice to the development capacity of the application site

Open space and amenity

- 6.3.12 Both London Plan policy and the London Borough of Hackney Unitary Development Plan seek improved access to the 'Blue Ribbon Network' that are the '*waterways and water spaces and land alongside them*'. Particularly, it is anticipated that opportunities for the creation and enhancement of open spaces alongside waterways will be capitalised and complemented by appropriate signage etc

- 6.3.13 The proposals see a continual link through the site from the Regents Canal towpath, in anticipation of development at 2-10 Hertford Road. A walkway 450mm above the water would run along the length of the west side of the Basin. This would lead towards an 'ecological zone' to the north of the Basin, in view of the bridge at its mouth.

- 6.3.14 Off the walkway, a series of open spaces each different in character and with varied intentions of their scope of use would be provided. The walkway will provide direct access to the public open spaces at Norway Wharf and the Stable yard as well as 2-10 Hertford Road at a time proposals come forward. Towards the north of the Basin, and demarcating the proposed ecological zone, a new bridge towards a landing stage at the top of the Basin, of which such provision was supported under the application for redevelopment at 11-23 Downham Road, would be connected. This could provide direct access to Downham Road; the 11-23 Downham Road application incorporates an obligation upon the owner of the site when upon implementation of the proposal a package of measures to be adopted by the Owner in relation to providing public access

through the site to the Basin through the site would be required. Additionally, linkage through to Union Wharf may be available were any proposals to come forward at the site. Overall, this seeks to increase permeability around the site and is mindful of the forthcoming station at Haggerston within five minutes walk of the site.

- 6.3.15 Paralleled to the walkway, and where the buildings are set back from the Basin, a wider walkway will be provided, with a marine artefact seating proposed to be located at the foot of 16A Hertford Road. To address slight level changes off from the walkway, steps that will double as seating shall be provided. Along the eastern edge of the Basin Wall some planting would be provided as the water at this point is naturally too deep for these plants to grow.
- 6.3.16 The ecological zone is proposed to support the Basin's existing ecology and enhance the sites biodiversity. A number of various native trees, shrubs, grass and wildflower species are proposed, all considered for their natural presence close to water.
- 6.3.17 At Downham Wharf a small scale courtyard of a private character is proposed, that would be surrounded by a mix of commercial, residential and health care facilities, with access restricted to the latter two. A mixture of predominately hard surfacing(bonded gravel surface) bound by granite sets with raised timber decking and a selection of soft landscaping into two naturalistic low mounds interspersed with timber seating is proposed. A combination of recessed and low bollard lighting shall be accommodated within the space. The courtyard will lead onto raised timber decking that shall abut the edge of the Basin, with views immediately across the proposed ecological zone.
- 6.3.18 The courtyard at Norway Wharf is the main public space within the proposal. Having comparable scale to both Gillett Square and Gainsborough Studios, the space would be significant for use of proposed occupiers and users, as well as existing occupiers surrounding the site. Leading off Hertford Road, a path of York stone slabs through the courtyard will provide direct and visual access toward the Basin. This will be aligned to a walkway against the northern edge of 16A Hertford Road also, both of which shall be bisected, and in turn linked, by a rigid grid pattern. Forming four squares of bounded gravel proposed to be shaded by Honeylocust trees, the courtyard will be so accommodated as to accommodate flexibility in the way it could be used. To the northern edge, a medicinal herb garden shall front the doctors surgery. Seating shall be accommodated across the space also.
- 6.3.19 At Hertford Wharf, the stable yard would provide exceptional examples of the heritage of the site and be enhanced through the provision of a number of proposed treatments to the space. Envisaged as a quieter space, given its surrounding context without the interface of heavy footfall uses, compared with Norway Wharf, it would be paved with traditional materials, with a perimeter of Yorkstone coloured slabs forming the main pedestrian access from Hertford Road to the Basin. A rectangle at the centre would be paved with stone sets reclaimed from on site, recessed to create an ephemeral reflection pool, assisting with localised runoff too. As well as the stone sets, custom made tiles

to commemorate the sites equestrian industrial history is also proposed. Similarly, existing tethering rings would be conserved. Additionally traditional channel drains and a stone relief map showing the Basins location on the Regents Canal would add interest and be supplemented with interpretive boards to depict the sites history.

- 6.3.20 The stable yard will benefit from the retention of the ramp to the rear of 16 Hertford Road, used for taking horses to the stables at first floor level of 16A Hertford Road. In echo of this, it is considered beneficial to secure, as well as the features discussed above, additional public art that will mark the significant of the site, subject to local consultation involvement, under a legal agreement.
- 6.3.21 De Beauvoir Wharf would be accommodated with the schemes only specific child play space area. At the centre, a raised lawn would be available for informal play and lounging. To the south of the space, sheltered and shaded play space would be provided, supported by provision of both a sculptural wall as its backdrop and timber play features. With the addition of planting of box hedging, rowan and serviceberry trees provision of some private amenity spaces would increase the wharfs overall private status.
- 6.3.22 At commercial wharf, charcoal unit pavers shall mark out a predominately hard landscaped area, adequate for the accommodation of parking at the site also. Hedge rows, shall demark the division between communal, 'homezone' parking area to private space at ground floor level to the block. Hedges, along with sculptural boulders, shall be incorporated to enliven informal play. Trees shall be planted, with metal guards where there may be a conflict with car parking. Timber bollards shall allow for defined pedestrian access from Kingsland Road, separate from that which may be used by cars off Kingsland Road. Some timber decking will lead off from the courtyard to front the west edge of the site and the Basin.
- 6.3.23 At the southern end of the Basin, existing vegetation shall be enhanced with the provision of native species including honeysuckle, dog rose, ivy, guilder rose, and native grasses to enhance the biodiversity of the Basin and the visual amenity.
- 6.3.24 A series of living roofs are proposed across the site. Green roofs to the southern element of the Downham Wharf block facing the Basin and to the new build block at Hertford Wharf as it faces the Basin. A further three roofs shall be bio diverse consisting of a mixture of crushed recycling brick, potentially recycled from the site interspersed with native plants replicating similar conditions to parts of the site as existing, potentially attracting Black Redstart.

Ecology

- 6.3.25 The application has been accompanied by the submission of two ecological reports: 'Phase 1 Habitat Survey and Protected Species Assessment' and 'Black Redstart and Bat Survey'. In regard to the former, the assessment finds that, whilst the site may be an 'Area of Special Landscape Character' it holds low value for wildlife. The vegetation and habitats present on the site are limited to

either the periphery or scattered across the less distributed areas, where there has been colonisation of cracks in the concrete and accumulated organic matter, comprising primarily of a few trees, ruderal scrub and tall herb species. The proposals seek to address the loss of these.

- 6.3.26 Along with the planting of 39 tree plants, shrubs and wild flower varieties shall also be provided (see section 6.2 for further details of the proposals for the open space).
- 6.3.27 The latter report found no presence of Black Redstarts during survey in 2008, nor in their earlier studies in 2006. However, other birds were seen at the site. Three species (house sparrow, starling and linnet) are on the red list of conservation concern, with another eight species seen that are on the amber list, with reductions in the numbers experienced in the last 25 years. Many of the species were found to be associated with the Basin rather than the development site itself, and some of the birds recorded related to “fly-over birds or birds using Regents Canal or flying along it”.
- 6.3.28 All species of bat are protected under The Conservation (Natural Habitats &c.) Regulations 1994 (as amended) and the Wildlife and Countryside Act 1981 (as amended). Consequently, where a bat roost is to be affected by development activities, a licence from Natural England will need to be obtained to derogate from the relevant legislation and mitigate against any detrimental effects. However, the applicant’s survey found no evidence of a bat roost in any of the buildings affected by the proposed development. The study advises that given the transient nature of bat mobility the possibility of bats being present within the application site in the future cannot be dismissed. Therefore, if demolition is delayed and a significant time elapses between the time of survey and commencement of works (by more than a year) further surveys should be sought, and should bats be found in any case during works, these are required to cease until Natural England and/or a licensed bat worker have been informed and provided advice on how best to proceed.
- 6.3.29 The site and its surrounds were found to be used as a feeding and/or community habitat by up to three species of bats and consequently bat boxes should be incorporated within any buildings that front the Basin, oriented away from artificial lighting.
- 6.3.30 Overall, provision for 23 bird and five bat boxes shall be fixed on buildings or walls to address the needs of current levels of birdlife found in the vicinity of the site.

Flood Risk

- 6.3.31 The site is situated within a low flood risk area with appropriate surface water run off incorporated within design proposals. Attenuation tanks, pervious paving, green and bio-diverse roofs are proposed to mitigate against increased run-off rates given the increase in development coverage across the site.

Noise

- 6.3.32 The application has been submitted with a 'Planning and Noise Assessment'. It has concluded that the primary source of potential noise affecting the site would come from road traffic along Kingsland Road. It is recommended that mitigation measures in terms of the glazing performance for habitable roads facing both Kingsland and Hertford Road are made.
- 6.3.33 The Councils pollution department seek a condition to ensure that the development is constructed in accordance with the recommendations of the submitted report and subject to conditions requiring mitigation to any potential noise transfer from the basement car park as well as control of plant noise too.

Air Quality

- 6.3.34 An air quality assessment has been submitted with the application that considers minimal change in the local air quality will result from the proposed development. It is recommended that, though short term, during the construction period "an inventory and timetable of all dust generating activities should be included within a Method Statement and agreed with the local borough, along with a description of relevant mitigation measures". This is covered by other regulation, but it is recommended that a construction management plan be submitted as part of the legal agreement should members consider in favour of the recommendations provided below.

6.4 Traffic and transport considerations

- 6.4.1 The site is situated within a PTAL rating level of 2/3 given its Hertford/Kingsland Road location. The forthcoming East London Line extension to be located immediately to the east of the site at Haggerston will see this level rise to 3/4. In addition to the forthcoming provision of the East London Line extension the site is in close proximity to a number of bus routes, with approximately 33 buses an hour travelling in each direction along Kingsland Road. A further service is provided along Downham Road. Overground railway connection is also available at Dalston Kingsland.
- 6.4.2 Whilst there are 207 residential units, only 45 car parking spaces are proposed, 37 at basement and a further eight (disabled spaces) at Kingsland Road. This quantum of spaces is considered appropriate for the scale of development, mindful of the London Plans policy to reduce reliance on the use of private cars and given the sites proximity to public transport links. The site is situated within Controlled Parking Zone H (De Beauvoir) with controls in parking between 8.30-6.30pm Monday to Friday. Consequently, the issue of overspill parking is not anticipated with all prospective occupiers not permitted a residents permit.
- 6.4.3 The basement parking shall be given ramped access, ventilated through the front façade of Hertford Road and in areas of the De Beauvoir Wharf courtyard, to the southwest corner of the site, off Hertford Road. This is adjacent to that previously given favourable consideration by members to the neighbouring site at 2-10 Hertford Road. The adjacency of these two areas are considered to be acceptable and would not have an overbearing impact on the road where it is

currently relatively quiet.

- 6.4.4 The proposal would provide adequate parking for the commercial elements of the proposal. An existing crossover along Downham Road shall be available for the B2 Motorbike repair unit. Seven commercial parking spaces, including two disabled, shall be provided at basement level which falls just short of the standard requirements of one space per 745sqm B1 floor space.
- 6.4.5 The access to Commercial Wharf is considered to not be in conflict with the Downham Road junction or Bus stop to the north along the west side of Kingsland Road.
- 6.4.6 Cycle parking provision for both the commercial and residential elements of the application are proposed. In relation to the residential component, one space per unit is provided, and scattered around the site to relate to the layout of the residential units, with basement/ground floor secured and covered storage provided. The commercial element is catered for by the provision of twenty six cycle spaces, with five spaces for the doctors surgery (against a TFL requirement of just one) and 21 spaces for the B1, A1 and A3 units.
- 6.4.7 Overall, the scheme is considered to comply with the requirements of the local, regional and national plan and seeks to endorse sustainable modes of transport.

6.5 Response to objectors

- 6.5.1 Proposal clearly conflicts with Hackney UDP policies and London Plan;
The proposal is considered to comply with local, regional and national planning policy in land use, design, amenity and transport ways.
- 6.5.2 Density and scale represents overdevelopment of the site that is out of scale with the environment and dominates the setting of the Kingsland Basin and its surrounding buildings; Any future development should be restricted to the height of the current buildings on the site. The plan shows that the height and density of the development will cause overlooking, a feeling of enclosure, loss of privacy and a significant loss of sunlight and daylight to many of the habitable rooms of the already existing dwellings contrary to building research establishment guidelines. Shadows will be cast over the Basin and this open and clear area will be turned into yet another 'canal canyon' to provide profits for developers
The design is considered acceptable, as discussed at section 6.2 above, and no overshadowing detriment to the Basin is envisaged, refer to section 6.3.8. The layout of the west side of the Basin within this proposal is considered to counteract against any canyon effect that may have been set by the development to the east side of the Basin.
- 6.5.3 Scale and layout of the buildings fail to preserve and enhance the setting of the listed buildings at 16 and 16A Hertford Road and the setting of the Conservation Area. The orientation of the buildings conflict with the historic layout and scale of the site;

The scheme has been brought forward in discussion with the Councils Sustainable design and conservation team. The proposals retain the open wharf heritage, whilst it is acknowledged that these are not strictly in accordance with the layout of the original development surrounding the Basin in the 1800s. It is considered that the proposals have been progressed in exceptional detail at planning stage and seek to preserve and enhance both the character and appearance of both the Conservation Area and the listed buildings.

6.5.4 The buildings are too high and should not exceed six stories taking precedent from De Beauvoir Crescent.

The proposed height of the development has been discussed in detail at paragraph 6.2.7. above.

6.5.5 Height of proposed buildings should be an absolute limit of five storeys and where the proposals cluster around listed buildings they must not be higher than the historic buildings to invade and ruin their character. This means three storeys at most.

As before.

6.5.6 Commercial wharf will be higher than Kings Wharf, daylight will be severely impacted as a result.

Kings Wharf is south of the development, whilst the development of Commercial Wharf will see the east side of the site built where it is currently open, despite the presence of scrub and bush. The daylight and sunlight report submitted with the application has been discussed in detail at paragraph 6.3.2 to 6.3.9.

6.5.7 Commercial wharf will adjoin Kings Wharf. Balconies of the courtyard facing apartments will be too close to the rear windows of Kings Wharf Block B, allowing easy sight into bedrooms and living areas, thus invading privacy. Rooftop terraces adjoining and on top of the penthouse flats on Commercial Wharf will lead to a significant loss of privacy for flats at Kings Wharf and shall be only metres from facing windows of flat 406 (Kingsland Road window) and flat 411 (Kingsland Basin window) Kings Wharf.

The southern elevation to the Commercial Wharf blocks have projecting balconies at a distance of eight metres from the face of the northern elevation at Kings Wharf. Given the deck access to this part of Kings Wharf, the actual distance is slightly further (1-2metres). Furthermore, no direct overlooking would occur due to the orientation of the balconies with Kings Wharf.

A roof terrace at Commercial Wharf is proposed to the seventh floor of the Basin block. Given the adjoining nature of the block with Kings Wharf, the terrace would be approximately four metres away from the central block at Kings Wharf. To address any potential overlooking, a condition to provide some form of screening is recommended at 8.1.3

6.5.8 Inappropriate separation between Kings Wharf and Commercial Wharf and could increase chances of intrusion and with public access to the basin via Commercial Wharf, concerned about anti-social behaviour at night time alongside the canal basin. The plans do not make clear what safety provisions there are.

The provision of access through Commercial Wharf is currently proposed for residents only. Conditions to bring forward boundary treatments are applied within the Recommendation.

6.5.9 The volume of works that the entire basin redevelopment entails will mean several years of building works noise and pollution, interrupting the daily lives of those living and working at Kings Wharf.

Planning grounds for refusal do not relate to potential disruption for surrounding occupiers during construction period. The recommendation includes conditions for the submission of a construction management plan and the legal agreement to include the requirement for a community working group allowing surrounding occupiers to meet with the developer during the course of construction at regular intervals; this has been used on similarly large developments within the Borough. Pollution and Building Control have separate regulations that govern the construction stage so as not to have an undue impact to the surrounding area through noise and dust.

6.5.10 The overall proposal is a cheap, utilitarian uniform design without variation such that the buildings lack individual identity and overall character. Kingsland Basin is one of the few remaining areas of its type with character and listed buildings and a more imaginative design should be employed for a site of such significance. The current design seeks purely to maximise profitable gain from commercial exploitation. Design in this area should take advantage of the site's history and character, rather than simply working around them.

The proposals are considered to have a variety not simply due to the retention of a number of buildings across the application site, but also given the varied context for the three main new build blocks: Downham Road, De Beauvoir Wharf and Commercial Wharf, each taking on its own individual design sympathetic to its immediate context, either developed or as proposed. In this way it is considered that, in accordance with the Inspectors findings of previous schemes, the best of the existing building stock is being reused so as to retain the heritage of the site. Furthermore, the setting back of blocks unlike on the east of the Basin or along the Canal, retains an open wharf character to the site.

6.5.11 The development is out of character with the historic use of the site. In the past this area, and much of Hackney was used for manufacture and trade (mainly furniture). Consideration should be given to develop this site to provide commercial premises to bring in jobs, not residential accommodation. Hackney should be promoting developments which provide jobs and local services, rather than encouraging yet more dormitory developments which put a strain on transport and other services.

Following the appeal, the applicant has developed the proposals in discussion with Council officers, ensuring an appropriate mix of uses that seeks to accord with local policy for retention of employment floor space. With a range of not only A1 and B1 class floor space but the additional inclusion of D1, A3 and B2 class use the proposal is considered to be truly mixed use as discussed above at paragraphs 6.1.1 to 6.1.8.

6.5.12 Basin is designated as an Area of Special Landscape Character due to its wide range of aquatic flora, invertebrates, fish and breeding water fowl. It lies along

a Green Link, i.e. the Regents Canal and it is located next to the London Can's site of metropolitan importance. It supports a fragile ecology requiring very careful consideration and treatment. A total of 26 bird species, 12 of which showed signs of breeding on site, have been identified. Additional species were breeding nearby and obtaining food from the site. The Basin is a particularly attractive habitat for swifts and housemartins as feeding area. Residents have in addition observed kingfishers on the site and swans breeding on the site. It is not considered that the proposals to mitigate loss of habitat are adequate.

The Inspector to the appeal scheme found that there would be no detriment to the surrounding habitats to the site. Subsequent surveys have been carried out for this latest application, the findings inline with these original considerations. The provision of both bird and bat boxes is supported. Furthermore, it is considered appropriate that conditions to ensure demolition of buildings and the development generally is considerate of breeding periods, notwithstanding the necessary requirements to consult Natural England as discussed at 6.3.28. The surveys undertaken do not refer to any mention of swans being seen at the site.

6.5.13 The proposed movement of houseboats, and the expansion of recreational use, to the northern part of the Basin will adversely affect the ecological balance and the use of the area for birds nesting on rafts and water. Several species of fish breed in the quieter waters of the basin and grow to large size in the weed and plant sheltered banks. Destruction of these will cause severe disruption of fish breeding, and impact on the bird life of the area as a consequence. Kingsland Basin has become a site of serious nature significance to the area and remains one of the few less disturbed portions of the canal;

The application does not seek either the movement or expansion of houseboats. The Basin is already used by the Laburnum Boat Club who will benefit from the proposed landing stage at Norway Wharf. With the provision of the eco zone, and increased vegetation surrounding the Basin elsewhere, the proposals are considered to enhance rather than detract from the existing water habitat that is present.

6.5.14 Parking is inadequate, surrounding area already full with Mandarin Wharf to add further to the demand.

The proposed parking is in accordance with local, regional and national planning policy. The development is within a controlled parking zone, and with the addition of the forthcoming Haggerston station in close proximity of the site, the proposal is envisaged to not be of detriment to the current parking arrangements surrounding the site.

6.5.15 No provision for children or teenagers. There should be play parks and green spaces as part of this plan, the ecozone is too small for this purpose.

Green and Play space is provided at De Beauvoir Wharf. A section 106 contribution towards open space is sought.

6.5.16 Buses are already full at rush hour, what new and additional bus links will be provided, e.g. service to angel to alleviate pressure.

The application has been party to consultation with Transport for London (incorporating London Buses) who have raised no objection to the application.

6.5.17 Lack of green open space within the development, with green roofs not accessible to residents and only southernmost courtyard provided with green space. Courtyards should be provided with more soft landscaping, with paths rather than whole areas provided in hard standing.

All areas of open wharf are proposed to have a different role within the development and varied level of footfall is envisaged. Consequently, to ensure appropriate use of spaces and assist long term maintenance of these spaces, it is considered appropriate, as well as being in keeping with the wharf heritage of the site, that a number of areas are hard standing rather than grassed. In addition to the green nature of the roofs, it is sought that the roofs accommodate PVs also, and this would not be satisfactory for occupier use in this likelihood.

6.5.18 Inspiration of network narrow streets between converted warehouses (such as South of Shad Thames) inappropriate since the open spaces in this development are not streets and people should be able to relax there as they cannot do in narrow alleys. Better inspiration would be Bishops Square, where open space (formerly a street) surrounded by new buildings entirely comprises calming, mainly green surfaces, aside from necessary walkways around the outside of the space. Design of new courtyards could easily be adapted to make them much more visually appealing and more versatile. Some of the spaces between the paths are already shown as to be mounded up – which would effectively deter people from walking across, rather than around them; there is no need for further deterrence by covering these mounds with pebbled hard surfaces (as proposed for Norway Wharf) or growing prickly low box shrubbery all over them (such as the northernmost courtyard, intended for residents only) which simply prevents their being used at all, in non –destructive ways. Soft, green surfaces would make these mounded-up areas much more versatile: usable for sitting in summer or for children to play there. Inadequate provision of child play space when considering quantum of family housing.

The proposed development has an entirely different context to both that at Shad Thames and Bishops Square. The development has to take into consideration the slight topographical changes across the site, hence the provision of steps (with ramped access also) and certain points along the Basin, which will also be available as informal seating. Mounded areas of green grass at Downham and De Beauvoir Wharf are envisaged to be used privately by its surrounding occupiers and are not to be planted with deterrent shrubbery.

6.5.19 Prevalent hard landscaping contemplates the possibility of these spaces being used for art exhibitions or a farmers market, which is unrealistic. Catering for a remote possibility should not take precedence over the potential for everyday recreational use of the public courtyards in this development.

Norway wharf is proposed to anticipate a range of uses that could be accommodated. This is considered sensible given its context surrounded by uses with heavy footfall, Doctors surgery and café. Furthermore, this wharf is the first point along Hertford Road that provides public access to the Basin, and is envisaged to be the most used in that respect. Consequently, rather than being designed specifically for the anticipation of art exhibitions etc, it is considered that whilst there is the provision of some greening through tree and

shrub planting, the space is designed of the proposed degree of use yet anticipating and providing the opportunity for community activities that have no similar setting in the surrounding context.

6.5.20 If more soft landscaping were used at ground level, there would be no need for elaborate mechanism to provide for the run-off of ground water which would have no where natural to soak away under the current proposals.

Given the increased building coverage across the site drainage systems are required.

6.5.21 Proposed application fails to demonstrate the new office accommodation is needed in the area, and the provision of such significant amount of accommodation will have a further downward pressure on the commercial market in the area and poses significant crime and disorder risks.

Notwithstanding that the proposed quantum of office accommodation seeks to accord with policy, Invest In Hackney are supportive of the scheme, welcoming the scale and range of units proposed for a mixed market mindful of the type of accommodation increasingly in demand in the Borough.

6.5.22 Proposal includes new shop frontage to Kingsland Road. There are a number of empty shops along that stretch of Kingsland Road, both new and existing. The application fails to demonstrate that adding further to available shop frontage is needed.

The ground floor retail units at Ability Plaza to the east side of Kingsland Road opposite the site is occupied, and units to the north of the site are also occupied. Within the block, there are no retail units to the south between the site and the Canal Bridge.

6.5.23 The proposed application includes 65 affordable housing units and 139 one and two bed units. The application fails to demonstrate that such accommodation is needed in the area. Available demographic and socio-economic data would suggest that Hackney is polarised in its socio-demographic structure and that it desperately needs accommodation to attract middle income families. Further, there is significant development of one and two bedroom flats in the area.

Hackney has a high demand for affordable and family housing and is required to meet targets set down by the GLA. The application proposes a range of units and demonstrates an acceptable quantum of affordable housing as discussed above. Of the affordable element, a higher than presumed proportion is proposed for the intermediate market that seeks to address the presence of social housing stock to the west of the site.

6.5.24 There should be a greater number of shared ownership homes as opposed to socially rented properties, noting that there are substantial numbers of social rented properties on the De Beauvoir Estate and there is a great need for key worker accommodation in the area. A higher number of Shared Ownership properties would maintain a more balanced community locally and would facilitate an overall reduction in density on the site whilst maintaining the viability of the scheme.

As above, the application does propose a higher level of shared ownership accommodate with a tenure split of 67:33 social: shared ownership housing

compared with a presumption for a 70:30 split.

- 6.5.25 The application would result in a number of existing buildings along Hertford Road being lost. The demolition of the buildings would reduce further the local history in the area, replacing character, locally relevant buildings, with modern, characterless buildings that lack any relationship to the local context within which they sit.

Of the buildings along Hertford Road, it is only 12-14 Hertford Road that is to be demolished, considered to have neither a particular relevance to the conservation area or have sufficient architectural quality and interest to merit retention. Given the proposed layout, the replacement building at this part of the site, is physically separate but considered to enhance the character and setting to both the conservation area and the adjacent Listed Building.

- 6.5.26 The application does not include sufficient detail on quality of materials to be used. A number of recent developments in the area are of poor quality in terms of their finishes and materials, which does not enhance or improve the local area.

The application was accompanied with samples and a full set of annotated elevation. To ensure the details are brought forward, and incorporate the highest standards, all details are to be sought by way of condition.

- 6.5.27 The scale and layout of the buildings fail to preserve and enhance the setting of the listed buildings at 16 and 16A Hertford Road and the setting of the Conservation Area. The orientation of the buildings conflict with the historic grain.

This is discussed above at section 6.2. The proposed layout is mindful of the open wharf heritage of the site.

- 6.5.28 The buildings are designed to a uniform pattern without variation in typology such that the buildings lack individual identity and overall character. A more imaginative design should be employed for a site of such significance and character and that the design should take advantage of the historic buildings on the site rather than simply work around them as 'retained' buildings.

The retained buildings are to be refurbished and incorporate in some instances new uses. The acceptability of the design and variation has been discussed above at section 6.2.

- 6.5.29 16 and 16A Hertford Road have not been fully appreciated in the Building Gazetteer compiled by Doyle in Dec 2006. There are other buildings on the development site similarly been underestimated by the survey. There has not been sufficient and careful consideration so as to justify demolition of the following buildings which contribute to the conservation area on account of their character, function and group and townscape value e.g. 12-14 Hertford Road, circa 1905 and 1916 is categorised by Doyle as B/C only; the 1900/1920 timber warehouse at 24 Hertford Road which Doyle categorised only as B; 31 Downham Road is possibly of B category based upon its group value and underlying remnants of historic fabric; 27-29 Downham Road, circa 1900 with front elevations rebuilt in 1921, could increase its contribution to the conservation area by restoration of its group value.

The principle of demolition of these buildings were accepted by the Inspector of the appeal scheme. Unlike the buildings to be retained, The Regents Canal Conservation Area appraisal does not give attention to 12-14, 24 and the Downham Road properties. Conservation officers consider the buildings proposed for demolition are “*either, not of particular relevance to the special interest of the Conservation Area or are not of sufficient architectural quality and interest to merit retention*”.

- 6.5.30 Public access must be gated and be limited to residents and canal boat users only. There should be no through routes to the proposed scheme and no new links between the Basin and the canal tow path as incidents of crime is high on the latter

A condition to address the accessibility of the site, including appropriate times for resident only access, is recommended. British Waterways welcomes the connection proposed between the Basin and the Canal tow path. A controlled access is considered appropriate for the overall character of the site.

- 6.5.31 Impact on light levels for properties in Kings Wharf Block B, units 6-10 on each floor.

The impact on daylight etc has been discussed at paragraphs 6.3.2 to 6.3.9.

- 6.5.32 Density of certain buildings has merely been shifted around since the listing of certain older buildings to compensate for the loss of flats in these areas. Commercial Wharf will encroach on Kings Wharf walkway, has significantly increased in height and density from the previous proposal despite concerns voiced in consultation with the architects and previous applications. Large parts of the scheme at Commercial Wharf and west of Kingsland Basin are significantly higher than Kings Wharf, in addition it appears there will be paving on top of the penthouse flats at Commercial Wharf, thus facilitating rooftop use even higher than shown in the drawings. Risk that the freeholders of existing buildings such as Kings Wharf will seek to add further floors.

The original scheme went to a seventh storey at Commercial Wharf. The overall density across the development has reduced. The units around the site, such as at Kings Wharf, have minimal permitted development rights and additional floors would required the submission of planning permission where the surrounding context, adjacency to listed buildings and Conservation Area setting would need to be given consideration.

- 6.5.33 Plan PL207 and related plan PL208 overstate the height of Kings Wharf. This implies that the proposed development at Commercial Wharf will be higher relative to Kings Wharf than is shown on the drawings. Within the supporting planning statement it states that the “Kings Wharf development rises to nine storeys (21m) and the adjoining Benyon Wharf rises to 20m”. This may adversely effect TV reception for Kings Wharf. The communal aerial is located on the roof above the flat on the Kingsland Road side, closest to Commercial Wharf. It may also give rise to other issues reliant on using the correct height for Kings Wharf. Also, find no reference to height in the Devla Patman survey. They do not refer to the plans for Kings Wharf or Benyon Wharf in their list of source materials.

There is a variation in heights on the Kingsland road and Basin side of the

proposal given topographical changes across the site.

On Kingsland Road (from Plan PL207 at scale) Benyon Wharf is shown as 21.5 metres, and Kings Wharf as 20.6 metres. On the Basin side, Benyon Wharf is shown as 23.6 metres with Kings Wharf as 22 metres.

Sunlight and Daylight studies model from window positions rather than heights of buildings. The building line is set back from the roof line at Kings Wharf along the Kingsland Road elevation by 6.5 metres toward the seventh floor.

- 6.5.34 Loss of daylight/sunlight to Spice/Quebec Wharf. The relevant information for assessing impact under the BRE guidelines for calculating Annual Probable Sunlight Hours includes information about the flats layout as well as floor level because it is the adverse effect on the habitable rooms with windows within 90 degrees due south which is critical. Measures have been taken recently on Quebec Wharf building and it has been established that the building is substantially within the 90 degrees. Building has been ignored from the current calculation and therefore a separate reading should be taken.

The scope of the Delva Patman report is satisfactory. Quebec Wharf may be due south of the development, but there are no windows within 90 degrees with no windows on the south elevation of the building.

- 6.5.35 The Delva Patman report does not consider the reduction in daylight to the walkway windows of the flats at the northern end of the canal and Kingsland Road blocks of Kings Wharf. Currently, one photocell operates all walkway lighting. There will be a combination of loss of daylight and overshadowing of the walkways at the northern end of the walkways for the Canal and Kingsland Road Blocks. This will require separate photocell circuits as some of the walkway lighting will need to be left on all day during autumn and winter if the proposal is approved.

The orientation of the Kingsland Road block of Kings Wharf is such that it does not merit daylight and sunlight review with no impact envisaged in respect of guidance provided by the British Research Establishment. The study looked at both the west and north elevations to Kings Wharf, as discussed above at paragraph 6.3.2 to 6.3.9. The impact on the provision of artificial lighting to adjoining sites is not grounds for refusal.

- 6.5.36 Delva Patman drawing SHD/506 shows the courtyard of Commercial Wharf will be permanently overshadowed. The lower flats in the courtyard block of Kings Wharf will thus have no access to an area not in shade, this is unacceptable for a forward thinking development by a social housing provider.

The courtyard at Commercial Wharf is not proposed to be provided for access to Kings Wharf residents also at this time. The landscaping is so designed so that where sunlight reaches the space predominately, soft landscaping with seating is proposed with car parking, hard landscaping areas in those parts that shall be shaded. Under existing conditions, Commercial Wharf is predominately shaded by development at Kings Wharf and 305a Kingsland Road.

- 6.5.37 The shadowing report, which accompanied the previous application, included detailed analysis of the reduction in sunlight for the moorings. It is unsatisfactory that no similar test has been undertaken for this given the greater height of the current scheme. The Delval Patman report indicates that the

existing moorings will be overshadowed until 10am or later and will then be overshadowed from 2pm onwards. Any development of the waterside area of the two Travis Perkins yards would completely overshadow the eastern side of the basin for much of the day.

The proposals considered by the Inspector were considered to have no undue impact on the moorings. Development of either Travis Perkins sites is not for consideration under this application, nor are there any applications for these sites with the Council.

6.5.38 There is little opening for common ground in the form of allotments

The application site is not designated for the provision of allotments, nor is there considered to be the area for such provision.

6.5.39 No reference found to any application for permission in respect of the blue line plan that include residential moorings. The residents on the boats form an integral part of the basin. Greatly concerned that boat residents will have not appreciated that the propose moorings shown are not part of the application. Consequently, Boat residents will not have considered the severe loss of sunlight, privacy and security should the scheme be approved and their moorings remain in their current location, general paucity of information for CGUG community.

The application does not seek permission for alternative or new mooring areas. CHUG has written without objection in relation to overshadowing or loss of sunlight and envisage security may improve.

6.5.40 The sunlight and daylight report does not provide sufficient explanation or statistics to justify its conclusions.

The report came with an extensive appendix providing all figures, shadowing plans and modelling images.

6.5.41 Current indications are for a “more of Benyon Wharf” approach (referring to outward faces rather than successful internal courtyards). Architects must respect character of the existing buildings and work hard to produce something special to Kingsland Basin, not repeat what can be seen at many other new sites across London. Use of glass balcony fronts visible in some of the illustrations seem inappropriate producing a sleek and shiny corporate office face.

Varied treatments are proposed to illustrate both the range of heritage and uses across the site. Commercial Wharfs west elevation is the only predominantly glazed and balconied elevation that seeks to be sympathetic and in keeping with other contemporary developments along the east side of the Basin.

6.5.42 Proposal should provide more industrial space

The application includes a range of uses that includes both B1 and B2 uses that would be sympathetic to the re-accommodation of existing users of the site.

6.5.43 The proposals will turn the Canal into a residential cul-de-sac rather than a mixed area of homes, small businesses and wildlife.

The proposals are not solely residential, but include the provision of commercial floor space as well as an ecozone and other soft landscaping proposals against

the Basin edge to ensure variation and vitality to the Basin.

6.5.44 Passive solar heat system at Kings Wharf at risk with the south-west faced large windows for capturing sunlight and the exposed concrete ceilings for thermal mass storage.

It has previously been noted that Kings Wharf is orientated as to not be effected by potential loss to sunlight in accordance with the requirements of BRE. Similarly, it is therefore considered reasonable to judge that sunlight related issues to Kings Wharf will also not be unduly effected by the proposed development. Furthermore, there are no policies that protect passive heat systems for neighbouring sites.

6.5.45 Listed buildings should be retained and reused where possible rather than demolished as stated in the conclusion of the Regents Canal Conservation Area.

All the listed buildings within the site, with the exception of a single storey addition at 16A Hertford Road, are retained within the proposal.

6.5.46 Too many car parking spaces for area of good and improving public transport – 207 homes should mean no more than ten per cent for disabled users. As within a CPZ ban others from holding resident parking permits and require developer to pay first years membership of Hackney Car Club for all residents with a driving licence.

The proposal seeks to provide disabled car parking and a number of further spaces that would be provided for family units. A car club space is to be secured by way of condition and all residential occupiers will be unable to obtain a parking permit.

6.5.47 32 Hertford Road will be overlooked, especially upper two bedrooms, back garden will be overlooked and roof terrace as well as kitchen.

Notwithstanding that there are no planning records showing regularisation of residential accommodation, the building shall be retained, but proposed as commercial space. No overlooking concerns would arise from this non-habitable space. As such little weight can be given to this objection.

6.5.48 Proposal will destroy the historic character of the street. They are not going to build extensively in brick, they are not going to maintain the low rise nature of the buildings, various fixtures and fittings of this heritage as currently seen on the outside of the buildings, such as the warehouse winches,, painted murals etc. Any attempt to 'preserve' the character of the buildings is consonant with destroying them, as preservation within the context of a contemporary housing development is tantamount to reification.

With the exception of 12-14 and 24 to 30 Hertford Road, the existing frontages are retained, and elsewhere brick is the primary palette proposed, to be secured through condition. The overall scale of the scheme has been discussed above section 6.2 above.

6.5.49 The architecture designs seem to seek to continue the Benyon Wharf aesthetic which is disappointing. It would be good to see more variety and features. Not advocating that new buildings have to look like Kings Wharf: a mix of both styles

and materials is to be encouraged, but hope to see ground level and water level planting, not only to soften the exteriors but to support bird and other life and greater provision of upper level balconies to allow residents to install their own planting.

The acceptability of the design has been discussed above at section 6.2.

6.5.50 Proposed Commercial Wharf is taller than last scheme and in higher density.

The proposal is no higher than the appeal scheme, and the density is lower and in accordance with the London's Plan density matrix in relation to the accessibility of public transport.

6.5.51 Fourteen rooms in Kings Wharf reviewed in the Sunlight and Daylight study – which rooms are these?

The full details are provided in the technical appendix: North Face windows at First floor level and Ground and first floor level windows to West Face windows.

6.5.52 Kings Wharf absent from sunlight tests.

Sunlight tests are carried out on windows to habitable rooms which face within 90 degrees of due south. The development is north and west of the site in relation to Kings Wharf.

6.5.53 Mezzanine level at Kings Wharf (Basin side) receives very little light during day. As the work area of these live/work units have barely habitable room heights and therefore so low that it is very hard to fit central light fittings which don't obstruct movement around the space.

Sunlight and daylight safeguard is for habitable rooms only.

6.5.54 Construction waste and demolition materials have been allowed into the water, waste blows around. It is hard to see how much wildlife will remain when the proposed Kingsland Wharves development has been completed. Urge Council to make greater efforts and lay conditions on developer and his contractors to mitigate these problems.

Conditions are proposed.

6.5.55 No indication of what physical separation will be provided. It must be both effective and aesthetic. Urge Council to insist the developer allows and encourages his architect to consult with Kings Wharf residents on reasonable design details.

Details of boundary treatments are proposed to come forward by condition. The imposition of a condition to demonstrate prior consultation with Kings Wharfs residents association is applied.

6.6 Response to Greater London Authority

6.6.1 Resolving the requirement to provide PV as part of the renewable energy component.

This is recommended by way of condition for further exploration at paragraph 8.1.37.

- 6.6.2 Securing a condition to move demolition fill by canal.
This is recommended at paragraph 8.1.28.
- 6.6.3 Securing a condition for noise mitigation
This is recommended at paragraph 8.1.12.
- 6.6.4 Securing conditions to ensure the inclusion of the proposed Green Roofs and SUDS
This is recommended at paragraph 8.1.13 and 8.1.14.
- 6.6.5 Securing conditions or S106 requirements for a Travel Plan, Servicing Plan and Construction Plan
This is recommended at paragraphs 8.4.9 to 11.
- 6.6.6 Securing a financial contribution for off site play facilities or open space improvements
This is recommended at paragraph 8.4.6.
- 6.6.7 Securing a condition for the energy efficiency modelling
This is recommended at paragraph 8.1.36.
- 6.6.8 Securing a condition for the delivery of the energy strategy
This is recommended by way of a legal obligation at paragraph 8.4.4.

6.7 Planning Contributions

- 6.7.1 The proposal meets the trigger to provide contributions under the Planning Contributions Supplementary Planning Document (PCSPD).
- 6.7.2 In accordance with the SPD, the provision of open space and education financial contributions are sought. Furthermore, given the mixed uses proposed at the site, and the scale of development a phasing plan is sought. The application has submitted their initial proposals, however this is not considered appropriate, and does not go far enough to consider the reality of construction, with only two phases proposed without due consideration of the open spaces also.
- 6.7.3 Other heads of terms that are as standard are found within Recommendation D below, in addition to those sought by statutory consultees or as discussed above.

7. CONCLUSION

- 7.1 In summary, the proposed development is considered to be of an appropriate use and of a high quality of design, with no adverse impact on the amenity of neighbouring occupiers by way of loss of light, privacy, outlook, or raise traffic implications. The development will retain the heritage significance of the site, whilst enhancing the setting of the Listed Building and the character and appearance of the Conservation Area. The provision of public access to the Basin and the variety of open spaces, both public and private is especially

beneficial to the setting and retention of an open wharf character.

- 7.2 The proposal complies with pertinent policies in the Hackney UDP (1995) and the London Plan (2008) and the granting of permission, conservation area and listed building consent is therefore recommended subject to the completion of a section 106 agreement.

8. RECOMMENDATIONS

Recommendation A

- 8.1 **That permission be GRANTED, subject to the following conditions:**

8.1.1 **SCB1 - Commencement within three years**

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

8.1.2 **SMC6 – Materials to be approved**

Details, including samples, of materials to be used on the external surfaces of the building, roof, boundary walls and ground surfaces shall be submitted (accompanied by the design and access report submitted under the approval and a copy of the Officers Committee Report) to and approved by the Local Planning Authority, in writing, before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.3 **SCM7 – Details to be approved**

Detailed drawings/full particulars of the proposed development showing the matters set out below must be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

a. Windows, glazing bar profiles, and architraves;

b. Balconies and balustrade

c. screening to Roof terrace at Commercial Wharf

REASON: To ensure that the external appearance of the building is satisfactory, the existing natural habitat is not detrimentally impacted and does not detract from the character and visual amenity of the area.

8.1.4 **SCM9 - No extraneous pipework**

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.5 SCD2 – Provision of access and facilities

All provisions and facilities to be made for people with disabilities as shown on the plans and details hereby approved shall be implemented in full to the satisfaction of the Local Planning Authority before the use is first commenced.

REASON: In order to ensure that access and facilities for people with disabilities are provided in order to ensure that they may make full use of the development.

8.1.6 SCH14 – Closure of existing access

The existing accesses to the site shall be closed permanently when the use of the new accesses shown on the plans hereby approve are provided and in use.

REASON: To confine access to the permitted points in order to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

8.1.7 SH5 – Provision of parking, turning, unloading facilities

No part of the development hereby approved shall be occupied until the accommodation for car parking, turning and loading/unloading has been provided in accordance with the approved plans, and such accommodation shall be retained permanently for use by the occupiers and or users of, and/or persons calling at, the premises only and shall not be used for any other purposes.

REASON: To ensure that the proposed development does not prejudice the free flow of traffic or public safety along the neighbouring highway(s) and to ensure the permanent retention of the accommodation for parking/loading and unloading purposes.

8.1.8 SCT1 –Landscaping scheme to be approved.

A hard and soft landscape scheme illustrated on detailed drawings together with full samples accompanied by the Design and Access statement hereby approved, shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, to include the planting of tree and shrubs showing species, type of stock, and numbers to be included and showing areas to be grass seeded or turfed, ephemeral reflection pool to the Stable Yard, Regent Canal stream map, benches, interpretation boards, lighting, topographical ground levels and ; all landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

8.1.9 SCT3 – Protection of Trees during site works

No demolition, site clearance or building operations shall commence until chestnut paling fencing of a height not less than 1.2 metres shall have been

erected around each tree or tree group to be retained on the site, at a radius from the trunk of not less than 4.5 metres. Such fencing is to be maintained during the course of development to the satisfaction of the Local Planning Authority.

REASON: In order to protect the existing trees during building operations and site works.

8.1.10 SH10 – Provision for cycles

Internal lockable space shall be made available for the secure parking of cycles as shown on the plans hereby approved prior to the first occupation or use of the development in accordance with the phasing plan.

REASON: To ensure that reasonable provision is made within the site for the parking of cycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.

8.1.11 SCH11 – Adequate visibility to entrance

Adequate visibility shall be provided to the highway within the application site above a height of one metre from footpath level for a distance of three metres on the sides of the permitted points of vehicular access, in accordance with details to be approved by the Local Planning Authority before any work on the site is commenced, and be so maintained.

REASON: To provide a suitable standard of visibility to and from the highway and to ensure that the use of the access does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

8.1.12 NSC - noise

The development hereby approved shall be built out in accordance with the Peter Brett Planning and Noise Assessment November 2008 except where details showing the following modifications to the scheme shall be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced on site:

a. Details of a sound insulation scheme where the front elevation facing Kingsland Road shall be constructed so as to provide sound insulation against external noise, to achieve levels not exceeding 30dB LAeq and 45dB L_{Amax} (night) for bedrooms, 35dB LAeq (day) for other habitable rooms, with windows shut and other means of ventilation provided;

b. Full written details, including relevant drawings and specifications, of the proposed works of sound insulation against airborne noise to meet $D'_{nT,w} + C_{tr}$ dB of not less than 55 between the ground floor and first floor, where residential parties non domestic use, shall be submitted to and approved in writing by the local planning authority.

c. Details of noise emission from fixed plant, the rating level of the noise emitted from the fixed equipment (to include A/C units, air handling units etc) on site shall be 5dB below the existing background level at any time. The noise levels shall be determined at the facade of any noise sensitive property. The measurements and assessments shall be made according to BS4142:1997;

d. Detailed plans and a specification of the appearance of and the equipment comprising a ventilation system for the A3 use hereby approved, which shall include measures to alleviate noise, vibration, fumes and odours (and

incorporating active carbon filters, silencer(s), and anti-vibration mountings where necessary). After the system has been approved in writing by the authority, it shall be installed in accordance with the approved plans and specification before the development hereby approved first commences.

e. Details of a noise assessment and mitigation to the use of the basement car park.

The sound insulation and mitigation measures shall be retained permanently in accordance with the approved details.

REASON: To safeguard the amenities of the occupiers of proposed dwellings, amenity of adjoining premises and the area generally.

8.1.13 NSC – Non- standard condition

A bio diverse, substrate-based extensive green roof (75mm minimum depth) should be established on the roof of the proposal. Full details thereof shall be submitted and approved in writing by the local planning authority, prior to occupation. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development and the river corridor, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage and to enhance the performance and efficiency of the proposed building.

8.1.14 EA Condition

The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) carried out by Peter Brett Associates LPP project Ref: 17007/103 dated October 2008 and the following mitigation measures detailed within it:

- a. Appendix C – landscape Master plan
- b. Appendix G – Proposed surface water drainage strategy layout, drawing no: 17007/C/SK601 dated 17/10/2008.
- c. Appendix H – Attenuation volume calculation

REASON: To reduce the risk of flooding to the proposed development and future occupants.

8.1.15 EA Condition

Prior to the commencement of development approved by this planning permission (or such other date or stage in development as may be agreed in writing with the Local Planning Authority), the following components of a scheme to deal with the risk associated with contamination of the site shall each be submitted to and approved, in writing, by the Local Planning Authority:

- a. A preliminary risk assessment which has identified:
 - i. all previous uses;
 - ii. potential contaminants associated with those uses;
 - iii. a conceptual model of the site indicating sources, pathways and receptors;
 - iv. potential unacceptable risks arising from contamination at the site.
- b. A site investigation scheme, based on (a.) to provide information for a

detailed assessment of the risk to all receptors that may be affected, including those off site;

- c. The site investigation results and the detailed risk assessment (b.) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken;
- d. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in (c.) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the express consent of the Local Planning Authority. The scheme shall be implemented as approved.

REASON: Although (c.) and (d.) have been fulfilled, additional site investigation is required to allow for a full characterisation of the sit with respect to controlled waters. This should include an assessment of the risks to the quality of controlled waters.

8.1.16 EA Condition

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority for, an amendment to the remediation strategy detailing how this unsuspected contamination shall be dealt with.

REASON: This is to prevent pollution to controlled waters.

8.1.17 EA Condition

No infiltration of surface water drainage into the ground is permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters.

REASON: This is to prevent pollution to controlled waters.

8.1.18 EA Condition

Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

REASON: To avoid further exposing controlled waters to pollution.

8.1.19 EA Condition

Prior to commencement of development a landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscaped areas including green roofs (except privately owned domestic gardens), shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be carried out as approved.

REASON: This condition is necessary to protect the natural features and character of the area and identify opportunities for enhancement of biodiversity

in line with national policy in PPS9.

8.1.20 EA Condition

All planting on green roofs and within five metres of the Kingsland Basin shall be of locally native plant species only, of UK genetic origin.

REASON: The use of locally native plants in landscaping is essential to benefit local wildlife and to help maintain the region's natural balance of flora. Native insects, birds and other animals cannot survive without the food and shelter that these plants provide. Introduced plants usually offer little to our native wildlife. Local plants are the essence of regional identity and preserve the character of the British landscape. Local plants are adapted to local soils and climate, so have low maintenance requirements. In addition, planting locally native plants helps to prevent the spread of invasive plants in the region.

8.1.21 EA Condition

There shall be no light spill from external artificial lighting into the watercourse or adjacent river corridor habitat. To achieve this specifications, location and direction of external artificial lights should be such that the lighting levels within five metres of the top bank of the watercourse are maintained at background levels (Lux Level of 0-2).

REASON: To minimise light spill from the new development into the watercourse or adjacent river corridor habitat. Artificial lighting disrupts the natural diurnal rhythms of a range of wildlife using and inhabiting the river and its corridor habitat, and in particular is inhibitive to bats utilising the river corridor.

8.1.22 EH Condition

No works shall take place until the applicant has secured the implementation of a programme of recording and historic analysis, which considers building structure, architectural detail and archaeological evidence. This shall be undertaken in accordance with a written scheme of investigation submitted by the applicant and approved by the Local Planning Authority (following consultation with English Heritage).

REASON: Important structural remains are present on the site. Accordingly the planning authority wishes to secure the provision of historic building recording prior to development, in accordance with the guidance and model condition set out in PPG15.

8.1.23 EH Condition

No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme for investigation which has been submitted by the applicant and approved by the Local Planning Authority. The development shall only take place in accordance with the detailed scheme pursuant to this condition. The archaeological works shall be carried out by a suitably qualified investigating body acceptable to the Local Planning Authority.

REASON: Significant archaeological remains may survive on the site. The planning authority wishes to secure the provision of historic building recording prior to development, in accordance with the guidance and model condition set out in PPG16.

8.1.24 BW Condition

Prior to the commencement of the development hereby permitted, full details of a proposed lighting scheme including individual courtyard areas, street and Basin lighting shall be submitted to and approved in writing by the Local Planning Authority in consultation with British Waterways. The approved lighting should be implemented prior to first occupation of the development and in accordance with the phasing plan required by agreement.

REASON: In the interest of crime prevention, ecology, visual amenity and the canal setting.

8.1.25 BW Condition

Prior to the commencement of development a Risk Assessment and Method Statement outlining all works to be carried out adjacent to the water must be submitted and approved in writing by the Local Planning Authority in consultation with British Waterways. The risk assessment shall also include details of the proposed safety equipment along the canal frontage which shall be installed prior to first occupation of the development hereby permitted.

REASON: In the interest of protecting the adjacent watercourse.

8.1.26 NSC– Non-standard condition

A rainwater harvesting system shall be installed and details thereof shall be submitted to the local planning authority and approved in writing before occupation of the development hereby approved first commences.

REASON: In the interests of maximising the environmental performance of the building.

8.1.27 NSC – Non-standard Condition

A construction delivery feasibility strategy shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development. The recommendations of the strategy shall be implemented as from the start of the development.

REASON: In the interest of sustainability and the safeguarding of nuisance to the surrounding area.

8.1.28 NSC – Non-standard Condition

All materials from the demolition of the buildings, and hard surfaces, together with installations and equipment from the buildings shall, apart from any which can be reasonably re-used in the construction of the development hereby approved, be removed from the site in accordance with a clearance scheme to be agreed in writing with the local planning authority before the commencement of development.

REASON: In the interests of sustainability and to ensure appropriate use of the Blue Ribbon Network.

8.1.29 NSC – Non-standard Condition

During and after works of demolition the site shall be made secure by the erection of a suitable boundary enclosure, such as a hoarding, details of which shall be submitted to and approved in writing by the Local Planning Authority before the commencement of any works.

Reason: To ensure the site is kept in a secure and tidy condition so as to safeguard environmental and visual amenity in the Kingsland Conservation Area.

8.1.30 NSC – Non-standard Condition

Before the following uses commence provision of facilities for the disposal of litter and refuse by members of the public within the site shall be made in accordance with details to be submitted to and approved by the Local Planning Authority.

- a. A3 (café)
- b. D1 (Health centre)

Reason: In order to assist the proper disposal of waste and to protect the appearance of the area generally.

8.1.31 NSC – Non-standard Condition

Notwithstanding the details hereby approved, no roof plant, including all external enclosures, machinery and other installations shall be placed upon or attached to the roof or other external surfaces of the building.

Reason: In the interests of maintaining an acceptable appearance of the building

8.1.32 NSC – Non-standard Condition

No development shall take place on the site until details of the proposed bird boxes, the number to be agreed with the Local Planning Authority, are submitted for approval in writing, by the Local Planning Authority.

Reason: To protect the amenity value and structural integrity of the canal and to prevent pollution of this watercourse.

8.1.33 NSC – Non-standard Condition

No doors or gates shall be erected in a way that enables them to be opened over or across the adjoining footways, carriageways and rights of way.

Reason: In the interests of public safety and to prevent obstruction of the public highway.

8.1.34 NSC – Non-standard Condition

The retail unit(s) hereby approved shall be provided at all times with a window display.

Reason: to ensure that the external appearance of the building is satisfactory and that it contributes to the character and appearance of the Kingsland Conservation Area.

8.1.35 NSC – Non-standard Condition

Individual housing blocks shall not be occupied until refuse stores and recycling facilities have been provided for that block in accordance with Dwg no 0668 (PL)100 and these facilities shall be permanently maintained for use by the occupiers of the building.

Reason: In order to assist the proper disposal of waste and to protect the appearance of the area generally.

8.1.36 GLA Condition

Full details of Energy Efficient Design measures for the proposed development, or any part of the site development, shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development. These details shall include building regulations – compliant modelling work demonstrating that 2006 Building Regulations requirements in relation to energy efficiency are exceeded by 10% with the use of demand reduction and/or energy efficiency measures. This applies to both domestic and non-domestic elements of the Hertford Road development. These measures exclude the carbon dioxide savings achieved with the use of combined heat and power and/or renewable.

REASON: To ensure energy efficiency for prospective occupiers.

8.1.37 NSC – Non-standard Condition

Prior to the commencement of works, a detailed feasibility scheme for the provision of Photovoltaic panels across the site shall be submitted to and approved in writing by the Local Planning Authority.

REASON: To ensure energy efficiency for prospective occupiers.

8.1.38 Hours of opening

The A3 use hereby permitted may only be carried out between 0800 to 2230 hours Mondays to Saturdays and 0830 to 2200 hours Sundays and Public Holidays.

REASON: To ensure that the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

8.1.39 NSC – Non Standard Condition

All existing ornamental features, including tether rings, metal work, warehouse winches and the like, shall be retained in situ in accordance with details to be submitted to and approved in writing by the Local Planning Authority

REASON: To ensure the heritage of the existing buildings is retained in situ in the interests of the character and appearance of this part of the Kingsland Road and Regents Canal Conservation Area.

8.1.40 NSC – Non-standard Condition

Sample panels of brickwork, demonstrating the colour, texture, face bond and pointing are to be constructed on site and approved by the Council as Local Planning Authority before the relevant parts of the work are commenced.

Reason: To ensure that the appearance of the buildings are acceptable and in the interests of the Character and appearance of the Kingsland and Regents Canal Conservation Area and the setting of the Listed Buildings.

8.1.41 NSC – Non-standard condition

Site clearance should be undertaken outside of the bird nesting season (generally accepted as being between March and July). If this is not possible, all the trees, scrub and buildings should be searched for the presence of nesting birds. If any are found the nests should be protected until such time as the young have fledged and left the nest in accordance with details to be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interest of ecology and the canal setting.

8.1.42 NSC – Non-standard condition

Reasonable endeavours shall be undertaken to locate street lights to the Kingsland Road frontage of the Commercial Wharf block hereby approved.

REASON: To safeguard visual amenity and assist with the provision of a less cluttered public realm

8.1.43 NSC – Non-standard Condition

Prior to the commencement of works, a detailed accessibility strategy, to include hours, routes, and boundary treatments demarcating the realm between public and private areas.

REASON: To ensure that the public access provision across the site is appropriate provided to safeguard the amenity of future occupiers whilst providing access for the benefit of the Borough as a whole.

RECOMENDATION B

8.2 That Conservation Area Consent be GRANTED subject to the following conditions:

8.2.1 SCB2 – Time period

The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: In order to Comply with the provisions of Section 18(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

8.2.2 NSC1 – Works of demolition

The demolition works hereby permitted shall not be carried out otherwise than as part of the completion of development for which planning permission reference 2008/3131 and Listed Building Consent 2008/3167 is granted and such demolition and development shall be carried out without interruption and in complete accordance with the plans referred to in this consent and any subsequent approval of details.

Reason: As empowered by Section 74(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and to maintain the appearance of the Kingsland and Regents Canal Conservation Areas.

RECOMMENDATION C

8.3 That Listed Building Consent be GRANTED subject to the following conditions

8.3.1 Time Limit

The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: In order to Comply with the provisions of Section 18(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

8.3.2 NSC1 – Carrying out of works

The works hereby permitted shall not be carried out otherwise than as part of the completion of development for which planning permission reference 2008/3131 and Conservation Area Consent 2008/3166 is granted and such

works shall be carried out without interruption and in complete accordance with the plans referred to in this consent and any subsequent approval of details.
Reason: As empowered by Section 74(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and to safeguard the setting of the Listed Building.

8.3.3 Details of structural protection

Detailed drawings showing the method by which the existing structure is to be supported and protected during building works so as to ensure the structural stability and integrity of all the elements which are to be retained shall be submitted to and approved by the Local Planning Authority before works commence on site.

Reason: To ensure the retention of those parts of the building which contribute to its special architectural and historic interest and to ensure they are not damaged during building works.

8.3.4 Cleaning to Brickwork

Full details of any proposed cleaning of the brickwork to retained buildings shall be submitted to and approved by the Local Planning Authority in writing prior to the commencement of any works on site. Works shall not commence until authorised in writing by the Local Planning Authority.

Reason: In order that the special architectural interest of the Kingsland Conservation Area is safeguarded.

8.3.5 Pointing treatment

Detailed drawings to show how the pointing treatment between the retained part of the development and the adjoining part of the proposed development shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the retention of those parts of the building which contribute to its special architectural and historic interest are not damaged during building works

8.3.6 Internal and external works

All new external and internal works and finishes and works of making good shall match the existing original work adjacent in respect of materials used, detailed execution and finished appearance, except where indicated otherwise on the drawings hereby approved or as required by any conditions attached to this consent.

Reason: To ensure that the special architectural or historic interest of this building is safeguarded and that the development contributes to the character and appearance of this part of the Kingsland Road and Regents Canal Conservation Area.

8.3.7 Windows

Detailed drawings and full particulars including samples of all window and door openings must be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the special architectural or historic interest of this building is safeguarded and that the development contributes to the character

and appearance of this part of the Kingsland Road and Regents Canal Conservation Area.

8.3.8 Horse Ramp

Prior to the commencement of works full details of the proposed works, including detailed drawings (1:50) and a schedule of the manner of works to make good the structure shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the special architectural or historic interest of this ramp is safeguarded and that the development contributes to the character and appearance of this part of the Kingsland Road and Regents Canal Conservation Area.

8.3.9 Approved drawings

The works hereby approved are only those specifically indicated on the drawings hereby approved or as required by any conditions attached to this consent.

Reason: To ensure that the special architectural and historic interest of the building are safeguarded and that development contributes to the character and appearance of the Kingsland Road and Regents Canal Conservation Area.

Recommendation D

8.4 That the above recommendation be subject to the applicant, the landowners and their mortgagees enter into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended) in order to secure the following matters to the satisfaction of the Interim Assistant Director of Planning and Head of Legal Services of the Council:

8.4.1 To secure the provision of 61 habitable units as affordable housing to be given over to an RSL as agreed by the Local Planning Authority. The dwelling mix comprising 2 x two bed, 16 x three bed and 23 x four bed units as the social rental element and 15x one bed and 9 x two comprising the intermediate units.

8.4.2 No more than 50% of the Open Market units to be used and/or occupied until the Affordable housing units have been transferred to an RSL as agreed by the Local Planning Authority.

8.4.3 The developer must have an active programme for recruiting and retaining adult improvers and as a minimum take on at least one adult improver per £5 million of construction contract value and provide the Council with written information documenting that programme within seven days of a written request from the Council.

8.4.4 The Developer will, through a environmental management system, provide monitoring information in relation to the Development to the Local Planning authority on the first anniversary of the occupation of the site with respect to:

- (a) energy consumption;
- (b) air quality;

- (c) waste generation and recycling;
 - (d) water use;
 - (e) biodiversity; and
 - (f) percentage of energy requirements resourced from Renewable Energy.
- 8.4.5 Residential units to be built to Lifetime Home Standards and achieve Code for Sustainable Homes Level 3 with best endeavours to be demonstrated in detailed towards Level 4 and BREEAM for Offices Level Very Good.
- 8.4.6 A contribution of £ 14,027.54 towards open, child and play space within close proximity to the site, that could include a proposal towards works under the East London Train line to the north side of the Regents Canal, east of the site but in which instance should relate to the provision of providing a lighting and safe and secure space but should not be towards works to local parks.
- 8.4.7 The developer will provide a Public Open Space plan and Public Open Space management plan prior to implementation of the development. The Public Open Space to be completed prior to the occupation of the Open Market Units.
- 8.4.8 A considerate construction and neighbourhood co-ordination group to be set up, to meet bi-monthly, the members of which are to be agreed in advance with the Local Planning Authority and minutes to be circulated by the developer to all those involved.
- 8.4.9 The developer will provide a construction management plan including a construction logistics plan with details of vehicle types, movements and timings.
- 8.4.10 The developer will provide a servicing arrangements and hours of use plan of various elements that will be agreed, to be in use at the opening of the development, and modified in line with negotiated targets with Council Traffic Officers from time to time.
- 8.4.11 On occupation, the owner should provide the residents with a handbook detailing local public transport services and walking routes to schools in the area, to help achieve sustainable development.
- 8.4.12 The developer is required to provide one car club bay for use by residents of the development to be located in the basement car park at Hertford Road.
- 8.4.13 Prior to implementation, to submit and thereafter resubmit until approved, a phasing plan to include details of the phasing to the open spaces and public access along the Basin as well as the general construction across the site.
- 8.4.14 Contribution of £549,654.00 towards Education calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (2006) with child yield information based on the GLA 'DMAG Briefing Note' 2005/25 (updated in May 2006) using Wandsworth survey data as the best available proxy for inner London.

- 8.4.15 Contribution of £47,325.51 towards Dalston Library based on calculation within the Supplementary Planning Document.
- 8.4.16 Contribution of £450,529.39 towards environmental improvement works.
- 8.4.17 Contribution of £549,564.00 towards public art to include a program of engagement and commission for the Stable Yard or as otherwise agreed with the Council to bear close relationship with the proposal site.
- 8.4.18 Contribution of £25,000.00 towards contribute to the 'Cycle Route Implementation and Stakeholder Plan' (CRISP) proposals by a contribution towards these improvements, as well as two chicanes required to encourage safer cycling along the towpath, to and from the development
- 8.4.19 An appropriate percentage of residential units permitted by any subsequent planning permission are allocated as Affordable Housing such percentage to be applied to the aggregate total of the residential units permitted by both the Planning Permission and the Subsequent Planning Permission.
- 8.4.20 The applicant is to carry out all works in accordance with the National Considerate Constructors Scheme.
- 8.4.21 The development shall be 'car free'. The developer shall notify the occupants of the residential units that they shall not be able to obtain any residential parking permit, with the exception of blue badge holders.
- 8.4.22 Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
- 8.4.23 The signing of a Section 278 legal agreement under the Highways Act to pay the Council £103,760.98 to reinstate and improve the footway adjacent to the boundary of the site, and include if required, any access to the Highway, measures for street furniture relocation, carriageway markings, access and visibility safety requirements. Unavoidable works required to be undertaken by Statutory Services will not be included in London Borough of Hackney estimate or payment.

9. REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan (1995) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission:

EQ1-Development Requirements, EQ12-Protection of Conservation Areas, EQ13-Demolition in Conservation Areas, EQ18-Setting of listed buildings, EQ28-London Squares, EQ31-Trees, EQ48-Designing out Crime, H03-Other sites for housing, H07-Redevelopment of housing, H017-Residential accommodation for care, E12-Office Development, E18-Planning Standards, TR19-Parking standards, OS2-Open spaces and parks, OS5-Development affecting open spaces and parks, OS10-Children's Play areas, OS17-Wildlife

Habitats.

10. INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.24 Naming and Numbering
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act 2005
- SI.28 Refuse Storage and Disposal Arrangements
- SI.33 Landscaping
- NSEHI The development of this site is likely to damage structural remains. The applicant should there submit detailed proposals in the form of a project design for building recording. The design should be in accordance with the appropriate English Heritage guidelines.
- NSBWI The applicant/developer is advised to contact one of the third party works engineers on 020 7985 7200 in order to ensure that any necessary consents are obtained and that the works comply with British Waterways: 'Code of Practice for Works affecting British Waterways'.
- NSBWI Any closures of the towpath during the construction must be agreed in writing with BW before development commences.
- NSBWI The applicant is advised that any discharge of surface water in to the Regents Canal via Kingsland Basin requires British Waterway's written permission before development commences.
- NSI The pontoons and moorings shown on the drawings submitted are not party to this consent. Only those provisions that relate to the existing pontoon to the west side of the Basin are subject of this permission.
- NSI Please note that the Highways department **must** be advised when payment has been made and a minimum of **six months** lead in to be given by the developer before highway works are expected to start on site. The street lighting team/department **must** also have **six months** lead in time prior to any works commencing on the development to enable them to carry out any required electrical works on the lighting columns etc.



Signed..... **Date: 1 June 2009**

Steve Douglas
CORPORATE DIRECTOR, NEIGHBOURHOODS & REGENERATION

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP (1995) and the London Plan (2004 with Alterations Feb 2008)	Gillian Nicks (020 8356 8350)	263 Mare Street, London E8 3HT



ADDRESS: 30 Benthall Road, London N16 7BX	
<p>APPLICATION NUMBER: 2009/0706</p> <p>DRAWING NUMBERS: 08.341.1revD, 2revC, 3revB, 4revB, 5, 6revA, 7revA, 8, 9revA</p> <p>Design and Access Statement March 2009 (Revised March 2009)</p> <p>WARD: Hackney Downs</p>	<p>REPORT AUTHOR: Graham Callam</p> <hr/> <p>VALID DATE: 24/04/2009</p>
<p>APPLICANT: Mr Patrick Donnelly Flat 6 160 Hanley Road, London, N4 3DL</p>	<p>AGENT: Michael Sierens Associates 36 Orford Road Walthamstow London E17 9NJ</p>
<p>PROPOSAL: Retention of 1 x 4 bedrooms flat at basement and ground floor level and 2 x 2 bedroom flats at first and second floor levels. Removal of unauthorised roof extension and replacement with twin hipped roof with front and rear roof lights. Removal of studios unit at roof level and use of roof space in conjunction with second floor flat Removal of unauthorised flat roof above rear addition and replacement with pitched roof Retention (with alterations) of rear extension at second floor level.</p>	
<p>POST SUBMISSION REVISIONS: Correction of existing plans to show existing window at second floor level, omission of proposed rear dormer window and replacement with 2 x roof light windows, reduction in height of chimney stack as original and as proposed (amendments received 27/05/2009)</p>	
<p>RECOMMENDATION SUMMARY: Grant conditional planning permission.</p>	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

CPZ			No
Conservation Area			No
Listed Building (Statutory)			No
Listed Building (Local)			No
DEA			No
LAND USE DETAILS:	Use Class	Use Description	Floorspace
Existing	C3	4 x self contained flats (unauthorised)	304sqm
Proposed	C3	3 x self contained flats	288sqm

RESIDENTIAL USE DETAILS:	Residential Type	No of Bedrooms per Unit				
		1	2	3	4	5+
Existing	Flats	0	2	0	1	0
	Dwellings	0	0	0	0	0
	Studios	1	0	0	0	0
Proposed	Flats	0	2	0	1	0
	Dwellings	0	0	0	0	0
	Studio	0	0	0	0	0
Total Existing	4					
Total Proposed	3					

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	0
Proposed	0	0	0

CASE OFFICER'S REPORT

1 SITE DESCRIPTION

- 1.1 The application site is located on the east side of Benthall Road, which is made up primarily of two-storey, Victorian terraced properties, with several three storey Victorian properties located with the terraces. Number 30 is one of the three storey properties, located at the centre of the terrace and features a twin hipped roof which has been extensively extended. The property has also been enlarged at basement level and the front elevation and front garden has been altered to provide a front lightwell. Similar properties are located at the southern and northern ends of the terrace, although the original roof forms of these appear to remain largely intact.

2 CONSERVATION IMPLICATIONS

- 2.1 The application site does not have any conservation implications.

3 HISTORY

- 3.1 06/07/2007 – Planning Enforcement Notice SERVED relating to excavation of the basement and creation of a lightwell, erection of roof extension and creation of a flat roof and extension to the roof of the rear addition of the property (ref 2006/0447/ENF). Appeal ref APP/U5360/C/07/2052071 upheld with reference to works at basement level and dismissed with regard to all other works (decision date 11/02/2008).
- 3.2 18/08/2008 - Planning application WITHDRAWN for retention of the conversion of a single dwelling house to create 4 self-contained flats (comprising 1 x 4 bed flat, 2 x

2 bed flats and 1 x studio flat) and retention of roof extensions to the rear elevation (ref 2008/1624).

- 3.3 04/02/2009 - Planning application WITHDRAWN for retention of the conversion of the property into 4 self-contained flats (comprising 1 X 4 bed flat, 2 X 2 bed flats and 1 X studio flat) and retention of roof extensions to the rear (ref 2008/3106).
- 3.4 19/03/2009 – Certificate of lawfulness application WITHDRAWN for retention of existing roof extensions and alterations (ref 2008/3108).
- 3.5 17/03/2009 - Planning application WITHDRAWN for change of use of the property from four self-contained flat to a single dwelling house including the retention of roof extensions to the rear (ref 2009/0058).

4 CONSULTATIONS

4.1 Date Statutory Consultation Period Started: 29/04/2009.

4.2 Date Statutory Consultation Period Ended: 29/05/2009.

4.3 Site Notice: Yes.

4.4 Press Advert: No.

4.5 Neighbours: 72 letters of consultation were sent to owners/occupiers of surrounding properties and complainants on the enforcement case: 12 letters of objection have been received.

4.5.1 The objections can be summarised as follows:

- Appearance of rear dormer, second floor extension, chimney stacks, pipe-work and roof lights
- Overlooking, including from original windows
- Loss of privacy
- Inability of property to accommodate the proposed flats
- Impact on surrounding gardens
- Possibility of housing staircase within the second floor extension within the envelope of the building.

4.5.2 Objections were also raised regarding the following matters:

- Insufficient information provided with the application
- Lack of private consultation by the developer
- Unacceptable appearance of the building in its current form
- Previous use of the building as a House in Multiple Occupation
- Non compliance with building regulations

4.5.3 With regard to the first two matters, it is considered that the planning application process has been carried out correctly and the information provided is sufficient to

validate the application. The other matters either do not relate to the current proposal or are not material planning considerations.

4.6 Statutory Consultees:

4.6.1 None

4.6.3 Local Groups

4.6.4 None

4.7 Council Departments

4.7.1 Private Sector Housing: No response received.

4.7.2 Highways and Transportation: No response received.

4.7.3 Waste Management: No objection.

4.8 Other

4.8.1 Thames Water: No response received.

5 POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995)

EQ1 (Development Requirements)
HO3 (Other Sites for Housing)
HO12 (Conversions)

5.2 London Plan (2008)

3A.1 (Increasing London's Supply of Housing)
3A.2 (Borough Housing Targets)
3A.5 (Housing Choice)

5.3 National Planning Policies

PPS 1: Delivering Sustainable Development
PPS 3: Housing

5.4 Supplementary Planning Guidance

Residential Extensions and Alterations SPD

6 **COMMENT**

6.1 **Background**

- 6.1.1 In October 2006, a complaint was lodged to the Council relating to unauthorised works carried out at 30 Benthall Road, comprising roof extension, works to rear roof and excavation of basement.
- 6.1.2 Following investigation by the Planning Service, an Enforcement Notice was served (on 06/07/2007) relating to excavation of the basement and creation of a lightwell, erection of roof extension and creation of a flat roof and extension to the roof of the rear addition of the property. The subsequent appeal was dismissed, with the Inspector allowing the retention of works at basement level but requiring the removal of all other works as required by the enforcement notice (decision date 11/02/2008).
- 6.1.3 The current application seeks to make amendments to the property to provide an acceptable form of development in light of the Inspector's decision together with the retention of the conversion of the property to flats, including the removal of one studio unit and incorporation of additional floorspace to an existing flat.
- 6.1.4 The proposal involves the removal of the unauthorised roof extension above the main body of the building and replacement with a hipped roof of similar design to that originally in place at the property, replacement of the flat roof created above the back addition with a pitched roof of similar design to that originally in place at the property and replacement of the existing flat roofed rear extension at second floor level above the back addition with a similar extension measuring 3.1m wide x 0.95m deep x 2.4m high at the highest point. This extension would have a pitched section, would omit an existing rear window and would be finished in render.
- 6.1.5 The proposal seeks to retain 1 x 4 bedroom flat at basement and ground floor level, 1 x 2 bedroom flat at first floor level and 1 x 2 bedroom flat at second floor and roof space level. The existing unauthorised studio unit at roof level would be omitted under the current proposal and the space created at roof level of the twin hipped roof would form part of the second floor flat. This would receive light from 2 x roof lights in the front and rear slopes of the roof.
- 6.1.6 The proposal has been amended during the course of the application to replace a proposed rear dormer extension in the twin hipped roof with 2 x roof lights and to reduce the height of the chimney stacks back to a level similar to the original.

6.2 **Land Use**

- 6.2.1 The subject property is a large sized residential type property with original floor space in excess of 180sqm. Although the property appears to have been in some form of House of Multiple Occupation use prior to the unauthorised development, it is considered that the reversion of the use of the property to its original use as C3

dwelling houses is considered acceptable. The proposal would retain a large family sized unit (4+ bedrooms) with access to private external amenity space in excess of 30sqm. On this basis it is considered that the proposal is acceptable in land use terms.

6.3 Design

- 6.3.1 The proposed development would create a roof form similar to that of the original property and other three storey properties in the terrace in terms of design and materials, which is considered to be appropriate. The proposal involves the installation of 2 x roof lights in the front and rear roof slopes which are considered to be modest features which do not have a significant impact upon the character and appearance of the subject property or surrounding streetscene. On this basis it is considered that the proposed roof of the main body of the building is acceptable in design terms.
- 6.3.2 The proposal would replace the existing unauthorised flat roof above the back addition of the property with a pitched roof of similar design and materials to that of the original property and others in the terrace. It is considered that this would be an appropriate form of development which would respect the character and appearance of the subject property and terrace of which it forms part.
- 6.3.3 The proposed extension at second floor level would amend an extension which was required to be removed by the enforcement notice. With regard to this element of the scheme the only comment made in the Inspector's report is; 'the flat top to the wing, the additional small flat roofed extension that has been added at that level, and the large main roof extension all combine to produce a series of rectangular box shapes to the rear which are wholly out of keeping both with the host building and the terrace.' In light of the proposed reversion of the main roof and roof of the back addition to their original forms, together with the modest size and use of lightweight materials it is considered that proposed alterations to the second floor extension would create an acceptable form of development which would be subservient to the original property. Furthermore the extension would be located in a position with no visibility from the public realm and views from the rear would be partially restricted by the presence of the back addition, particularly when viewed from ground level. On this basis it is considered that the proposed extension is of an acceptable design, materials and position which would respect the character and appearance of the subject property and surrounding streetscene. It is noted that objections have been received suggesting that the staircase housed by the extension could be housed within the envelope of the original building. However, as the extension is considered to be acceptable in design terms it is not considered necessary to require this.
- 6.3.4 The proposal has been amended during the course of the application to omit a rear dormer to the roof of the main body of the building and lower the level of the chimney stacks to be of a level similar to that of the original building. It is considered that as these alterations would create a development closer in appearance to the original property that these amendments are acceptable.

6.3.5 Objections have been received regarding the appearance of windows which were in place prior to the unauthorised development the application seeks to rectify. These windows appear to be established features of the property and their appearance cannot be considered at this stage. Furthermore, objections have been received regarding the appearance of the external pipe work on the property. Most of this appears to have been in place prior to the unauthorised development, and any changes to this are considered to be of a modest nature which does not significantly impact upon the character and appearance of the subject property or surrounding streetscene.

6.4 Amenity

6.4.1 Objections have been received relating to overlooking from the proposed dormer window to the rear which has now been omitted and replaced with 2 x roof lights. It is not considered that the installation of roof lights in the front and rear roof slopes would result in a level of overlooking significantly over and above that afforded from original windows in the property. Furthermore an existing window in the second floor extension to be retained has been omitted, thus reducing possibilities for overlooking. On this basis it is not considered that the proposal would result in an unacceptable level of overlooking. An objection has been received relating to overlooking from original windows in the property. These would appear to have been residential windows since the construction of the property and as such it is not considered that their continued use as residential windows results in any increase in levels of overlooking.

6.4.2 The proposed amended second floor extension is of a size, design and position which is not considered to result in an unacceptable loss of light or outlook to any neighbouring window. The other proposed alterations to the property would facilitate the reversion of the property to its original form and as such would result in a provision of daylight and outlook to neighbouring properties similar to that established prior to the commencement of the unauthorised alterations. On this basis it is considered that the proposed development would not have an unacceptable detrimental impact upon the amenity of adjoining occupiers.

6.5 Standard of accommodation

6.5.1 The self contained flats provided by the proposal would all be of suitable layout with adequately sized rooms and acceptable supply of natural light and ventilation. The family sized unit at ground floor and basement level would have private access to the rear garden which would provide an adequate area of external amenity space. The loft room created, which would form part of the second floor flat, would have a low ceiling height across part of the floor area. However this room is indicated as a 'gallery' and is provided in addition to the other rooms and floor areas required to provide an acceptable standard of accommodation. On this basis it is considered that the proposed units would all provide an acceptable standard of accommodation.

7 CONCLUSION

- 7.1 The proposal would be of a suitable land use, would provide an acceptable standard of accommodation and would be of size, design, position and materials which would respect the character and appearance of the subject property and surrounding streetscene and would not have an unacceptable detrimental impact upon the amenity of adjoining occupiers. On this basis the proposal is considered to conform to the policies of the London Borough of Hackney Unitary Development Plan 1995 and the London Plan 2008.

8 RECOMMENDATION

- 8.1 Grant planning permission subject to the following conditions:

8.2 CONDITIONS:

- 1 Commencement within 3 years (SCBN1)

The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

REASON: In order to comply with the provisions of the Town and Country Planning Act 1990 as amended.

- 2 Development only in Accordance with Submitted Plans (SCBO)

The Development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

- 3 Materials to Match (SCM1)

All new external finishes in respect of all the works hereby approved (and any other incidental works to be carried out in this connection) shall match the original building in respect of materials used, detailed execution and finished appearance.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.3 INFORMATIVES

The following informatives should be added:

You are reminded that the site is the subject of an Enforcement Notice and it would be in your interest to commence the works (subject to conditions) without delay to avoid further prosecution.

Reasons for Approval:

The following policies contained in the Hackney Unitary Development Plan 1995 and the London Plan 2008 are relevant to the approved development and were considered by this Council in reaching the decision to grant planning permission: EQ1 (Development Requirements), HO3 (Other Sites for Housing), HO12 (Conversions), 3A.1 (Increasing London's Supply of Housing), 3A.2 (Borough Housing Targets) and 3A.5 (Housing Choice)

- SI.1 Building Control
- SI.3 Sanitary, Ventilation, and Drainage Arrangements
- SI.7 Hours of Building Works
- SI.24 Naming and Numbering



Signed..... Date: 1 June 2009

Steve Douglas
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS & REGENERATION

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP 1995 and the London Plan 2008	Graham Callam Fast Track Team 020 8356 8275	263 Mare Street, E8 3HT



Figure 1: Front elevation



Figure 2: Rear elevation



Figure 3: Rear elevation



Figure 4: View south along the rear of the terrace



Figure 5: View north along the rear of the terrace



Figure 6: Subject property in context of adjoining properties



Figure 7: Roof extension viewed from the north



Figure 8: Roof extension viewed from the south

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ADDRESS: 57-63 and 67-71 Kingsland Road, London, E2 8AG	
WARD: Haggerston	REPORT AUTHOR: Rokos Frangos
APPLICATION NUMBER: 2009/0691	VALID DATE: 31/03/2009
DRAWING NUMBERS: 5368/SK/3.300, 3.301 and 4.00 5368/P/3.00, 3.01 A, 3.02 to 3.11 1171/01 rev. E, 02 rev. A, 03 rev. E, 04 to 06; JKK3371 11 to 14 (all rev. A)	SUPPORTING DOCUMENTS: Daylight and Sunlight Report, Design and Access Statement, Energy Feasibility Study, [Report] 'Noise Aspects', Planning Statement, Student Accommodation Report, Sustainability Statement and Predictive BREEAM Multi-Residential Assessment, Transport Assessment.
APPLICANT: Goldcrest Homes (Downs Development Ltd) c/o agent	AGENT: CgMs Consulting Morley House 26 Holborn Viaduct London EC1A 2AT
PROPOSAL: Redevelopment of site to comprise a part-three-, part-five-storey building containing 255 units of student accommodation and 213 square metres of retail space (use class A1) on ground floor, together with associated landscaping, cycle parking and outdoor amenity space.	
POST-SUBMISSION REVISIONS: Enlargement of bin store and reconfiguration of cycle storage.	
RECOMMENDATION SUMMARY: Grant conditional planning permission, subject to Section 106 agreement.	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

	(Yes)	(No)
CPZ	X	
Conservation Area	X	
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA	X	

LAND USE DETAILS:	Use Class	Use Description	Floorspace
Existing	<i>Sui Generis</i>	Tool hire business	443 sq.m.
	A2	Job Centre	1479 sq.m.
Proposed	A1	Retail	212.5 sq.m.

	C1	Student accommodation	6,661.4 sq.m.
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PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	0
Proposed	0	0	147

CASE OFFICER'S REPORT

1. SITE DESCRIPTION

- 1.1 The application site is located at the Shoreditch end of Kingsland Road, in the south of the borough. The site itself consists of a three-storey building (nos. 57-63) extending westwards to span the breadth of the site, formerly used as a Job Centre, and a two-storey building (nos. 67-71) formerly used as a plant-hire business.
- 1.2 To the west, north-west and south-west, the application site is surrounded by the Hackney Community College campus. To the immediate south of the site, nos. 53-55 are occupied by a plumbing/heating/bathroom-supplier, with residential above, and nos. 41-49 by a motorbike dealership on the ground floor with flats and live/work units above. The unit at no. 65, sandwiched between the two Kingsland-Road-facing elements of the application site, is a smaller three-storey building with a Vietnamese café on the ground floor and residential above. Opposite the application site is one of Kingsland Road's most architecturally imposing buildings, no.76-96, a five-storey Victorian warehouse building converted to office units, flats and live/work units in 2001 and known since then as Union Central.
- 1.3 Beyond the application site's neighbours, the surrounding area consists mainly of buildings of between three and five storeys from a variety of eras within the grain of a Victorian street pattern, mostly comprising commercial uses on the ground floor and residential or live/work units on the floors above. Nightlife uses predominate further south along Kingsland Road.
- 1.4 The site is located less than a hundred metres away from Hoxton Overground station. When it opens next year, it will contribute towards to the site achieving the highest possible Public Transport Accessibility Level (PTAL) of 6a. Kingsland Road is already serviced by frequent 24-hour bus routes to the City, West End, South Bank and other parts of the borough. Furthermore, Old Street Underground and suburban train station is approximately ten minutes' walk away.
- 1.5 Aside from its location in the Kingsland conservation area, the application site falls within a Defined Employment Area (DEA). There are no other UDP designations.

2. CONSERVATION IMPLICATIONS

- 2.1 No statutorily listed or locally listed buildings are affected by the application. The site is located in the Kingsland conservation area.

3. HISTORY

- 3.1 30/09/2008: Planning permission granted for demolition of existing buildings and the erection of part-three-, part-four- and part-five-storey buildings to create eighty-five residential units and 513 square metres of retail space (use class A1), together with associated landscaping & storage (ref. 2008/0943).
- 3.2 28/02/2008: Planning permission refused for demolition of existing buildings and erection of part-three-, part-four- and part-five-storey buildings comprising four residential blocks containing eighty-five residential units, with 513 square metres retail floor space at ground-floor level on Kingsland Road frontage, and associated landscaping (ref. 2007/2802). (Reasons for refusal: height and scale of buildings; poor residential mix and layout.)

4. CONSULTATIONS

- 4.1 Date statutory consultation period started: 03/04/2009
- 4.2 Date statutory consultation period ended: 18/05/2009
- 4.3 Site notice: Yes
- 4.4 Press advert: Yes

4.5 Neighbours

318 surrounding occupiers have been consulted by personal letter. One letter of objection, one neutral letter and two letters of support have been received.

The objection is on the following basis:

- Potential for noise arising from incoming student population
- The five-storey building will result in loss of light to – and outlook from – Union Central
- ‘Considerable’ noise disturbance from construction.

4.6 Statutory Consultees

- 4.6.1 Thames Water: Recommendations made regarding surface water drainage. There are public sewers crossing this site, and no building works will be permitted within three metres of the sewers without Thames Water’s approval. With regard to water infrastructure, no objection.

4.7 Local Consultees

4.7.1 London Fire and Emergency Planning Authority: No response received.

4.7.2 Invest in Hackney: Invest in Hackney do not support the above application. The loss of commercial land in one of the borough's most attractive business destinations will damage the local economy and not make the most of the economic opportunities afforded to the immediate area by the new Haggerston [Hoxton?] Tube Station on the East London Line [Overground], due to open next year.

The site certainly has existing commercial potential given its close proximity to the city, good public transport links and the number of businesses located in the immediate vicinity. According to our most recent business data, over ninety businesses, employing over 800 people, are located within 150 metres of the site. Around a third of the employment is in high-street retail on Kingsland Road, showing that there is a significant market demand beyond just the retail units. The majority are small businesses employing 1-10 people based around a variety of industries such as cleaning and maintenance Services, employment agencies, art galleries and dealers, charitable and voluntary organisations, web design agencies, etc.

Given that this area will most likely become more commercially viable as a business destination with the arrival of the East London Line in 2012 [2010?], Invest in Hackney consider it a missed opportunity for the site not to provide a significant amount of commercial space. A possible configuration could be to retain the retail frontage and include two floors of commercial space with a flexible use class, but primarily for B1 users, with unit sizes of no larger than 2000 square feet and a relatively high-specification finish. This would be attractive to a number of small-business sectors that have already demonstrated their interest in the immediate area.

4.7.3 Kingsland Conservation Area Advisory Committee (CAAC): No objection.

4.7.4 Hackney PCT (NHS): No response received.

4.7.5 Transport for London (TfL): No response received.

4.8 Other Council Departments

4.8.1 Sustainability and Design: The proposal is thought to be an appropriate and studied response to the site context and the design brief. It maintains the morphology of the historic development, in that it creates an internalised courtyard/mews space with its primary entrance from a gateway on Kingsland Road. This model of development and layout is thought to be an appropriate response to the site. In creating an active ground floor (commercial and retail) all along its Kingsland Road frontage, the proposal enhances the level of activity on the street.

The height and massing of the proposed development is considered to be appropriate; the massing of the proposed 67-71 Kingsland-Road block enhances the sense of enclosure of Kingsland Road. Furthermore, the height of the block, the eaves line and the ground-floor line is consistent with adjoining historic buildings at 73-75 Kingsland Road. The massing and setting-back of the blocks allow for daylight access into the courtyard/mews.

The elevational articulation of the Kingsland Road blocks is based on the architectural expression of the historical buildings, in that it employs the use of

- narrow vertical bays that pick up on the strong vertical emphasis and narrow plot frontages, predominant in the historic buildings of the area
- paired windows, which successively diminish in grandeur moving from the lower to upper floors
- a proportion of windows comparable to the historic buildings
- a distinctive roof element
- traditional materials (yellow stock brick)
- a continuation of the building line, ground-floor line and the eaves line (in the case of 67-71 Kingsland Road)
- shopfronts designed in accordance with the Hackney Shopfront Design guide (by using pilasters, stall-risers, and retaining the traditional size of the fascia etc.).

The mews block uses a contemporary architectural expression composed in a contemporary palette of materials: western red cedar, aluminium, glass etc., which is in contrast to the traditional Kingsland Road elevation, and is thought to be an appropriate response to the 'external' and 'internal' context of the site. Finally, the proposal provides a varied and clearly characterised set of outdoor amenity spaces.

In conclusion, the proposal

- employs the traditional 'courtyard and gateway' layout, thus reinforcing the traditional character of the conservation area
- is appropriately scaled to integrate into the setting of the conservation area, particularly the street frontage along Kingsland Road
- uses a palette of materials that is sympathetic to the historic buildings of the conservation area.
- creates varied and clearly defined amenity spaces
- enhances the level of activity on the street.

We therefore recommend this proposal for approval, subject to all external materials and their details.

4.8.2 Highways: Kingsland Road is a TfL-maintained road; consult them.

4.8.3 Traffic and Transport: The proposed development will not result in any serious impact on the borough's transport infrastructure. The proposal is car-free and has excellent public transport accessibility.

- 4.8.4 Waste Management: This application requires over twenty-five litres of waste storage, i.e. approximately twenty-four 1100-litre Euro bins (based on a weekly collection). The design and access statement shows an area with a capacity for only ten bins, which falls short by over half the requirement. Although extra collections can be negotiated, these would have to be paid for. They will also need space for a further four 1100-litre euro bins for their recycling. A similar situation exists [at the new student accommodation block] in Pitfield Street, where the development fell short of the required storage space and they now need daily collections to keep up with the waste generated there – and they are arguing with the fact that they have to pay for these extra collections.
- 4.8.5 Pollution Control: Officers are satisfied that the internal noise level will be designed to the good standard of BS8233:1999 for the façade facing Kingsland Road and are also satisfied with the proposed internal LAMAx of 45dB.
- 4.8.6 Landscape and Tree Officer: No response received.

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995) (saved)

- EQ1 - Development Requirements
- EQ12 - Protection of Conservation Areas
- R3 - Development within Shopping Frontages
- R4 - Local shops
- EQ40 - Noise Control
- TR19 - Planning Standards

5.2 Supplementary Planning Guidance (SPG)

- SPG1 - New Residential Developments
- SPG11 - Access For People With Disabilities
- SPG16 - Interim Housing Standards

5.3 Local Development Framework (LDF): Supplementary Planning Document

- SPD - Planning Contributions (2006)

5.4 London Plan (Consolidated with Alterations since 2004)

- 2A.1 - Sustainability criteria
- 2A.7 - Areas for Regeneration
- 3A.18 - Protection and enhancement of social infrastructure and community facilities
- 3A.25 - Higher and further education
- 3C.1 - Integrating transport and development

- 3C.2 - Matching development to transport capacity
- 3C.17 - Tackling congestion and reducing traffic
- 4A.1 - Tackling climate change
- 4A.3 - Sustainable design and construction
- 4A.4 - Energy assessment
- 4A.6 - Decentralised energy: heating, cooling and power
- 4A.7 - Renewable energy
- 4A.11 - Living roofs and walls
- 4A.14 - Sustainable drainage
- 4A.16 - Water supplies and resources
- 4B.1 - Design principles for a compact city
- 4B.2 - Promoting world-class architecture and design
- 4B.3 - Enhancing the quality of the public realm

5.5 National Planning Policies

- PPS1 - Delivering Sustainable Development
- PPS3 - Housing
- PPG13 - Transport

6. COMMENT

Planning permission is sought for the demolition of the existing buildings on site and the erection of a part-three-, part-five-storey building containing accommodation for 255 students, with ancillary student facilities such as a café and laundrette, and associated landscaping, cycle parking and outdoor amenity space, together with 213 square metres of retail space (use class A1) on the ground floor.

The student accommodation consists of 173 (standard) studios, 39 'premium' studios, 13 wheelchair-accessible units and 30 cluster units.

The proposed development is made up of three buildings, the envelopes of which correspond in terms of height, scale and massing with those approved for residential use in the previous scheme (ref. 2008/0943).

Block D/E extends westwards from 57-63 Kingsland Road across the entire width of the site. Its ground floor contains the retail unit, which is sufficiently large to be subdivided into two or three smaller units. Student accommodation is arranged above this and on the ground floor to the rear of the retail unit. The ground floor and second floor also have 'communal hotspots' (i.e. communal students' areas, with wi-fi).

Block C comprises 67-71 Kingsland Road on the ground floor, winding around 73-75 Kingsland Road to the rear. The ground-floor unit of this building will be a 223-square-metre café/coffee shop solely for students' use, with a communal area, office, small cycle-storage area and refuse-storage area to the rear.

Block A/B is to the rear (i.e. west) of Block C, and to the north of Block D/E. As well as the student accommodation units, Block A/B has another communal area (on the

ground floor), together with the main cycle storage room, service area and laundry room.

Blocks A/B and D/E appear as two parallel wings, separated by a college-style 'quad' (i.e. a formal rectangular landscaped courtyard). A further strip of landscaping comprising a lavender walk (i.e. lavender bushes alongside a path) is situated to the south of Block D/E. All three buildings contain roof decks in various positions; however, Block A/B contains a more substantial roof garden designed to include a barbecue area, herb gardens, smoking area, and bamboo screening.

The principal difference between the current proposal and its approved processor is the main use (previously residential, currently student accommodation).

Considerations

The main considerations relevant to this application are:

- 6.1 The principle of the development
- 6.2 Design, appearance and sustainability of the proposed development
- 6.3 Potential impact on the amenity of nearby residents
- 6.4 Acceptability of the standard of living accommodation
- 6.5 Traffic and transport considerations and car parking provision
- 6.6 Consideration of objections

Each of these considerations is discussed in turn below.

6.1 The principle of the development

- 6.1.1 The proposal entails the loss of use-class A2 space (the Job Centre) and *sui generis* space (the plant-hire business) in a Defined Employment Area (DEA) and the erection of student accommodation (use class C1) and a retail unit (use class A1) in its place. The Council traditionally resists the loss of employment-generating floorspace, and in Defined Employment Areas (DEAs) will normally seek the reprovion of employment-generating floorspace of an equivalent amount being redeveloped.
- 6.1.2 However, although the application site is located in a DEA, the Council has taken the view that the site's most recent uses (the Job Centre and plant-hire business) do not fall within the definition of employment-generating use classes (which are primarily B1, B2 and B8). Accordingly, in its approval of the previous scheme to redevelop the site under ref. 2008/0943, the Council has already accepted the loss of the use-class A2 and *sui generis* floorspace, as these uses are not protected by UDP employment policies.

- 6.1.3 Despite the previous approval, the loss of employment-generating land is being resisted by Invest in Hackney. However, notwithstanding the arguments raised in their objection, it is considered that in determining the acceptability of the proposed uses, the previous planning approval constitutes an overriding material planning consideration. Furthermore, there has been no change in local, regional and national policy since the previous approval to constitute a basis for a change in officers' position. Therefore it is considered that the loss of space within the aforementioned use classes remains acceptable.
- 6.1.4 Student accommodation is covered by policy HO15 ('Residential Hostels') in the Hackney UDP (1995), which has provisions pertaining to the density of accommodation in relation to the amenity of neighbouring occupiers, the standard of accommodation itself and the concentration of hostels or hostel-type accommodation in a given area. The London Plan (Consolidated with Alterations since 2004) also includes policy 3A.25 ('Higher and further education'), which requires local authorities to help "ensure that the needs of the education sectors are addressed" and that this includes "supporting the provision of student accommodation."
- 6.1.5 Although the application site is not located within the immediate environs of any of London's institutions of higher education, the proposed development is within easy travelling distance of many of them. If approved, the attached Section 106 legal agreement would secure the accommodation for use exclusively by students in higher education, tying the accommodation to London's universities, or other educational establishments to be approved by the Council. Therefore, it is considered that the lack of higher education establishments in immediate proximity to the application site does not render the application site unsuitable.
- 6.1.6 In light of the above considerations, and in the absence of any competing land designations in the UDP, the use of the site for student accommodation is considered acceptable in principle, as there is no local, regional or national policy basis that would preclude that use on the application site.
- 6.1.7 Overall, therefore, it is considered that there is no policy basis sufficient to preclude the erection of the proposed development on this site in principle, and it is considered that the proposal is acceptable in this regard.

6.2 Design, appearance and sustainability of the proposed development

- 6.2.1 Before commencing consideration of the design and appearance of the proposed development, the application site's designation as part of a conservation area requires the local planning authority to assess proposals to demolish any building in the conservation area against the criteria set out in Planning Policy Guidance (PPG) 15: Planning and the Historic Environment, which indicates that the general presumption should be in favour of retaining buildings that make a positive contribution to the character and appearance of a conservation area. The criteria are, in essence, the condition of the

building and the cost of its repair and maintenance in relation to both its importance and the value derived from its continued use; the adequacy of efforts to retain the building in use, and the merits of alternative proposals for the site.

- 6.2.2 It is considered that the existing structures on the application site meet two of these tests for demolition, in that the condition of the buildings is poor and the cost of repair and maintenance would be disproportionate to the importance and value that would be derived from their continued use; and that the aesthetic merits of the proposed development – to be discussed in the paragraphs that follow – outweigh those of the existing buildings.
- 6.2.3 Furthermore, it is considered that the existing buildings do not make a positive contribution to the character and appearance of the conservation area, on account of their lack of architectural merit and period detail, and their general state of deteriorating repair.
- 6.2.4 Finally, it should be borne in mind that the Council has already granted conservation area consent at the same time as it granted planning permission for the previous scheme (refs. 2008/0943 (planning application) and 2008/0946 (conservation area consent)), and that the granting of the latter was not tied by condition to the planning permission with which it was determined. The demolition of these buildings is therefore considered acceptable.
- 6.2.5 The proposed development adopts the same height, bulk and massing as its predecessor (ref. 2008/0943). It remains contemporary in style, with a materials palette that comprises a Leicester multi-cream stock brick (or similar) to the Kingsland Road elevations, with zinc window surrounds and preweathered zinc reveal panels on the top floor. The quad-facing elevations are treated in white render and timber cladding, with the introduction of western red cedar timber shingles on Block A/B and white engineering bricks (or similar) on the north-facing ground floor of Block D/E.
- 6.2.6 The proposed buildings' front elevations are considered to be appropriate to their context. The detailed design in general is concurrent with contemporary architectural style, whilst the buildings' restrained materials palette and relative simplicity give them a discreet appearance that fits in comfortably with their surroundings. The proposed development is considered to enhance the character and appearance of the streetscene and conservation area, not only when judged against the existing buildings but also in absolute terms.
- 6.2.7 The proposal's renewable energy measures consist of a combination of gas combined heat and power (CHP) and solar hot-water-heating, which would achieve a reduction in carbon dioxide emissions of twenty-eight per cent, thereby meeting the London Plan's reduction target. It is intended that the proposed development achieves a BREEAM (Multi-Residential) rating of 'Very Good' and a Section 106 head of terms is recommended in order to secure this. The proposed building includes limited provision for green roofs, as well as provision for rainwater harvesting.

6.2.8 Overall, it is considered that the proposed design complies with local, regional and national policies and is of sufficient quality to warrant support.

6.3 Potential impact on the amenity of nearby residents

6.3.1 The application site is surrounded in large part by school buildings. The only habitable rooms facing each other are from the front elevation of the proposed development across the street to Union Central (76-96 Kingsland Road).

6.3.2 The distance between the proposed elevations and Union Central is twenty minutes. This is a generous front-to-front distance in an urban setting and will not, in officers' view, unduly prejudice the privacy of occupants.

6.3.3 Furthermore, the daylight and sunlight report submitted as part of the application confirms that by reason of the proposed development's height, bulk and massing matching the previous consented residential scheme (ref. 2008/0943), there will be no difference in the impact of the current proposal on existing neighbouring dwellings.

6.3.4 Therefore, for the reasons set out above and having due regard to the siting, location and orientation of the proposed development, it is considered that the proposal will not result in any significant risk to the amenity of adjoining occupiers by way of loss of daylight, sunlight, overshadowing or an increased sense of enclosure. Overall, the proposed development is considered to be acceptable with regard to amenity and complies with the relevant policy in the Hackney UDP (1995).

6.4 Acceptability of the standard of living accommodation

6.4.1 Standards governing Houses in Multiple Occupation were introduced in the 1985 and 2004 Housing Acts and the minimum room sizes contained therein are still used today as a basis for assessing student accommodation. These are the figures that have been referred to in the past by both the Council's Private Sector Housing department and the Planning department's Policy section.

6.4.2 The standards state that:

- the minimum size for bedrooms with no cooking facilities is 6.5 square metres where provision for a communal living/dining space is made
- the minimum size for bedrooms with no cooking facilities is 10 square metres where *no* provision for a communal living/dining space is made
- the minimum size for bedrooms with cooking facilities *within* the room is 10.5 square metres
- the minimum kitchen size for use by 6-10 individuals is 10 square metres

6.4.3 No minimum size is given for combined kitchen/dining spaces. In the absence of this, the use of SPG1 'New Residential Development' can be used as a

guide. While this SPG does not apply to student accommodation, the logic used in determining minimum room standards in SPG1 can be used to inform calculations of what the minimum size of combined kitchen/dining spaces should be for student accommodation.

- 6.4.4 SPG1 states that for a dwellinghouse inhabited by eight people (the maximum given), the minimum sizes of a *separate* kitchen and dining room add up to 20 square metres, whereas the minimum size of a *combined* (i.e. open plan) kitchen/dining area is 15 square metres. Therefore the combined facility only contains seventy-five per cent of the space that the kitchen and dining room would offer if provided separately.
- 6.4.5 According to the 1985 Housing Act, the minimum sizes of a *separate* kitchen and living/dining room for student accommodation add up to 26.5 square metres. Applying the same percentage (seventy-five per cent) to that figure suggests that the minimum size of a *combined* kitchen/dining area for a cluster unit should be 19.9 square metres. The proposed kitchen areas within the 'cluster' units are provided at a minimum of 16 square metres, although there is no indication that these are intended to be combined kitchen and dining areas.
- 6.4.6 With regard to the bedrooms, all of the habitable rooms are for single-person occupancy, with the smallest measuring 13.5 square metres, which exceeds the aforementioned standards.
- 6.4.7 There are a total of four internal communal spaces as well as a café/coffee shop for exclusive use by students. In terms of external amenity, roof terraces, a larger roof garden, the college-style quad and the lavender walk comprise a satisfactory amount of space.
- 6.4.8 Overall, therefore, the standard of student accommodation is considered to be acceptable.

6.5 Traffic and transport considerations and car parking provision

- 6.5.1 The proposed development is in a Controlled Parking Zone (CPZ) and is, accordingly, car-free. Having due regard to the area's high PTAL rating and the Council's aspirations for discouraging car use in favour of alternative means of transport, a car-free proposal in this location is considered to be acceptable.
- 6.5.2 147 cycle-parking spaces are provided within secure, internal, lockable rooms, amounting to more than one space per two students. This is considered to be an acceptable level of cycle parking provision.
- 6.5.3 The Council's Traffic and Transport team have raised no objection to the proposed development, and have indicated that overall they do not consider that the proposed development will have a detrimental impact upon circulation and parking in the vicinity. Overall, therefore, there are no traffic

and transport issues with the proposed development that constitute grounds for concern or refusal.

6.6 Consideration of objections

6.6.1 Potential for noise arising from incoming student population

Although these concerns are noted, the Council as local planning authority cannot and should not exercise prejudice against one group of users on this or any other basis. This is treated as a residential use, and the nature of the user is not a material planning consideration, cannot be treated as such, and objections to that effect are not considered upholdable. Noise nuisance is controlled by the Council's Pollution Control team and in the event of any noise nuisance arising, it would be up to any affected residents to report this to the Council's Pollution Control team, who could serve a Noise Abatement Notice. Furthermore, the Section 106 agreement associated with this planning application will contain a head of terms requiring the adoption of – and adherence to – a Student Management Plan, which makes provision for the reporting of anti-social student behaviour.

6.6.2 Loss of light to – and outlook from – Union Central building

This issue is addressed in paragraphs 6.3.1 and 6.3.2 of this report. It is considered that a building of the height proposed (and previously approved by the Council) will not have a detrimental impact on the availability of daylight to a building that is twenty metres away. Furthermore, with the exception of statutorily protected views, there is no right to a view in planning law.

6.6.3 'Considerable' noise disturbance from construction

Construction noise is not a material planning consideration, although the matter is covered by separate (non-Planning) regulations, of which applicants are routinely notified by informatives attached to decision notices.

7. CONCLUSION

7.1 In summary, it is considered that the proposed development is of an appropriate use and of an acceptable standard of design, and will not have a materially adverse impact on the amenity of neighbouring occupiers by way of loss of light, privacy, outlook, increased traffic generation, nor on the character and appearance of the surrounding area.

7.2 Having regard to the above considerations, it is considered that the proposal complies with all pertinent policies in the Hackney UDP (1995) and the London Plan (Consolidated with Alterations since 2004), and on that basis the granting of planning permission is recommended.

8. RECOMMENDATION

RECOMMENDATION A:

8.1 That permission be GRANTED, subject to the following conditions:

8.1.1 SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

8.1.2 SCB1 – Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

8.1.3 SCM6 – Materials to be approved

Details, including samples, of all materials to be used on the external surfaces of the building, boundary walls, gates and ground surfaces shall be submitted to and approved by the local planning authority, in writing, before work on the external surfaces, boundary walls, gates and ground surfaces commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.4 SCM9 – No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.5 SCI3 – No roof plant

No plant (including all external enclosures, machinery and other installations; excluding solar water-heating and/or photovoltaic cells) shall be placed upon or attached to the roof or other external surfaces of the building, other than as shown on the drawings hereby approved, unless planning permission for such is sought and granted separately.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.6 SCH10 – Secure bicycle parking

Lockable space shall be made available within the site for the secure parking of 147 bicycles, in accordance with the plans hereby approved, before the first occupation of the development.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.

8.1.7 NSC1 – Non-standard condition

A rainwater harvesting system to service the external landscaping shall be installed and details thereof shall be submitted to the local planning authority and approved in writing before occupation of the development hereby approved first commences.

REASON: In the interests of maximising the environmental performance of the building.

8.1.8 NSC2 – Non-standard condition

Reasonable endeavours shall be undertaken to locate street lights to the highway immediately adjoining the site onto the face of the building hereby approved.

REASON: To safeguard visual amenity and assist with the provision of a less cluttered public realm.

8.1.9 NSC3 – Non-standard condition

Provision is to be made within the site for eleven 1100-litre Eurobins for non-recyclable waste and four 1100-litre Eurobins for recyclable waste, with details of the interior (configuration of receptacles) and exterior (detailed design and facing material) of the bin store to be submitted to the local planning authority and approved in writing prior to first occupation of the site.

REASON: In the interest of encouraging recycling provision and upholding the Council's sustainability objectives.

8.1.10 NSC4 – Non-standard condition

Details of the construction traffic route and a construction traffic management plan shall be submitted to the local planning authority prior to the commencement of construction works on site.

REASON: In the interests of road safety.

8.1.11 NSC5 – Non-standard condition

No development shall commence on site until a scheme to minimise the threat of dust pollution during site clearance and construction works

(including any works of demolition of existing buildings or breaking out or crushing of concrete) have been submitted to and approved in writing by the local planning authority. The approved scheme shall include a watering regime in the event of dry weather, dust screens, etc., as appropriate, and shall be implemented in its entirety once development has commenced.

REASON: In order that the local planning authority may be satisfied that the demolition process is carried out in a manner which will minimise possible dust pollution to neighbouring properties.

8.1.12 NSC6 – Non-standard condition

Full written details, including relevant drawings and specifications, of the proposed works of sound insulation against airborne noise between the commercial use on the ground floor of the development hereby approved and the residential use on the first floor shall be submitted to and approved in writing by the local planning authority. The use hereby permitted shall not commence until the sound insulation works have been implemented in accordance with the approved details. The sound insulation shall be retained permanently with the approved details.

REASON: In the interests of minimising noise disturbance to prospective occupiers.

8.1.13 NSC7 – Non-standard condition

(i) The rating level of the noise emitted from fixed plant on the site shall be 5dB below the existing background level at any time. The noise levels shall be determined at the façade of any noise sensitive property. The measurements and assessments shall be made according to BS4142:1997.

(ii) Development shall not commence until details of a scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.

(iii) The development shall not be occupied until the scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the scheme shall be maintained in perpetuity.

REASON: In the interests of minimising noise disturbance to adjoining occupiers.

8.1.14 NSC8 – Non-standard condition

All landscaping in accordance with the drawings hereby approved shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the local planning authority for a period of five years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

RECOMMENDATION B:

- 8.2 That the above recommendation be subject to the applicant, the landowners and their mortgagees entering into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended), in order to secure the following matters to the satisfaction of the Assistant Director of Regeneration and Planning and the Interim Head of Legal Services:**
- 8.2.1 Payment by the landowner/developer of £39,856.91 as a financial contribution towards Council library facilities. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)
 - 8.2.2 Payment by the landowner/developer of £11,814.15 as a financial contribution towards open space in the borough. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)
 - 8.2.3 Provision by the landowner/developer for the use of local labour on site during the construction phase.
 - 8.2.4 Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
 - 8.2.5 Achievement of a twenty per-cent reduction minimum in carbon emissions through the use of renewable energy sources and use of low-energy technology, and achievement of BREEAM (Multi-Residential) rating of 'Very Good'.
 - 8.2.6 The applicant is to carry out all works in accordance with the National Considerate Constructors Scheme.
 - 8.2.7 For all contracts with a value in excess of £5 million, payment by the landowner/developer of £3750.00 towards the cost of NVQ training (to secure more skilled employment for the construction industry sector).
 - 8.2.8 The living accommodation shall not be occupied outside term-time other than by students in full-time education.
 - 8.2.9 The living accommodation shall be used and occupied solely in association with - and by full-time students of - the University of London (all colleges: Birkbeck, Goldsmiths, King's College London, the London Business School,

the London School of Economics, Queen Mary, Royal Holloway, the School of Oriental and African Studies, and University College London (UCL)), Imperial College, University of East London, University of Westminster, London Guildhall University, City University, London Metropolitan University, South Bank University or an alternative establishment to be agreed by the Council.

- 8.2.10 The owner must provide a Travel Plan, to be agreed by the Council, towards achieving sustainable travel targets, including the services of a Travel Plan Coordinator. The Travel Plan must be in place by the first year of occupancy and the developer must put in place yearly monitoring arrangements for 5 years.
- 8.2.11 No entitlement (unless the holder of a disabled person's badge) to a resident's parking permit.
- 8.2.12 In mitigation of the transport impact of the proposed development, a contribution of £65,000 is sought towards sustainable travel initiatives, walking and cycling, public transport and highway measures in the area.
- 8.2.13 The owner must adopt and adhere to a Student Management Plan, incorporating the elements set out in the 'Code of Practice for the Management of Student Housing', including the requirement for emergency and 24-hour contact details to be made available to members of the public in the event of anti-social behaviour arising from resident students.

9. REASONS FOR APPROVAL

- 9.1 The following policies contained in the Hackney Unitary Development Plan (1995) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 - Development Requirements; EQ12 - Protection of Conservation Areas; R3 - Development within Shopping Frontages; R4 - Local shops; EQ40 - Noise Control; TR19 - Planning Standards.
- 9.2 The following policies in the London Plan (Consolidated with Alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 - Sustainability criteria; 2A.7 - Areas for Regeneration; 3A.18 - Protection and enhancement of social infrastructure and community facilities; 3A.25 - Higher and further education; 3C.1 - Integrating transport and development; 3C.2 - Matching development to transport capacity; 3C.17 - Tackling congestion and reducing traffic; 4A.1 - Tackling climate change; 4A.3 - Sustainable design and construction; 4A.4 - Energy assessment; 4A.6 - Decentralised energy: heating, cooling and power; 4A.7 - Renewable energy; 4A.11 - Living roofs and walls; 4A.14 - Sustainable drainage; 4A.16 - Water supplies and resources; 4B.1 - Design principles for a compact city; 4B.2 - Promoting world-class architecture and design; 4B.3 - Enhancing the quality of the public realm.

10. INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.25 Disabled Person's Provisions
- SI.27 Regulatory Reform (Fire Safety) Order 2005
- SI.28 Refuse Storage and Disposal Arrangements
- SI.33 Landscaping

NSI.1 All materials submitted pursuant to the discharge of condition 3 of this approval should be supplied and delivered at the same time in a container clearly marked with the address of the application site, reference to the application number 2009/0691, and accompanied by coloured copies of relevant elevational drawings, to which each material sample should be clearly referenced and labelled accordingly. Full specifications detailing each material's manufacturer and colour (as per manufacturer's description/name thereof) should also be submitted at the same time.

NSI.2 All construction/demolition work must be undertaken between the hours of 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays, with no work on Sundays or Public Holidays.

NSI.3 This decision notice is accompanied by a Section 106 legal agreement. It shall be implemented in full accordance with the details of that agreement.

NSI.4 The developer understands that the provision of nine fewer Eurobins than the twenty-four suggested by the Council's Waste Management service may result in the requirement for a second weekly collection, for which a fee is payable.



Signed..... Date: 1 June 2009

Steve Douglas
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS &
REGENERATION DIRECTORATE

NO.	BACKGROUND PAPERS	NAME/EXTENSION OF OFFICER	LOCATION
1.	Hackney UDP	Rokos Frangos 8095	263 Mare Street, E8 3HT
2.	The London Plan	Rokos Frangos 8095	263 Mare Street, E8 3HT

ADDRESS: 231 Evering Road London E5 8AL	
WARD: Hackney Downs (H)	REPORT AUTHOR: Michael Garvey
APPLICATIONNUMBER: 2008/1756	VALID DATE: 24/07/2008
DRAWING NUMBERS: 08/103/5, 6, 7B , 8B, 9, 10, 11, and 12 Site plan.	
APPLICANT: Mr Khurshid Ahmed 231 Evering Road Upper Clapton Hackney London E5 8AL	AGENT: Mr Stanley Rogoff 234 Oaks lane Aldborough Hatch Newbury Park Ilford Essex IG2 7QH
PROPOSAL: Conversion of a single dwelling house to create 4 self-contained flats (comprising 1 x 4 bed flat and 3 x 2 bed flats) together with demolition of part of the rear single storey extension and excavation to create a rear lightwell and rebuilding of the rear single storey extension.	
POST SUBMISSION REVISIONS: Existing & proposed front elevations have been amended.	
RECOMMENDATION SUMMARY: Grant conditional Planning Permission Note to members: The application has been brought to committee due to the level of objections received.	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

	(Yes)	(No)
CPZ		X
Conservation Area		X
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA		X

LAND USE DETAILS:	Use Class	Use Description	Floorspace
Existing	C3	Residential	
Proposed	C3	Residential	

RESIDENTIAL USE DETAILS:	Residential Type	No of Bedrooms per Unit				
		1	2	3	4	5+
Existing	0	0	0	0	1	0
Proposed	Flats	0	3	0	1	0
	Dwellings	0	0	0	0	0
	Studio	0	0	0	0	0
Totals	(Total = 4)					

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing			
Proposed			

CASE OFFICER'S REPORT

1. SITE DESCRIPTION

- 1.1 The application site is located on the northern side of Evering Road. The site comprises a two storey (plus basement) mid-terrace Victorian house. The building is currently occupied as a single dwelling house. The front garden has been converted into forecourt parking and a rear dormer has recently been built.

2. CONSERVATION IMPLICATIONS

- 2.1 There are no conservation implications associated with this application.

3. HISTORY

- 3.1 *Certificate of Lawfulness granted 21 April 2008 for the erection of a rear roof dormer and two front velux windows. (Ref: 2008/0463)*

4. CONSULTATIONS

- 4.1 Date Statutory Consultation Period Started: 06/08/2008
 4.2 Date Statutory Consultation Period Ended: 27/08/2008
 4.3 Site Notice: Yes

4.4 Press Advert: Yes

4.5 Neighbours

4.5.1 23 surrounding occupiers have been consulted by personal letter. Eight letters of representation have been received, one letter of comment, six letters of support and three letters of objections including two from a householder and the one from Evering Road Action Group (E5) who submitted a letter and a 19 signature petition. The objections can be summarised as follows:

- Inaccurate plans submitted, shows that the works have commenced and that three new uVPC windows have been installed
- The application does not mention excavation of the basement,
- Object to the conversion into 4 flats
- Access for people with disabilities will be restricted
- Detrimental alterations to frontage and access
- Design and access statement inaccurate

Six letters of support have been received and the comments are summarised as follows:

- High demand for accommodation in Evering Road and proposal will provide quality flats
- Generate new housing accommodation
- Identical to other conversions in the street and upgrade the existing housing stock

4.6 Other Council Departments

4.6.1 Private Sector Housing

No objections subject to adequate natural light and ventilation entering the bedrooms at the rear on the lower ground floor via the lightwell.

4.7.2 Waste Management:

The application requires 900 litres of waste storage plus 4 recycling boxes. The plans show 4x140 litre and they need to increase the size of bins to 240 litres each.

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995)

EQ1	Development Requirements
HO3	Other Sites for Housing
H012	Conversions
H016	Housing for people with disabilities
SPD	Residential Extensions and Alterations, April 2009
SPG	Residential Conversions Extensions and Alterations

5.2 London Plan (2008)

Policy 3A.1	Increasing London's supply of housing
Policy 3A.2	Borough housing targets
Policy 3A.3	Maximising the potential of sites
Policy 4B.1	Design principles for a compact city

5.3 National Planning Policies

PPG3	Housing
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6. COMMENT

6.1 This is a full planning application for the conversion of a single dwelling house to create 4 self-contained flats (comprising 1 x 4 bed flat and 3 x 2 bed flats) together with demolition of part of the rear single storey extension and excavation to create a rear lightwell and rebuilding of the rear single storey extension.

6.1.1 The rear dormer does not form part of this application as it was built under permitted development, which was approved under Certificate of Lawfulness Ref: 2008/0463. In addition the hardstanding forecourt parking was also completed under permitted development, together with the windows to the front elevation at basement level.

6.2 Planning Considerations

6.2.1 The main considerations pertaining to this application are:

- Land Use
- Dwelling Mix
- Design
- Standard of Accommodation

6.3 Land Use:

- 6.3.1 The proposed conversion relates to a substantial property with existing floorspace of 180 square metres. The principle of converting the property into flats is acceptable as the subject site is a single dwelling house with existing floorspace in excess of the minimum 120 square metres threshold for conversion as outlined in policy HO12 of the Hackney UDP.
- 6.4 Dwelling Mix:
- 6.4.1 It is considered that the proposal provides an adequate mix of dwellings. The proposal would provide one four-bedroom unit which would satisfy UDP Policy HO12 which requires one unit of at least four bedrooms to be provided in conversion schemes where the existing internal floor space is greater than 180sqm, which is the case for this site. This unit will have access to its own private rear garden, which measures greater than 30sqm in area.
- 6.5 Design:
- 6.5.1 The existing single storey extension will be demolished and rebuilt to a smaller size, with a width reduction of 1.7m and there is no change in the height and depth. The design of the proposed rear extension will be keeping with the host building, incorporating brickwork to match existing and a traditional fenestration pattern, including timber sash windows. Given its modest size and scale, and its traditional form incorporating a flat roof, the proposed rear extension is considered sufficiently subordinate to the main building and will not have a detrimental impact on the character and appearance of the wider terrace.
- 6.5.2 The rear lightwell will project to a depth of 1.3m and accords with the requirements of the SDP, 'Residential Extensions and Alterations' April 2009. The proposal will have only a modest impact on the appearance of the building to the rear which any will not be visible to the wider area. In addition there are other approved lightwells in the street at 196, 211 and 219 Evering Road.
- 6.6 Standard of Accommodation:
- 6.6.1 The combined living room kitchen could not be separated due to site constraints. However, this room is large enough to accommodate a family of 6 or more persons. In addition there are a number of properties in the street which have been approved with an identical arrangement. In terms of the second floor living room/kitchen there is sufficient light for the kitchen as a rooflight is proposed and there are two reasonable size windows. Moreover, Private Sector Housing raises no objections to the proposal.
- 6.6.2 All habitable rooms meet the minimum standards in terms of room sizes as outlined in Supplementary Planning Guidance Note 2: Residential Conversion, Alterations and Extensions. The room layout would be acceptable and all of the habitable rooms would receive an adequate level of natural light and ventilation.

6.6.2 The proposed basement rooms and size of the lightwell are considered acceptable, the layout of the rooms complies with the design principles of basement extensions, found at section 4 of the adopted SPD – Residential Extensions and Alterations.

6.7 Impact upon Amenity

6.7.1 The proposed extension to the rear will not have a material impact the amenities of surrounding occupiers, the replacement extension is smaller than the existing and will remain within the existing footprint. In addition the proposed rear lightwell will not be visible to surrounding occupiers and therefore will have no material impact to the surrounding area.

6.9 Response to objections

6.9.1 The following comments are made in response to the objections to this proposal :-

- (i) The proposed plans were inaccurate in terms of the detailing to the front elevation, and there were other omissions but this has been amended and is considered acceptable.
- (ii) The description of development is accurate on the application form which includes excavation to create a rear lightwell.
- (iii) The proposed conversion accords with policy H012 in meeting the required floorspace, providing a larger family unit with direct access to private amenity space and would be no different to other approved conversions in the street.
- (iv) The three windows to the front elevation erected in uVPC windows have been completed under permitted development.
- (v) The provision for adequate access for people with disabilities through conversions is circumscribed by premise constraints and therefore not practical in these circumstances.
- (vi) The upper ground floor first and second floors are stacked accordingly, however given the layout and larger size of the lower ground/ground it is not possible to stack this floor with the upper floors. Even though the applicant's design and access statement states the contrary.

7. CONCLUSION

7.1 The proposal to convert, extend and alter the property into flats accords with policies within the Hackney Unitary Development Plan. Thereby in light of

the issues raised it is considered that the proposed development of the site is acceptable.

8 RECOMMENDATION

8.1 Planning permission be Granted subject to:

- 1) SCB0 **Development only in accordance with submitted plans**
SRB0

The Development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

- 2) SCB1N **Commencement within 3 years**
SRB1

The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

- 3) SCM8 **New Windows to Match**

All new windows shall be designed so as to match those in the existing building.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

- 4) SCM1 **Materials to match**

All new external finishes in respect of all the works hereby approved (and any other incidental works to be carried out in this connection) shall match the existing building in respect of materials used, detailed execution and finished appearance.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

- 4) SCR2 **Dustbin Enclosures**

Details of dustbin and recycling enclosures showing the design, and external appearance, shall be submitted to and approved by the Local Planning Authority, in writing, before the use/development commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: In order to provide for adequate bin and recycling enclosures in the interest of the appearance of the site and area.

9) INFORMATIVES

The following Informatives should be added:

SI Reason for approval:

The following policies contained in the Hackney Unitary Development Plan 1995 and London Plan 2008 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission:

EQ1 [Development Requirements], HO3 [Other Sites for Housing], H016 [Housing for people with disabilities], EQ48 [Designing out Crime], Policy 3A.1 [Increasing London's supply of housing], Policy 3A.2 [Borough housing targets], Policy 3A.3 [Maximising the potential of sites], Policy 4B.1 [Design principles for a compact city]. SPD Residential Extensions and Alterations, April 2009 and SPG Residential Conversions Extensions and Alterations

SI.1 Building Control

Your attention is drawn to the provisions of the Building Act 1984 and other Building Control legislation, which must be complied with to the satisfaction of The Planning and Transportation Service, Dorothy Hodgkin House, 12 Reading Lane, London, E8 1HJ. Telephone No: 020 8356 5000. Before any building work (including improvements to means of escape and changes of use) is commenced on site, detailed plans, together with the appropriate application form must be submitted for approval and early consultation is advised.

S3 Hours of Building works

Your attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 which imposes requirements as to the way in which building works are implemented including the hours during which the work may be carried out. This Act is administered by the Councils Pollution Control Service, 205 Morning Lane, London, E9 6JX (Telephone: 020 7356 5000) and you are advised to consult that Division at an early stage.

SI.3 Sanitary, Ventilation, and Drainage Arrangements

Before any drainage works are commenced on site, detailed plans, giving notice of intention to build/permission to drain/construct/reconstruct or alter pipes and drains must be submitted for approval under the Building Regulations 1991 to the Planning and Transportation Service, Dorothy Hodgkin House, 12 Reading Lane, London, E8 1HJ, Telephone No: 020 8356 5000. Please note that it will be necessary to consult the Thames Water Utilities Ltd., Waste Water Connections, Kew Business Centre, Brentford, Middlesex, TW8 0EE. Telephone No: 020 7713 3865, Fax No: 020 7713 3875.

- 1) All information appertaining to the existing public sewerage system.
- 2) Requests for sewer connections. All works will be carried out by the London Borough of Hackney at the applicant expense. All new developments will be required to have new sewer connections.
- 3) Building over sewers.
- 4) System of drainage to be provided on site.
- 5) Adoption of sewers.

Advisory Note:

It should be noted that most sewers throughout the Borough flow full or surcharge during periods of heavy storm and conditions may be imposed restricting discharge to the system. The prime condition is that any large development shall not cause an increase in the rate of flow to the public sewerage system. This requirement is normally met in the case of new developments by separation on site and storage of surface water flows in tanks or oversized pipes on sites. Where sites adjoin a suitable watercourse or storm relief sewer into which surface water can be discharged by gravity then the policy is for sites to be separated and have their surface water discharged to the watercourse or storm relief sewer. In the case of developments/ rehabilitation/ conversions etc., involving the use of basements these are likely to be particularly vulnerable to the effects of surcharge and applicants must therefore demonstrate that adequate drainage arrangements exist at all times.



Signed..... Date: 1 June 2009

STEVE DOUGLAS
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS &
REGENERATION DIRECTORATE

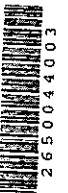
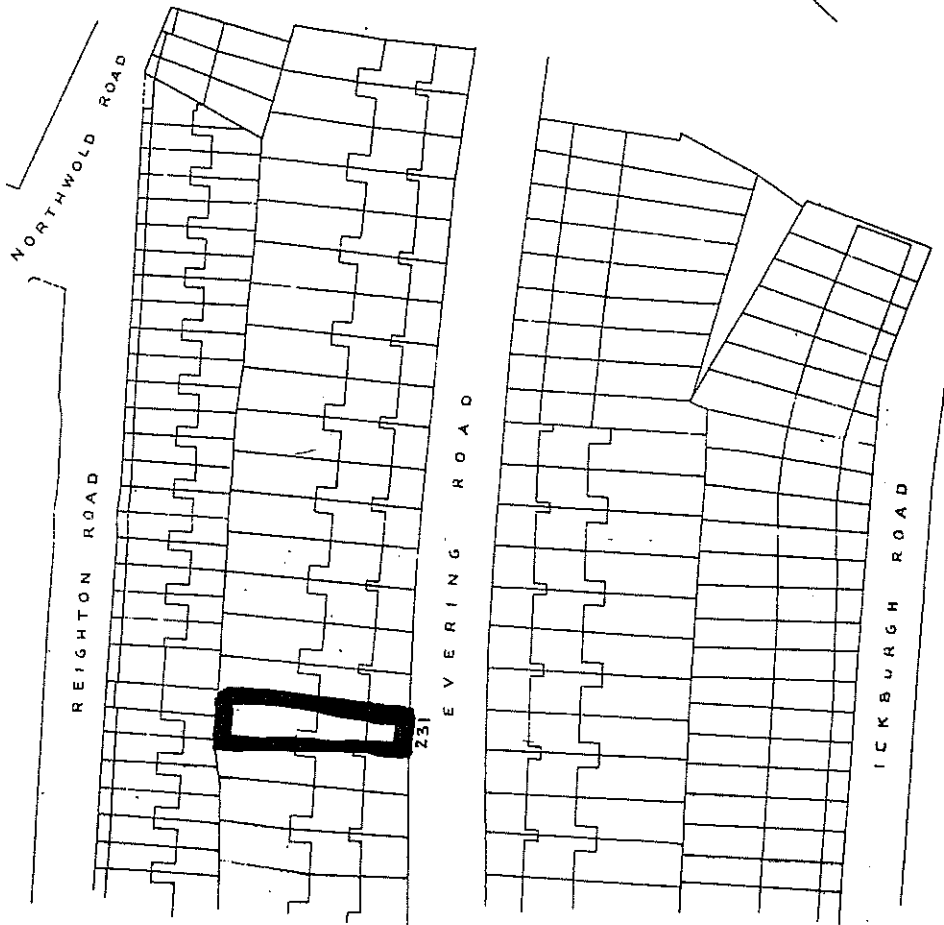
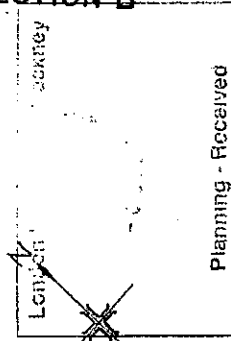
NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP and the London Plan	Michael Garvey	263 Mare Street, E8 3HT

H. M. LAND REGISTRY GENERAL MAP

LONDON SHEET III 88
GREAT BRITAIN (EXTRACT FROM)
Scale 1:2500

SECTION B

BOROUGH OF ENFIELD

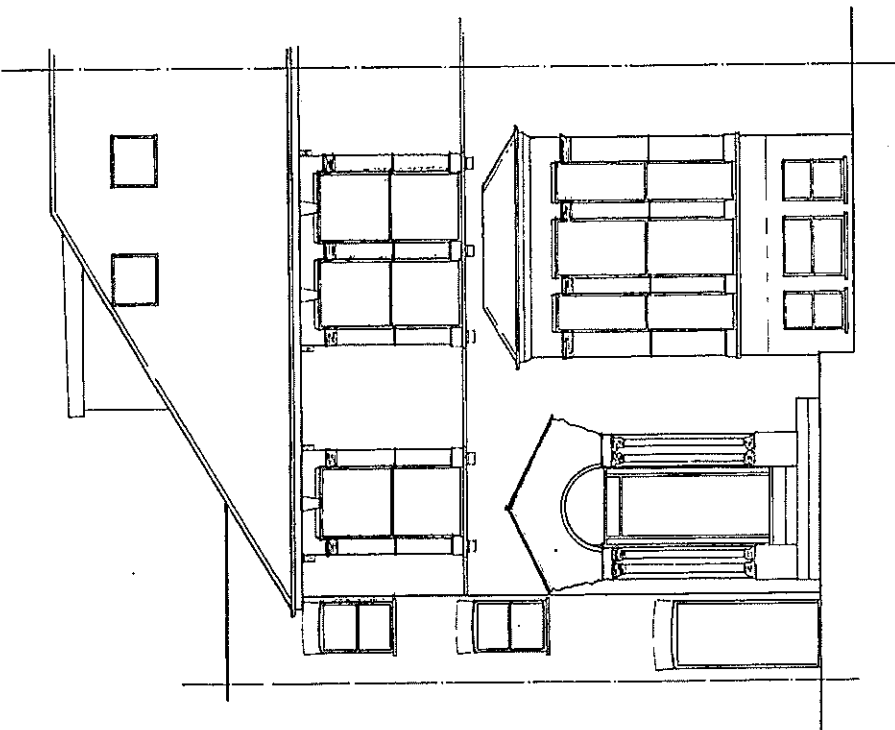


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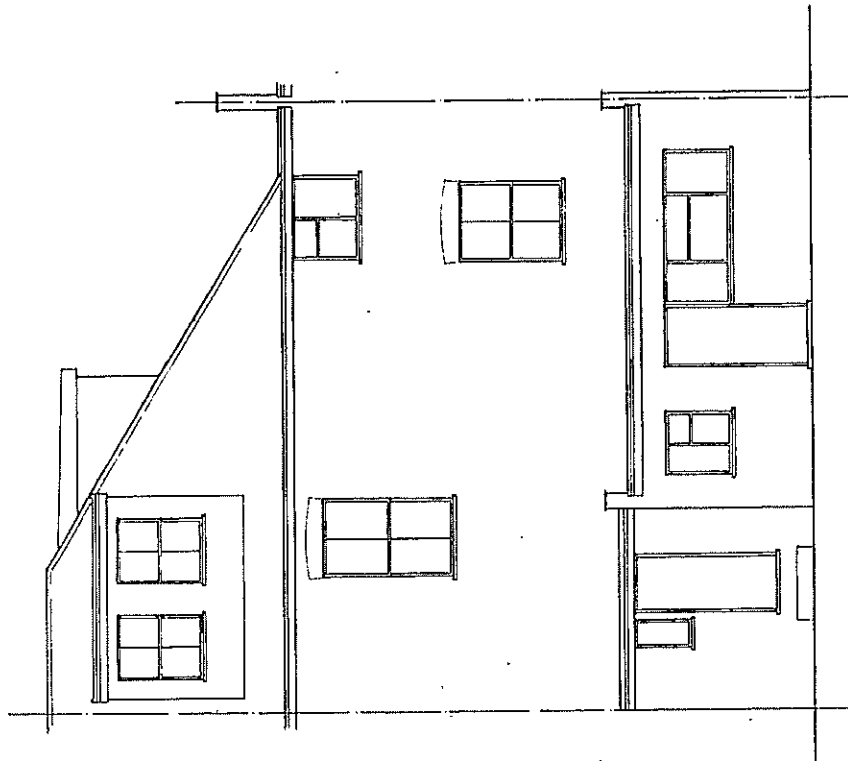


Plot No. LN213-35

Official copy issued on 11 January 2007 shows the state of this title plan on 11 January 2007 at 13:57:51.
Admissible in evidence to the same extent as the original (s.67 Land Registration Act 2002).
This plan shows the general position, not the exact line, of the boundaries. It may be subject to distortions in scale. Measurements scaled from this plan
will not match measurements between the same points on the ground. See Land Registry Public Guide 7 - Title Plans.
This title is dealt with by Land Registry, Stevenage Office.
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FRONT ELEVATION



REAR ELEVATION

D. 1/1/2008 OUR TEAM REVISED.
A. 1/1/2008. WITHIN DETAILS AMEND.

CLIENT

MR. K. AHMED
221 EVERS ROAD
LONDON, E5.

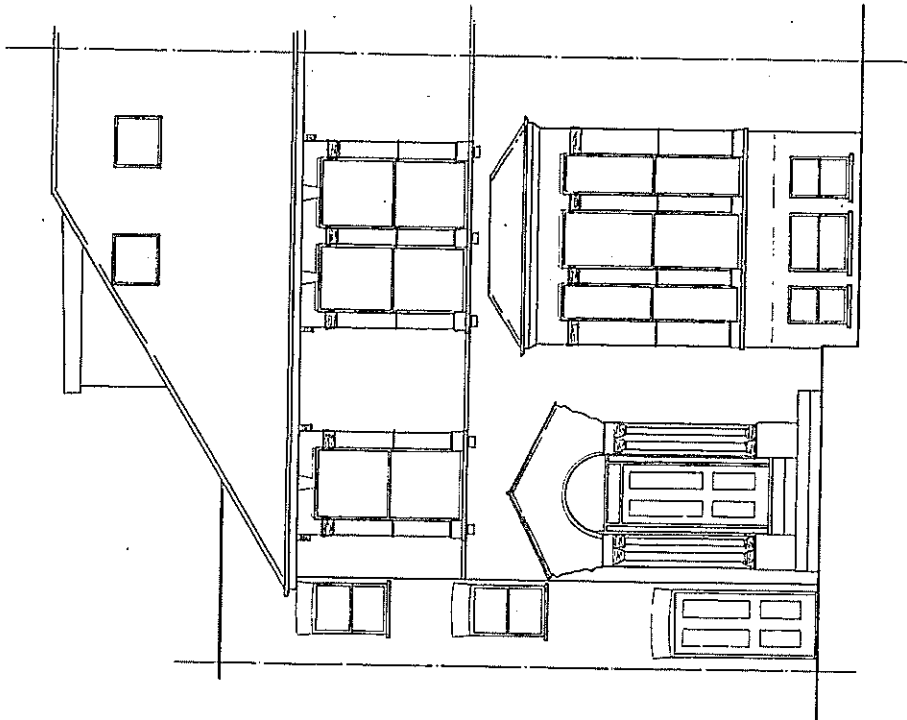
STANLEY M. ROGOFF
224 OAKS LANE
ALDBROUGH HATCH, NEWBURY PARK
1190D, ESSEX, S22 7QH.
TEL/FAX: 020 8215 1415.

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DATE: JUNE 2008.

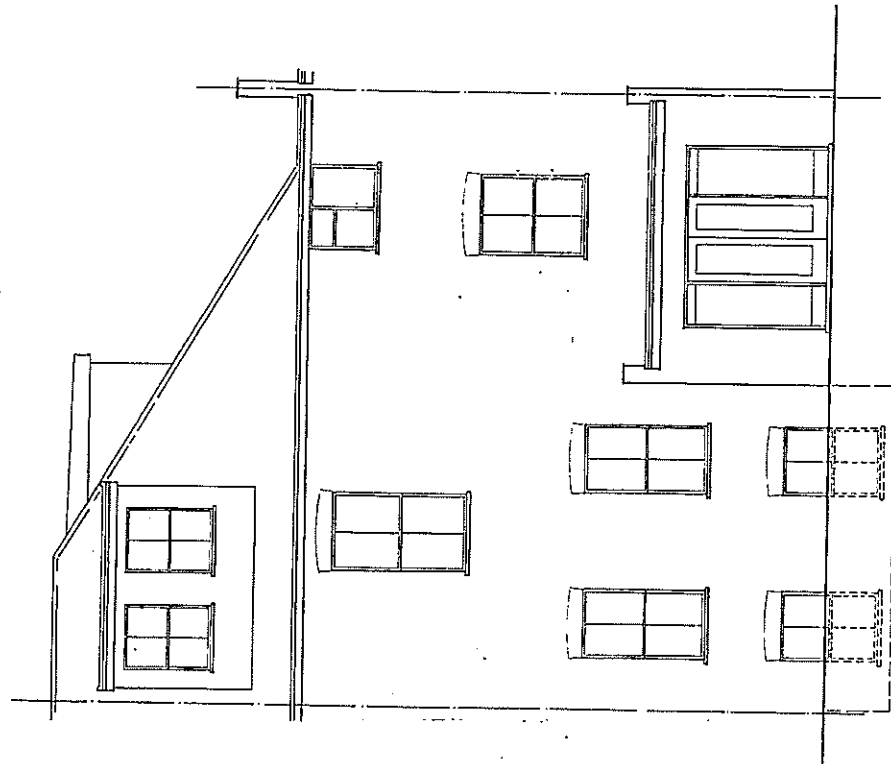
D.
DRG. NO 08/109/7

PART ELEVATIONS.

AMENDED



FRONT ELEVATION



REAR ELEVATION

AMENDED

P: 1/25/03 DEF BLANK REVISED.
A: 1/25/03 WINDOW DETAILS ADDED.

CLIENT

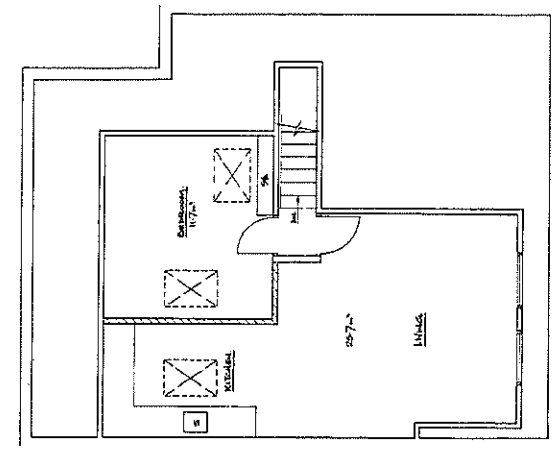
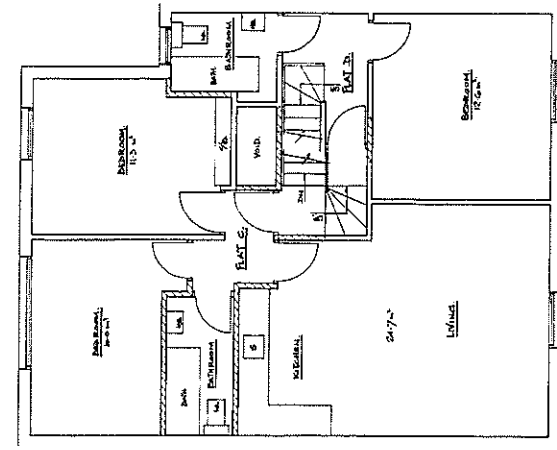
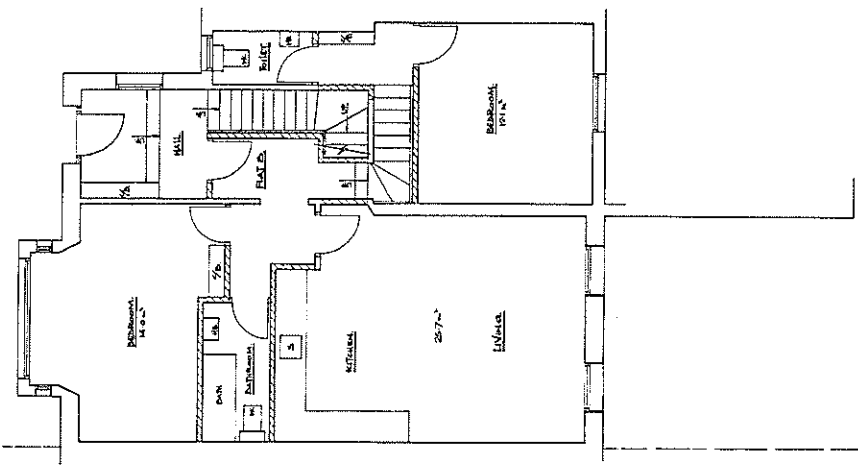
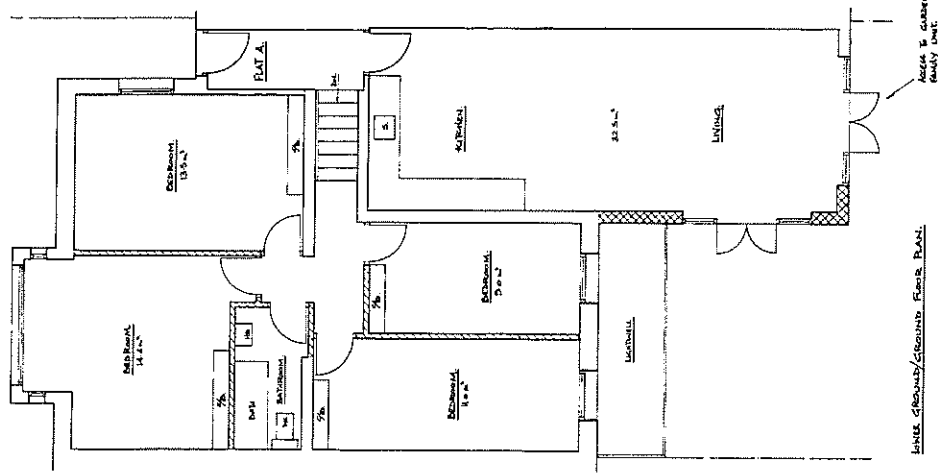
MR. K. AHMED
251 EYRING ROAD
LONDON, ES.

STANLEY M. ROGOFF
224 OAKS LANE
ALDBOROUGH HATCH, NEWBURY PARK,
WYFORD, ESSEX. SG2 7BH.
TEL/FAX: 020 8215 1415.

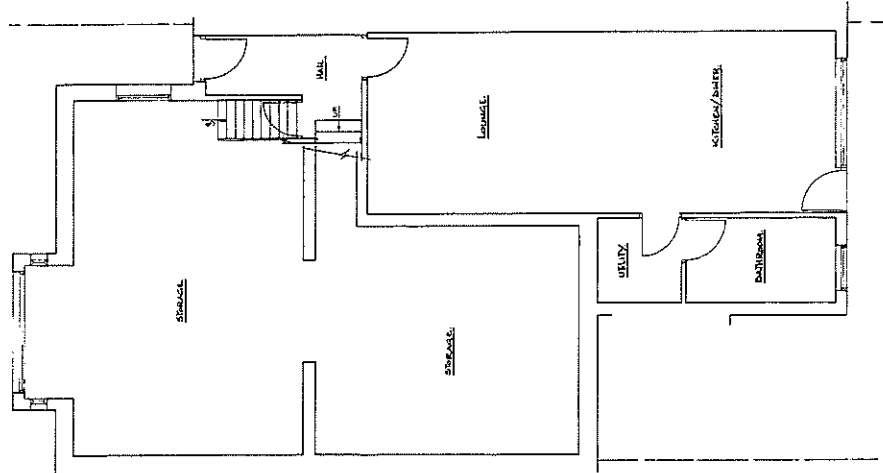
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PA
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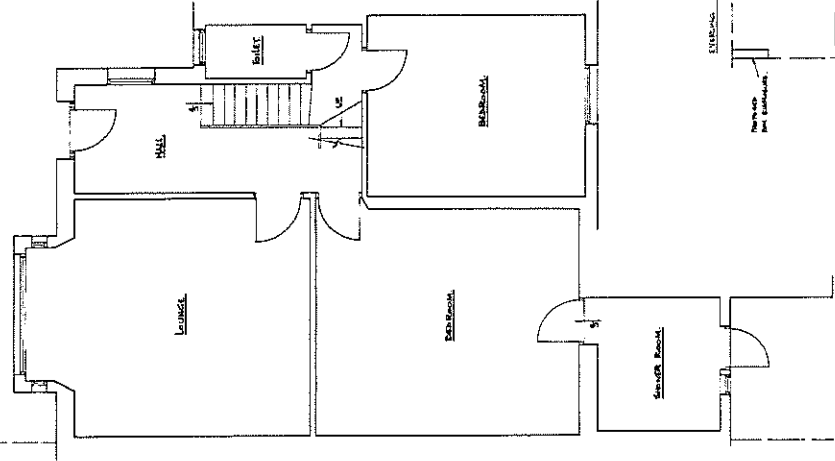
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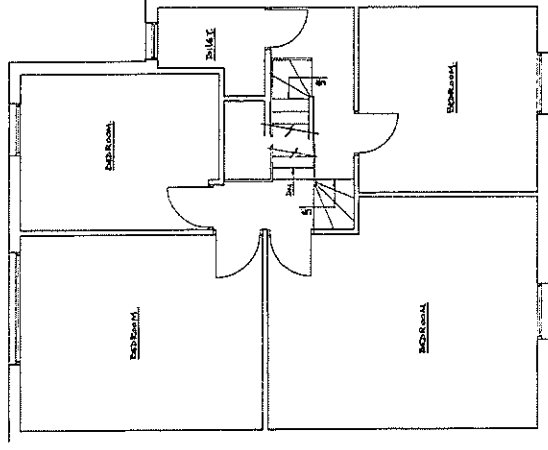
CLIENT MR. K. AHMED, 204 WILMINGTON ROAD, LONDON, E14	
ARCHITECT STANLEY M. RODOFF 424 OAKS LANE, 1100 WILMINGTON ROAD, WILMINGTON, MASS. TEL: 617/262-1100 FAX: 617/262-1101 RE/PROJ: 0201 8/25/01	
SCALE: 1/8" = 1'-0" DATE: June 2001	PROJECT NO: 0201/01/01
PROVIDED FLOOR PLANS	



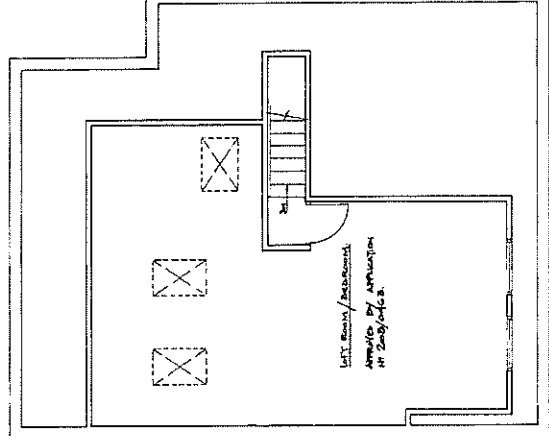
FIRST GROUND/GROUND FLOOR PLAN



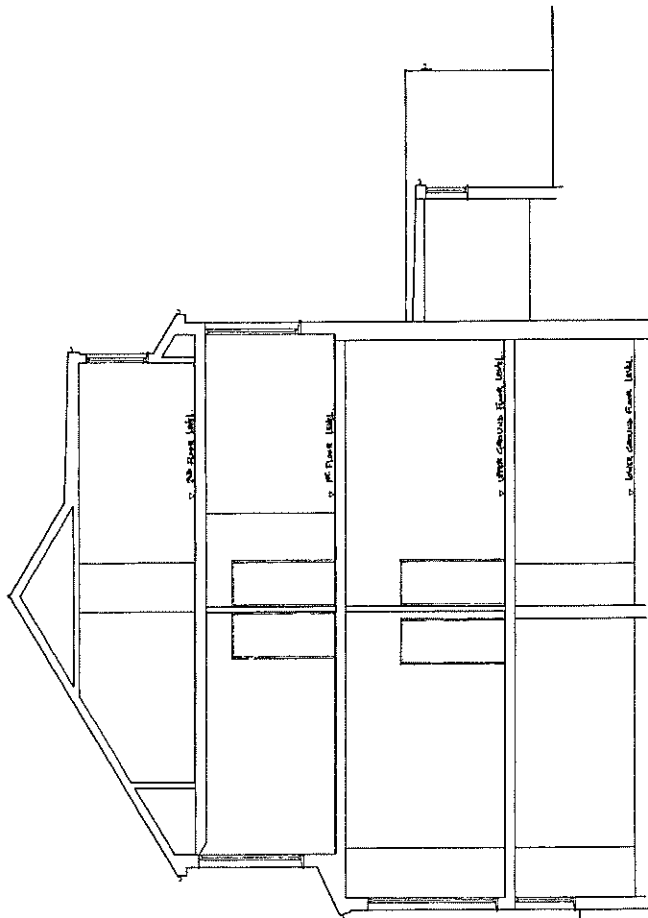
UPPER GROUND/MEZZANINE FLOOR PLAN



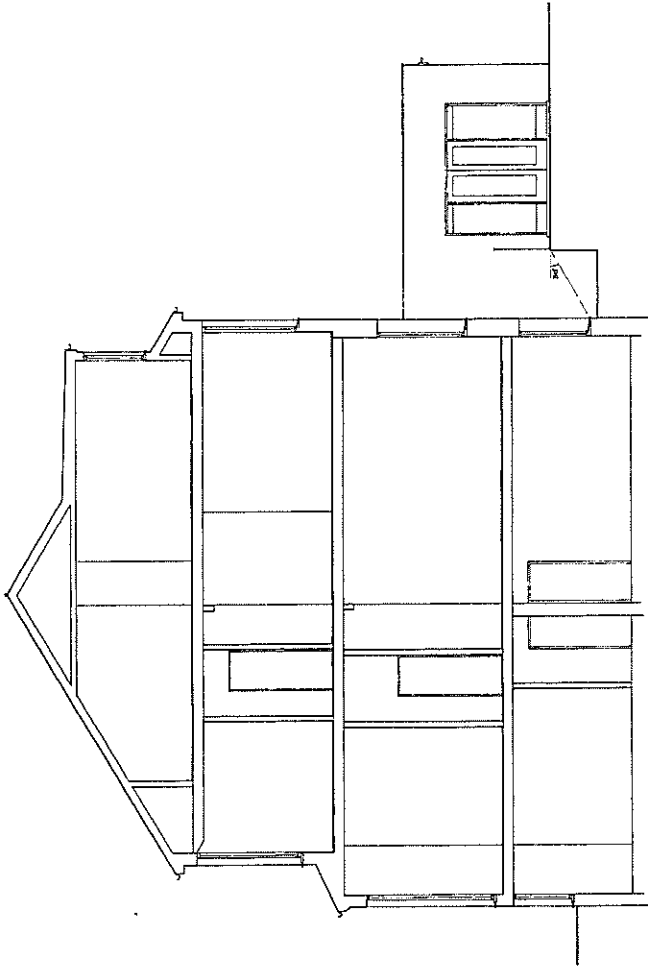
FIRST FLOOR PLAN



CLIENT	
MR. & MRS. JAMES 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 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1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142,	



1st Flr. Cross Section



Proposed 2nd Flr. Cross Section

Lot 11
 1/2 Acre
 1/2 Acre

CASE# MR. & MRS. 221 E. 10th St. Lincoln, NE.	
STANLEY M. ROGOFF 234 AND 1/2 W. 10th St. Lincoln, NE. 68502 TEL/PH: 685 8215 MRS.	
SCALE: 1/8" = 1'-0" DATE: July 1988	DWG. NO. 08/103/88 CROSS SECTIONS

ADDRESS: 2-16 Phipp Street, London EC2A 4PA	
WARD: South Shoreditch	REPORT AUTHOR: Rokos Frangos
APPLICATION NUMBER: 2009/0680	VALID DATE: 25/03/2009
DRAWING NUMBERS: 1-337.P.001, 010, 011, 100 to 103, 149 to 151, 152A, 153A, 154, 200 to 203, 250, 251A, 252A, 253, 350, 351, 400, 450, 451; 1-290/SK051/090316/MB2	SUPPORTING DOCUMENTS: Design and Access Statement, Energy Strategy, Independent Financial Appraisal of Affordable Housing, Planning Statement, Site Waste Management Plan
APPLICANT: Phipp Street Limited c/o agent	AGENT: Dalton Warner Davis LLP 21 Garlick Hill London EC4V 2AU
PROPOSAL: Retention of works comprising a four-storey (plus basement) building with 1536 square metres of commercial floorspace (use class B1) at basement, ground- and first-floor levels and eleven residential units above (comprising five one-bedroom, two two-bedroom, three three-bedroom and one four-bedroom flats), with five parking spaces.	
POST-SUBMISSION REVISIONS: Provision of additional bicycle-store security.	
RECOMMENDATION SUMMARY: Grant conditional planning permission, subject to Section 106 agreement.	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

CPZ	X	
Conservation Area	X	
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA	X	

LAND USE DETAILS:	Use Class	Use Description	Floorspace
Previously	Sui Generis	Surface car park	N/A
Proposed (under construction)	B1	Office	1536 sq.m.
	C3	Residential	819 sq.m.

RESIDENTIAL USE DETAILS:	Residential Type	No of Bedrooms per Unit				
		1	2	3	4	5+
Previously	N/A	0	0	0	0	0
Proposed (under construction)	Market flats	5	2	3	1	0
Totals	(Total = 11)					

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Previously	0	0	0
Proposed (under construction)	4	1	15

CASE OFFICER'S REPORT

1. SITE DESCRIPTION

- 1.1 The application site is located in South Shoreditch, to the west of Great Eastern Street and Curtain Road. The application site consists of a four-storey building currently under construction and nearing completion, containing basement, ground- and first-floor space for use-class B1 accommodation (offices) and eleven residential units above. Construction began subsequent to the granting of planning permission under ref. 2004/2539, although the building differs in some respects from that approved, which is the reason for this retrospective planning application.
- 1.2 The surrounding area contains a variety of buildings of between three and four storeys in height, including converted Victorian warehouses and a variety of more contemporary buildings, dating from the late-eighties to the present day. The main uses are offices, live/work units and a few residential units.
- 1.3 The site enjoys a good level of public transport accessibility. The site is located less than five minutes walk away from Shoreditch High Street Overground station, which opens next year, and Old Street Underground and suburban train station. Frequent, 24-hour bus routes to other parts of central London as well as elsewhere in Hackney operate from Great Eastern Street and Shoreditch High Street/Norton Folgate.
- 1.4 Aside from its location in the South Shoreditch conservation area, the application site falls within a Defined Employment Area (DEA). There are no other UDP designations.

2. CONSERVATION IMPLICATIONS

- 2.1 No statutorily listed or locally listed buildings are affected by the application. The site is located in the South Shoreditch conservation area.

3. HISTORY

- 3.1 23/05/2008: Planning application received for the excavation of basement area to provide 492 square metres of use-class B1 floor space with opening hours 07.00 to 20.00; appealed on non-determination; appeal allowed (ref. 2008/1363).
- 3.2 14/02/2008: Planning permission refused for the erection of a four-storey plus basement building to provide 1536 square metres use-class B1 (business) space and eleven residential units (five one-bedroom, two two-bedroom, three three-bedroom and one four-bedroom) with four car parking spaces and ten cycle spaces; appealed; appeal dismissed (ref. 2007/2099) (Reason for refusal: lack of affordable housing.)
- 3.3 22/01/2007: Planning application received for the creation of new basement level to provide additional class B1 floor space (492 square metres). Withdrawn by case officer 18/11/2008 (ref. 2007/0229).
- 3.4 09/02/2006: Planning permission granted for the erection of a four-storey building to create 951 square metres of use-class B1 (office/light industry) at ground- and first-floor levels and residential on second and third floors, (comprising eleven flats), with six car parking spaces and ten cycle spaces (ref. 2004/2539).
- 3.5 11/10/2001: Planning permission granted (but not implemented) for the erection of four-storey building with basement to provide 3228 square metres of office floorspace (ref. 2001/1163).

4. CONSULTATIONS

- 4.1 Date statutory consultation period started: 01/04/2009
- 4.2 Date statutory consultation period ended: 18/05/2009
- 4.3 Site notice: Yes
- 4.4 Press advert: Yes

4.5 Neighbours

193 surrounding occupiers have been consulted by personal letter. Two letters of objection have been received.

The objections are on the following basis:

- Insufficient parking in the area will be exacerbated by the development
- Basement unsuitable for office space, with too few windows and too little natural light
- Refuse and recycling store is inadequate, given the additional office space, and is poorly positioned
- Access road is too narrow with compromised visibility; 'could be dangerous'.
- If residents have access to the green roof, this would intrude upon the privacy of 1 Motley Avenue.

4.6 Statutory Consultees

4.6.1 Thames Water: No response received.

4.7 Local Consultees

4.7.1 Shoreditch Conservation Area Advisory Committee (CAAC): No objection.

4.7.2 London Fire and Emergency Planning Authority: No response received.

4.8 Other Council Departments

4.8.1 Sustainability and Design: The modified design hasn't changed the original quality of the approved scheme. The landscape arrangement is acceptable in principle but further detail including material samples should be provided. [NB. The hard landscaping has been completed and the materials can be seen on site.] There are some security issues regarding the cycle storage since there are no security gates for the back yard and there is no protection to the bike shelter. Further detail regarding bike shelter should be also provided. [NB. The shelter is covered and details of security gates for the bicycle shelter have subsequently been provided.]

4.8.2 Highways: No response received.

4.8.3 Traffic and Transport: No response received.

4.8.4 Strategic Property: Officers accept that the proposed development will not viably support the provision of affordable housing.

4.8.5 Waste Management: For the residential dwellings they require 2200 litres of waste storage, plus provision for recycling, based on a weekly collection. For the commercial B1 office space they require 3750 litres of waste storage, which must be stored separately from the domestic waste.

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995) (saved)

EQ1	-	Development Requirements
EQ40	-	Noise Control
E2	-	Development within Defined Employment Areas
E18	-	Planning Standards
HO3	-	Other Sites for Housing
TR19	-	Planning Standards

5.2 Supplementary Planning Guidance (SPG)

SPG1	-	New Residential Development
SPG11	-	Access For People With Disabilities

5.3 Local Development Framework (LDF): Planning Contributions Supplementary Planning Document (SPD) (2006)

5.4 Local Development Framework (LDF): South Shoreditch Supplementary Planning Document (SPD) (2006)

SSSPD 1.1	-	Townscape quality and character
SSSPD 1.2	-	Mixed uses
SSSPD 1.3	-	Environmental sustainability
SSSPD 1.4	-	Sustainable design and construction
SSSPD 1.7	-	Efficient use of urban land and buildings
SSSPD 1.8	-	An offer of jobs and a variety of employment sectors
SSSPD 1.9	-	A diverse range of housing
SSSPD 1.10	-	Availability of London-wide links
SSSPD 1.14	-	Infrastructure
SSSPD 2.1	-	Employment-led mix of use
SSSPD 2.2	-	Housing
SSSPD 3.6	-	Development and demolitions
SSSPD 4.1	-	Building heights
SSSPD 5.4	-	Recycling
SSSPD 7.1	-	Impact of new development
SSSPD 7.4	-	Cycling
SSSPD 8.1	-	Planning gain guidance
SSSPD 11.1	-	Land uses in Leonard Circus sub-district
SSSPD 11.2	-	Leonard Circus sub-district conservation and design guidance

5.5 London Plan (Consolidated with Alterations since 2004)

2A.1	-	Sustainability criteria
3A.1	-	Increasing London's supply of housing
3A.2	-	Borough housing targets
3A.5	-	Housing choice
3A.6	-	Quality of new housing provision

- 3A.7 - Large residential developments
- 3A.8 - Definition of affordable housing
- 3A.9 - Affordable housing targets
- 3A.10 - Negotiating affordable housing in individual private residential and mixed-use schemes
- 3B.1 - Developing London's economy
- 3B.2 - Office demand and supply
- 3B.3 - Mixed use development
- 3B.4 - Strategic Industrial Locations
- 3C.1 - Integrating transport and development
- 3C.2 - Matching development to transport capacity
- 3C.3 - Sustainable transport in London
- 3C.23 - Parking strategy
- 4A.1 - Tackling climate change
- 4A.3 - Sustainable design and construction
- 4A.4 - Energy assessment
- 4A.6 - Decentralised energy: heating, cooling and power
- 4A.7 - Renewable energy
- 4A.11 - Living roofs and walls
- 4A.14 - Sustainable drainage
- 4A.16 - Water supplies and resources
- 4B.1 - Design principles for a compact city
- 4B.2 - Promoting world-class architecture and design
- 4B.3 - Enhancing the quality of the public realm

5.6 National Planning Policies

- PPS1 - Delivering Sustainable Development
- PPS3 - Housing
- PPG13 - Transport

6. COMMENT

The current planning application is the latest for a site with a complex recent planning history.

In 2006, planning permission was granted (under reference 2004/2539) for the erection of a four-storey building to create 951 square metres of use-class B1 (office/light industry) at ground- and first-floor levels, with eleven flats on the second and third floors.

Construction began on the application site in 2007, ostensibly comprising the implementation of the above planning permission, but with the inclusion of a basement. The building approved under reference 2004/2539 did not include a basement; the basement was therefore being built without planning permission.

Upon notification of the basement excavation, officers requested that building works cease until such time as planning permission was sought and granted for

the basement. Accordingly, the developer submitted a planning application for the basement only, under reference 2007/0229.

However, officers took the view that the basement could not be applied for separately, because a basement was structurally an intrinsic part of the building. As a result, a planning application was subsequently submitted for the entire building again, this time including the basement, under reference 2007/2099 (with application 2007/0229 later withdrawn).

Since the 2004/2539 scheme was submitted, the Council's position on affordable housing had changed, bringing the new planning application (ref. 2007/2099) within the remit of the requirement to provide affordable housing. As none was provided, application 2007/2099 was refused. (However, the acceptability of the basement was not a reason for refusal).

The developer appealed the Planning Service's decision, but the appeal was dismissed, with the Inspector disregarding the developer's emphasis of the 2004/2539 scheme as a materially significant fall-back position, and taking the view that the existence of the basement made the building a different one to that approved in 2006; therefore, as with all new major developments since 2004, the Inspector considered that the Council was not being unreasonable in expecting affordable housing policies to apply.

Subsequently, a number of differing elements were accepted by officers as minor amendments to the approved scheme. Furthermore, another planning application was made for the basement only, under reference 2008/1363, which was accepted by the Planning Service. (In both instances, these matters had been allocated to new officers who were not initially aware of the site's increasingly protracted history, or that the Council's official position was that the building as a whole is unauthorised.)

Accordingly, determination of the new basement-only application (ref. 2008/1363) was held in abeyance and was eventually appealed on non-determination. During the appeal, officers again argued that the basement was not a separate structure and, as the building was unauthorised, it could not be considered as an addition to an approved scheme. The basement should, in the opinion of officers, be regarded as part of the whole, new building and, as this included eleven flats, affordable housing provision should therefore be required.

This time the Inspector (different from the one who determined the first appeal) took the view that the basement could be treated as a separate structure and that, in having no detrimental impact on the character and appearance of the streetscene or the conservation area, the basement was acceptable. The appeal was allowed. (The Inspector did not comment on the acceptability or otherwise of the basement as a work environment.)

The current application was submitted before the appeal hearing for the latter basement-only application (2008/1363), not only in order to regularise the basement issue, but also to regularise the following differences between the built scheme and the 2004/2539 scheme:

- The creation of lightwells associated with the basement
- The creation of new roof terraces by way of enclosure with a railing
- Timber cladding on part of the building laid vertically rather than horizontally
- A minor increase in height on part of the building due to extended lift over-run
- Provision of solar hot-water-collectors on the roof.

The other differences, which the Planning Service has already accepted as 'minor amendments' to the originally approved scheme by way of correspondence during August and September 2008, are:

- Use of English (stretcher) brick bonding throughout, rather than English bonding on the ground floor and Flemish bonding on the upper floors
- Different bin storage location and layout
- Different car-parking and bicycle-parking layout
- Different window arrangement, including introduction of a cantilevered window feature on the top floor
- Different placement, design and materials of entry doors.

Although the issue of the basement's acceptability has now been settled by the Inspector's decision regarding application ref. 2008/1363, which was issued shortly before this Planning Sub-Committee, the developer has concluded that the current application should not be withdrawn and that determination should proceed, in order to establish the acceptability of the other differences between the built scheme and the 2004/2539 scheme, as set out above.

Considerations

In view of the above history, it is considered that the main issues for consideration are:

- 6.1 Differences in the design and appearance between the built scheme and the approved scheme (ref. 2004/2539)
- 6.2 Acceptability of roof terraces
- 6.3 Provision of affordable housing
- 6.4 Sustainability criteria
- 6.5 Other matters
- 6.6 Consideration of objections

Each of these considerations is discussed in turn below.

6.1 Differences in the design and appearance between the built scheme and the approved scheme (ref. 2004/2539)

6.1.1 Aside from the differences already accepted by officers as minor amendments, the principal differences between the design and appearance of the built scheme and the scheme approved under reference 2004/2539 are:

- The creation of lightwells associated with the basement
- Timber cladding on part of the building laid vertically rather than horizontally
- A minor increase in height on part of the building due to extended lift over-run.

6.1.2 With regard to the difference in timber cladding direction, it could be argued that adherence to the cladding direction that was approved for the 2004/2539 proposal might have resulted in a marginally superior standard of detailed design to that evident on the built scheme. However, it is the duty of officers to assess these matters in absolute terms and consider whether or not a decision would have been made to refuse the original proposal had it featured vertical cladding from the start. It is clear that, all other matters remaining the same, officers could not reasonably have refused the application solely on the grounds of cladding direction, and therefore this difference must be considered acceptable.

6.1.3 The creation of lightwells is considered to be acceptable, in the interests of allowing natural light into the basement, and in the absence of any resultant detrimental impact on the streetscene.

6.1.4 The other matter relates to the lift over-run, which the applicant explains had to be included “for health and safety reasons,” i.e. to provide sufficient space for personnel working on the lift for maintenance and repair purposes. The lift over-run is thirty centimetres in height. The lift over-run cannot be seen from street level and has no significant impact on the appearance of either the building itself or the streetscene in which it sits. Therefore the lift over-run is considered acceptable.

6.2 Acceptability of roof terraces

6.2.1 The current planning application features roof terraces for four units within the scheme, which weren’t included in the 2004/2539 planning application.

6.2.2 There are two roof terraces in total, each divided into two. Both are at second-floor level. One of the roof terraces consists of a 1.3-metre-deep strip on the south side of the building, facing the rear of buildings on Scrutton Street. The other roof terrace is larger (4.5 metres deep) and less enclosed, on the northern-eastern corner of the building (i.e. the corner of Christina Street and Motley Avenue).

- 6.2.3 One of the principal issues that has informed the assessment of this planning application is the acceptability of the currently unauthorised roof terraces, in the interests of safeguarding the amenity of adjoining residents from overlooking such as would constitute an intrusion on their privacy.
- 6.2.4 A possible risk of overlooking has been identified from the larger roof terrace to residential units opposite the development on Christina Street and at 1 Motley Avenue, although it is considered that this can be overcome with the installation of suitable screening along the northern edge of the terrace, and part of the eastern edge, which by reason of the roof terrace's siting and orientation (i.e. not visible from Phipp Street) need not have a detrimental impact upon the character or appearance of the streetscene or conservation area. However, it is recommended that the exact details of this screening be submitted to officers as a condition attached to any approval.
- 6.2.5 Aside from this, the roof terraces are otherwise considered to be acceptable; as they are surrounded by use-class B1 accommodation, it is considered that there will be no materially adverse impact on the amenity of nearby residents.

6.3 Provision of affordable housing

- 6.3.1 Although the issue of affordable housing has been an area of contention over the course of this application's history, the developer has submitted a detailed financial feasibility report that has demonstrated to the satisfaction of the valuation surveyors in the Council's Strategic Property team that this eleven-unit building cannot viably support the provision of affordable housing on site, nor an *in-lieu* off-site contribution. In light of this, the provision of a scheme of one-hundred per-cent market housing is accepted.

6.4 Sustainability criteria

- 6.4.1 The Energy Strategy submitted by the developer's consulting engineers admits that the proposed development would, by reason of passive energy-saving measures, reduce the development's carbon dioxide emissions by only two per cent – rising to just under three per cent if solar hot-water collectors are installed on the roof. This falls far short of the twenty per-cent reduction policy requirement in the London Plan.
- 6.4.2 The Energy Strategy sets out how the developer's consulting engineers consider all other renewable energy technologies to be either unsuitable or unviable for a site of this development's size and with this development's constraints.
- 6.4.3 If the current proposal were for a development that had not already been built and not approved, for the most part, in 2006, it is considered that the development's failure to comply with the London Plan policy – and by such

a significant margin – may have constituted a reason for the refusal of the application. However, having due regard to the fact that the building that is the subject of this proposal is mostly completed, officers have taken the view that it would be neither financially nor structurally feasible at this stage to ‘retro-fit’ sustainability into the building, nor reasonable for the Council to demand this by refusing the application on this basis alone. The development’s sustainability offer is therefore accepted in these mitigating circumstances alone; compliance with London Plan sustainability policies will be expected of all other new major developments.

6.5 Other matters

6.5.1 Matters such as the principle of the development (other than the basement); the impact on traffic and transport; the impact on the amenity of adjoining occupiers (other than from the roof terraces); general external design (height, bulk and massing); internal layout, and dwelling mix have been assessed and settled as a result of the approval of the 2004/2539 application. The current application does not differ in these regards and therefore remains acceptable.

6.5.2 The principal new instrument in the Development Plan is the introduction of the South Shoreditch SPD as part of the Council’s LDF (Local Development Framework), which was adopted in the same month that the 2004/2539 application was approved. The current proposal complies with South Shoreditch SPD policies in the above regards. With the exception of the introduction of the South Shoreditch SPD, there has been no change in local, regional or national policy since the application was approved in 2006 sufficient to warrant a change in officers’ views on the acceptability of these matters.

6.5.3 The main policy in the South Shoreditch SPD that the planning application does not comply with is SSSPD.14 (Sustainable design and construction). This issue is addressed in paragraph 6.4.3 of this report. It is considered that this non-compliance is outweighed as a material consideration by the approval of the 2004/2539 scheme and, as such, it is considered that the current application should not be refused for this reason.

6.6 Consideration of objections

6.6.1 Insufficient parking will be exacerbated by the development

This issue is addressed in paragraph 6.5.1 of this report. Furthermore, the building is situated in a Controlled Parking Zone with good public transport accessibility; a ‘no resident’s parking permits’ clause is included in the Section 106 agreement associated with this application.

6.6.2 Basement unsuitable for office space with too few windows and too little natural light

The Planning Inspector who determined the most recent basement-only application (ref. 2008/1363) did not rule or comment on the suitability of the basement space as an office environment. However, it is considered that the Inspector's decision to allow the basement amounts to tacit approval of the space therein, and this outweighs as a material consideration any reservations officers or other interested parties may have about the quality of the office space in the basement. It should be noted that the proposed use-class B1 space includes the ground- and first-floor levels, which have good access to natural light.

6.6.3 Refuse and recycling store is inadequate, given the additional office space, and is poorly positioned

The Council's Waste Management team have raised no objection to the physical location of the bin stores. In terms of capacity, a condition is recommended to secure a level of waste provision appropriate to the development's size.

6.6.4 Access road is too narrow with compromised visibility; 'could be dangerous'

This issue is addressed in paragraph 6.5.1 of this report. The access road in the current planning application is the same as that already approved under reference 2004/2539.

6.6.5 If residents have access to the green roof [i.e. the roof terrace], this would intrude upon the privacy of 1 Motley Avenue.

This issue is discussed in paragraph 6.2.4 of this report. Officers concur that there is a risk of overlooking to this residential property from the roof terrace but consider that this can be addressed with the installation of appropriately positioned screening, which can be secured by way of planning condition attached to any approval.

7. CONCLUSION

- 7.1 Having regard to the above considerations, it is considered that the proposal complies with all pertinent policies in the Hackney UDP (1995), the South Shoreditch SPD (2006) and the London Plan (Consolidated with Alterations since 2004), and on that basis the granting of planning permission is recommended.

8. RECOMMENDATION

RECOMMENDATION A:

- 8.1 **That permission be GRANTED, subject to the following conditions:**

8.1.1 SCH4 – Forward vehicle ingress/egress only

All vehicles shall enter and leave the site only in a forward direction.

REASON: In the interests of road safety generally and avoidance of obstruction of the highway.

8.1.2 SCH8 – Parking for persons with disabilities

Before the use hereby permitted first commences, at least one car-parking space shall be marked and retained permanently for use by the vehicles of a person with disabilities at locations close to the entrance to the buildings.

REASON: In order to ensure that a reasonable minimum of parking spaces are located conveniently for the use persons with disabilities.

8.1.3 SCH9 – Marking of parking/service areas

Before the use hereby permitted first commences, appropriate markings shall be used to delineate all car parking spaces and service areas within the site/development as shown on the permitted plans, such marking to be maintained permanently.

REASON: In the interests of orderly and satisfactory parking provisions being made on the site to ensure that the proposed development does not prejudice the free flow of traffic or public safety along the adjoining highway.

8.1.4 SCH10 – Secure bicycle parking

Lockable space shall be made available within the site for the secure parking of fifteen bicycles in accordance with the plans hereby approved, before the first occupation of the development.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interest of relieving congestion in surrounding streets and improving highway conditions in general.

8.1.5 SCI3 – No roof plant

No plant (including all external enclosures, machinery and other installations; excluding solar water-heating and/or photovoltaic cells) shall be placed upon or attached to the roof or other external surfaces of the building, other than as shown on the drawings hereby approved, unless planning permission for such is sought and granted separately.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.6 SCM9 – No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.7 NSC1 – Non-standard condition

Details of the exact number, size and positioning of the solar hot-water-collectors indicated on drawing 1-337.P.154 as hereby approved shall be submitted to the local planning authority and approved in writing before use of the development first commences.

REASON: In the interests of maximising the environmental performance of the building.

8.1.8 NSC2 – Non-standard condition

The second-floor external space on the corner of Christina Street and Motley Avenue shall not be used as a roof terrace until details of screening along the northern edge (facing Christina Street) and part of the eastern edge (facing Motley Avenue from its junction with Christina Street up to and including 1 Motley Avenue) are submitted to the local planning authority and approved in writing.

REASON: In the interests of protecting the amenity of adjoining residents from any intrusion on privacy arising from the use of the roof terrace hereby approved, and in the interests of the appearance of the roof terrace.

8.1.9 NSC3 – Non-standard condition

Reasonable endeavours shall be undertaken to locate street lights to the highway immediately adjoining the site onto the face of the building hereby approved.

REASON: To safeguard visual amenity and assist with the provision of a less cluttered public realm.

8.1.10 NSC4 – Non-standard condition

Provision is to be made within the site for two 1280-litre Eurobins (for residual waste) and one 1100-litre Eurobin (for co-mingled recycling) for the residential accommodation, and separate provision for three 1280-litre Eurobins for the commercial accommodation, with details of the interior (configuration of receptacles) of the bin stores to be submitted to the local planning authority and approved in writing prior to first occupation of the site.

REASON: In the interests of providing an appropriate level of waste provision for the development.

RECOMMENDATION B:

8.2 That the above recommendation be subject to the applicant, the landowners and their mortgagees entering into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended), in order to secure the following matters to the satisfaction of the Assistant Director of Regeneration and Planning and the Interim Head of Legal Services:

8.2.1 Payment by the landowner/developer of £509.63 as a financial contribution towards Council library facilities. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)

8.2.2 Payment by the landowner/developer of £33,815.07 as a financial contribution towards education facilities in the borough. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006), with child yield information based on the GLA 'DMAG Briefing Note' 2005/25 (updated in May 2006), using Wandsworth survey data as the best available proxy for inner London.)

8.2.3 Payment by the landowner/developer of £1,719.32 as a financial contribution towards open space in the borough. (This sum has been calculated in accordance with the approved formula in the Planning Contributions Supplementary Planning Document (SPD) (2006).)

8.2.4 Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.

8.2.5 No entitlement (unless the holder of a disabled person's badge) to a resident's parking permit.

8.2.6 The use of the class C3 residential floorspace hereby approved shall not commence until the use-class B1 accommodation on the basement, ground and first floors is completed to shell and core (i.e. fully finished landlord areas comprising main entrance and reception, lift and stair cores, lobbies and toilets, with the lettable space to remain in shell condition ready for Category A fit-out).

9. REASONS FOR APPROVAL

9.1 The following policies contained in the Hackney Unitary Development Plan (1995) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 - Development Requirements; EQ40 - Noise Control; E2

- Development within Defined Employment Areas; E18 - Planning Standards; HO3 - Other Sites for Housing; TR19 - Planning Standards.

9.2 The following policies in the South Shoreditch SPD (2006) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: SSSPD 1.1 - Townscape quality and character; SSSPD 1.2 - Mixed uses; SSSPD 1.3 - Environmental sustainability; SSSPD 1.4 - Sustainable design and construction; SSSPD 1.7 - Efficient use of urban land and buildings; SSSPD 1.8 - An offer of jobs and a variety of employment sectors; SSSPD 1.9 - A diverse range of housing; SSSPD 1.10 - Availability of London-wide links; SSSPD 1.14 - Infrastructure; SSSPD 2.1 - Employment-led mix of use; SSSPD 2.2 - Housing; SSSPD 3.6 - Development and demolitions; SSSPD 4.1 - Building heights; SSSPD 5.4 - Recycling; SSSPD 7.1 - Impact of new development; SSSPD 7.4 - Cycling; SSSPD 8.1 - Planning gain guidance; SSSPD 11.1 - Land uses in Leonard Circus sub-district; SSSPD 11.2 - Leonard Circus sub-district conservation and design guidance.

9.3 The following policies in the London Plan (Consolidated with Alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 - Sustainability criteria; 3A.1 - Increasing London's supply of housing; 3A.2 - Borough housing targets; 3A.5 - Housing choice; 3A.6 - Quality of new housing provision; 3A.7 - Large residential developments; 3A.8 - Definition of affordable housing; 3A.9 - Affordable housing targets; 3A.10 - Negotiating affordable housing in individual private residential and mixed-use schemes; 3B.1 - Developing London's economy; 3B.2 - Office demand and supply; 3B.3 - Mixed use development; 3B.4 - Strategic Industrial Locations; 3C.1 - Integrating transport and development; 3C.2 - Matching development to transport capacity; 3C.3 - Sustainable transport in London; 3C.23 - Parking strategy; 4A.1 - Tackling climate change; 4A.3 - Sustainable design and construction; 4A.4 - Energy assessment; 4A.6 - Decentralised energy: heating, cooling and power; 4A.7 - Renewable energy; 4A.11 - Living roofs and walls; 4A.14 - Sustainable drainage; 4A.16 - Water supplies and resources; 4B.1 - Design principles for a compact city; 4B.2 - Promoting world-class architecture and design; 4B.3 - Enhancing the quality of the public realm.

10. INFORMATIVES

The following Informatives should be added:

- SI.25 Disabled Person's Provisions
- SI.27 Regulatory Reform (Fire Safety) Order 2005
- SI.28 Refuse Storage and Disposal Arrangements



Signed..... Date: 1 June 2009

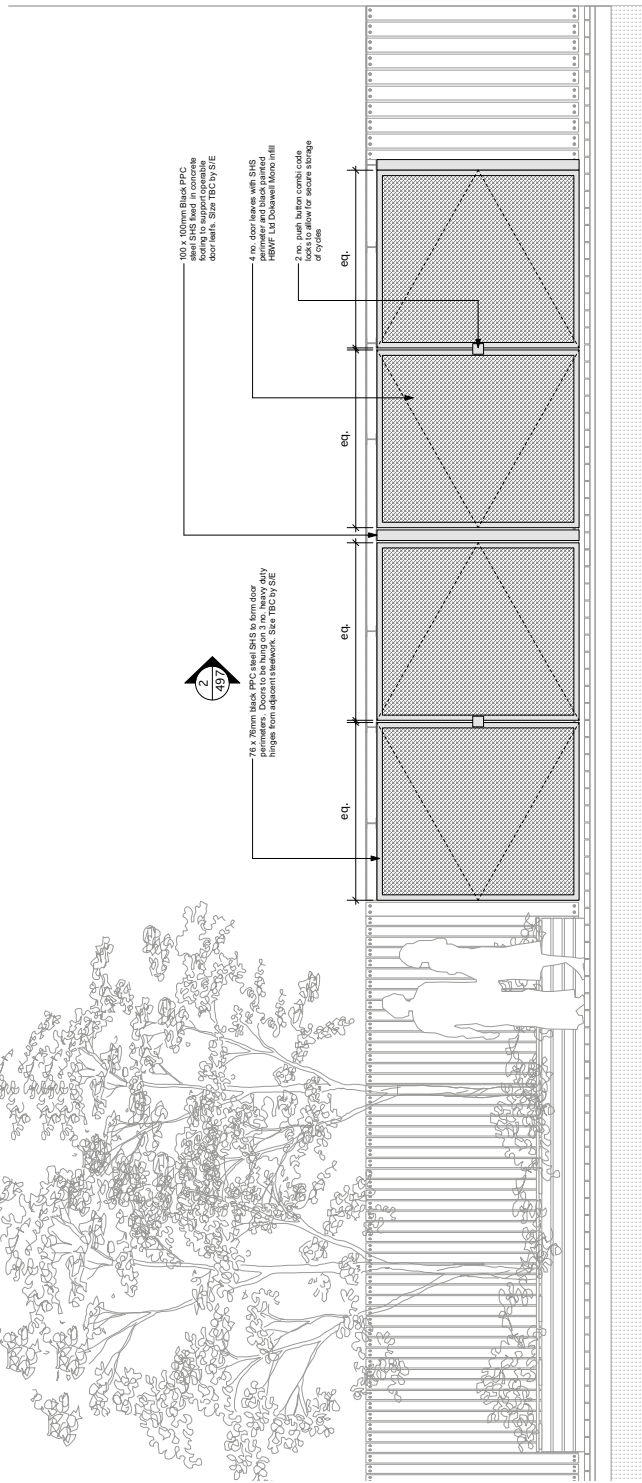
Steve Douglas
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS &
REGENERATION DIRECTORATE

NO.	BACKGROUND PAPERS	NAME/EXTENSION OF OFFICER	LOCATION
1.	Hackney UDP	Rokos Frangos 8095	263 Mare Street, E8 3HT
2.	South Shoreditch SPD	Rokos Frangos 8095	263 Mare Street, E8 3HT
3.	The London Plan	Rokos Frangos 8095	263 Mare Street, E8 3HT

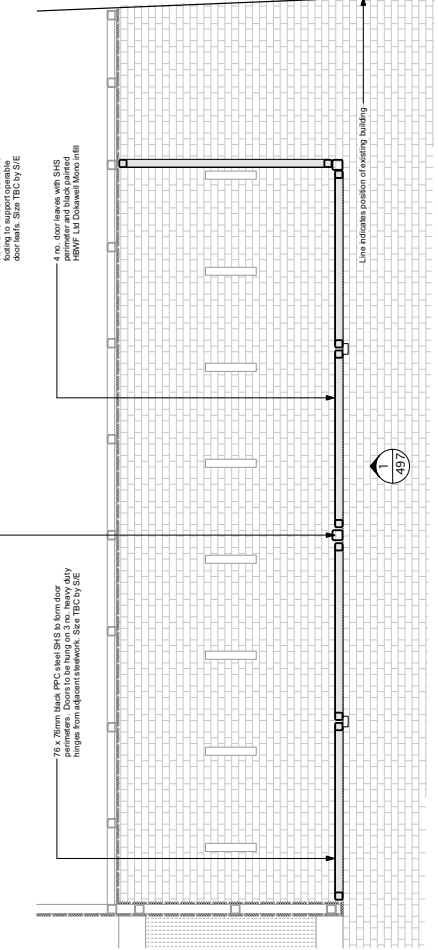
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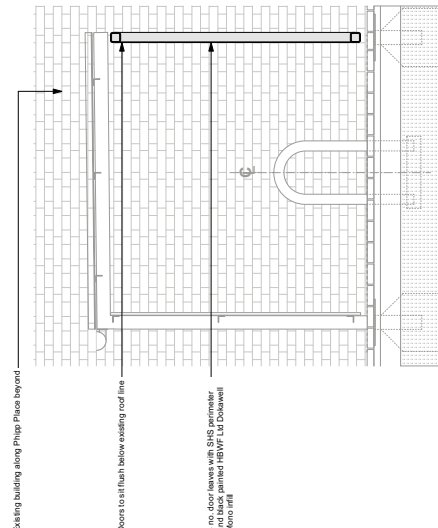
Contractor to ensure that all vertical surfaces of partitions are compliant with Part E of the current Building Regulations.
 Contractor to ensure that external envelope is fully compliant with Part L2 of the current Building Regulations.
 Contractor to ensure full compliance is achieved for thermal insulation and air tightness of the envelope.



BIKE SHED - WEST ELEVATION FROM PHIPP STREET
1:25@A1



BIKE SHED AND SURROUNDING LANDSCAPING - PLAN
1:25@A1

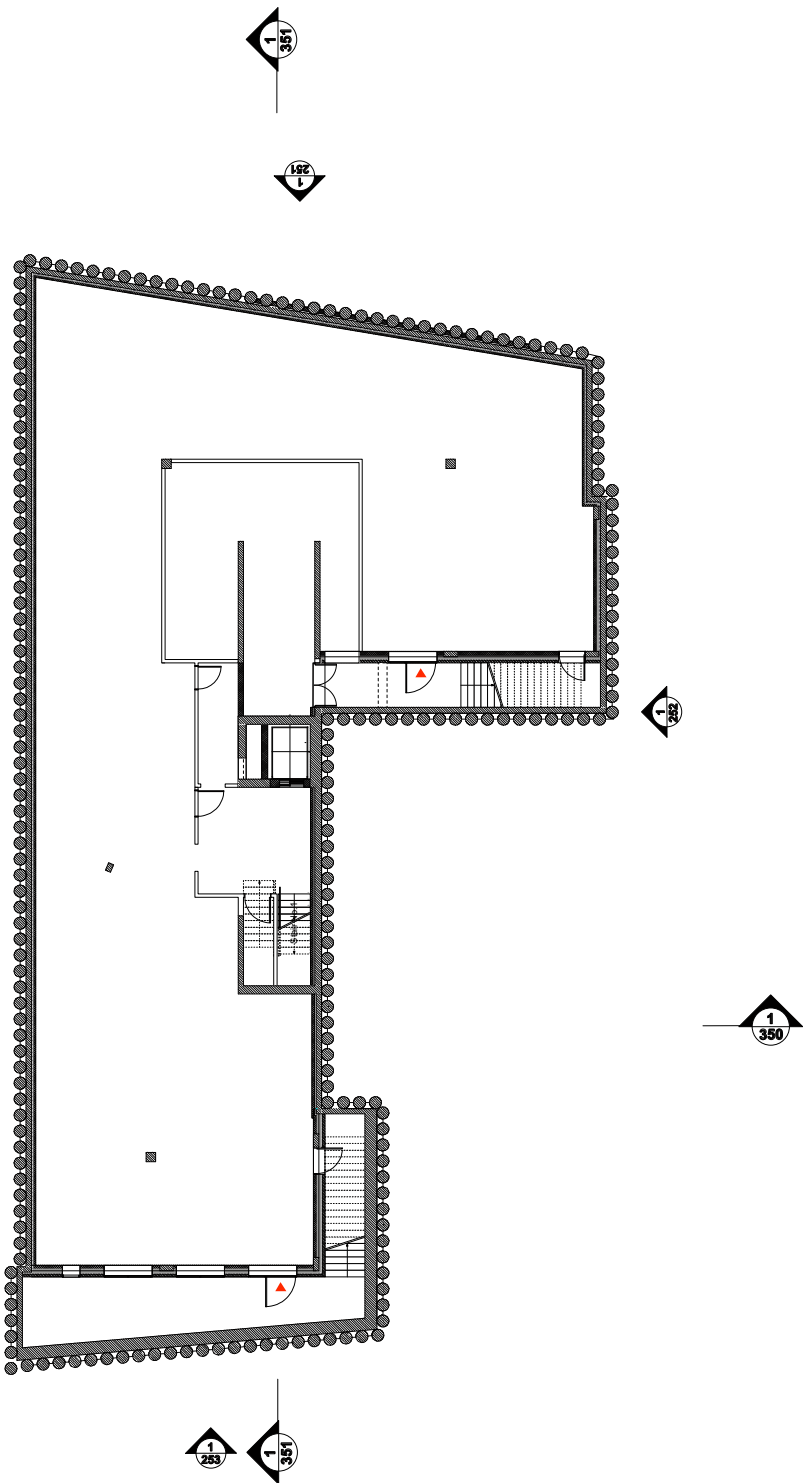


BIKE SHED SECTION 1:20 @ A1

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 are approximate and subject to change without notice.
 Information. All building work is to comply with current Building
 Regulations and British Standards.

1/11



PROPOSED PLANNING
 NO. 20/0109
 DATE 2/1/10
 DRAWN MB2

PLANNING

Job 2-15 Phipps Street
 London, EC2
 Title Proposed Basement
 Date March 2006
 Scale 1:200 @ A3, 1:100 @ A1
 Drawn MB2

1-337.P.149

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 Fax +44 (0)20 7613 5727
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 London
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 Architects Ltd
 Waugh Thistleton

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4/21/15

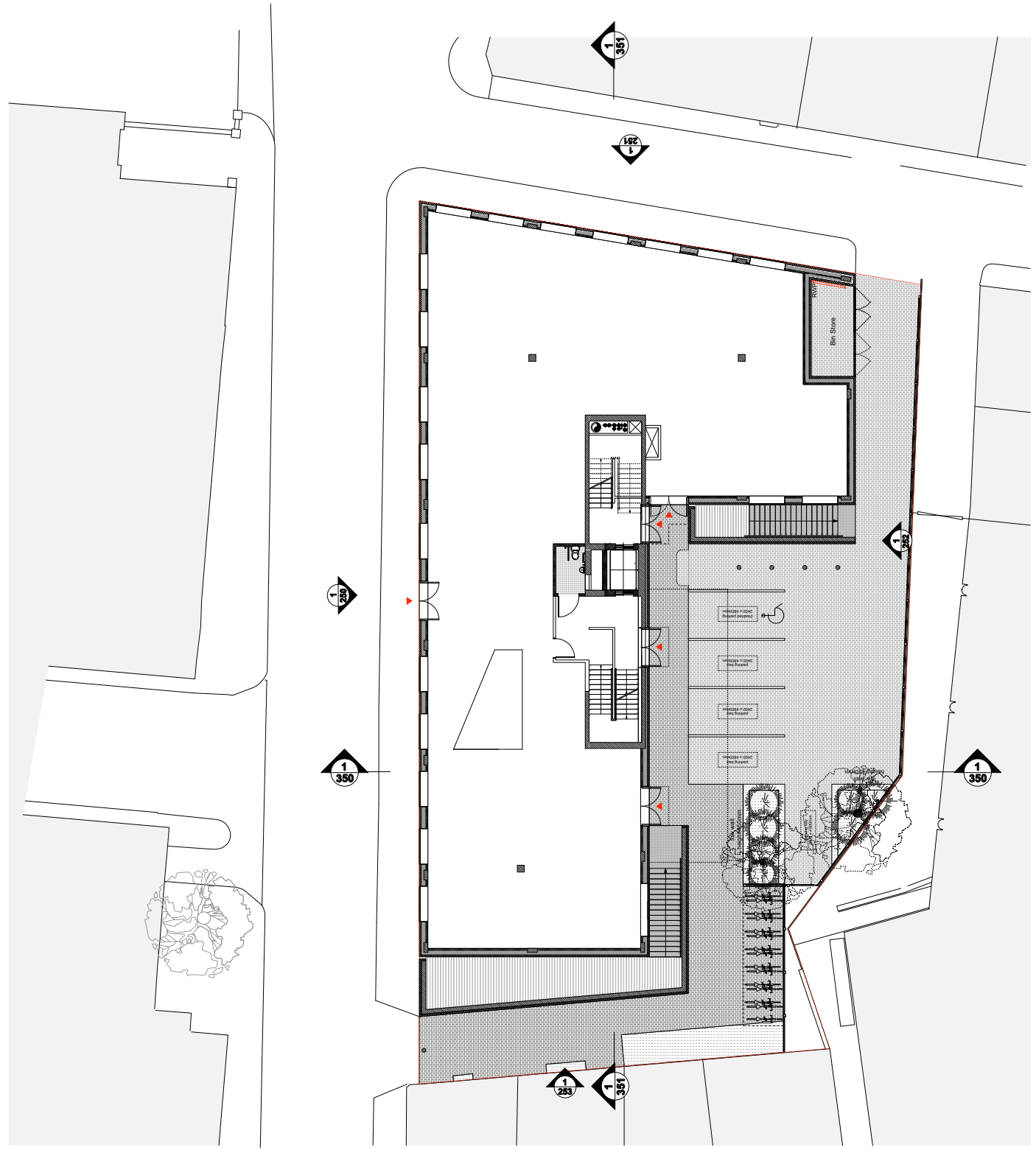


PROPOSED PLANNING MB2
 DATE: 15/03/15
 DRAWN BY: MB2

PLANNING

Job: 2-15, Phipps Street, London, EC2C
 Title: Proposed Ground Floor
 Date: March 2005
 Scale: 1:200 @ A3, 1:100 @ A1
 Drawn: MB2

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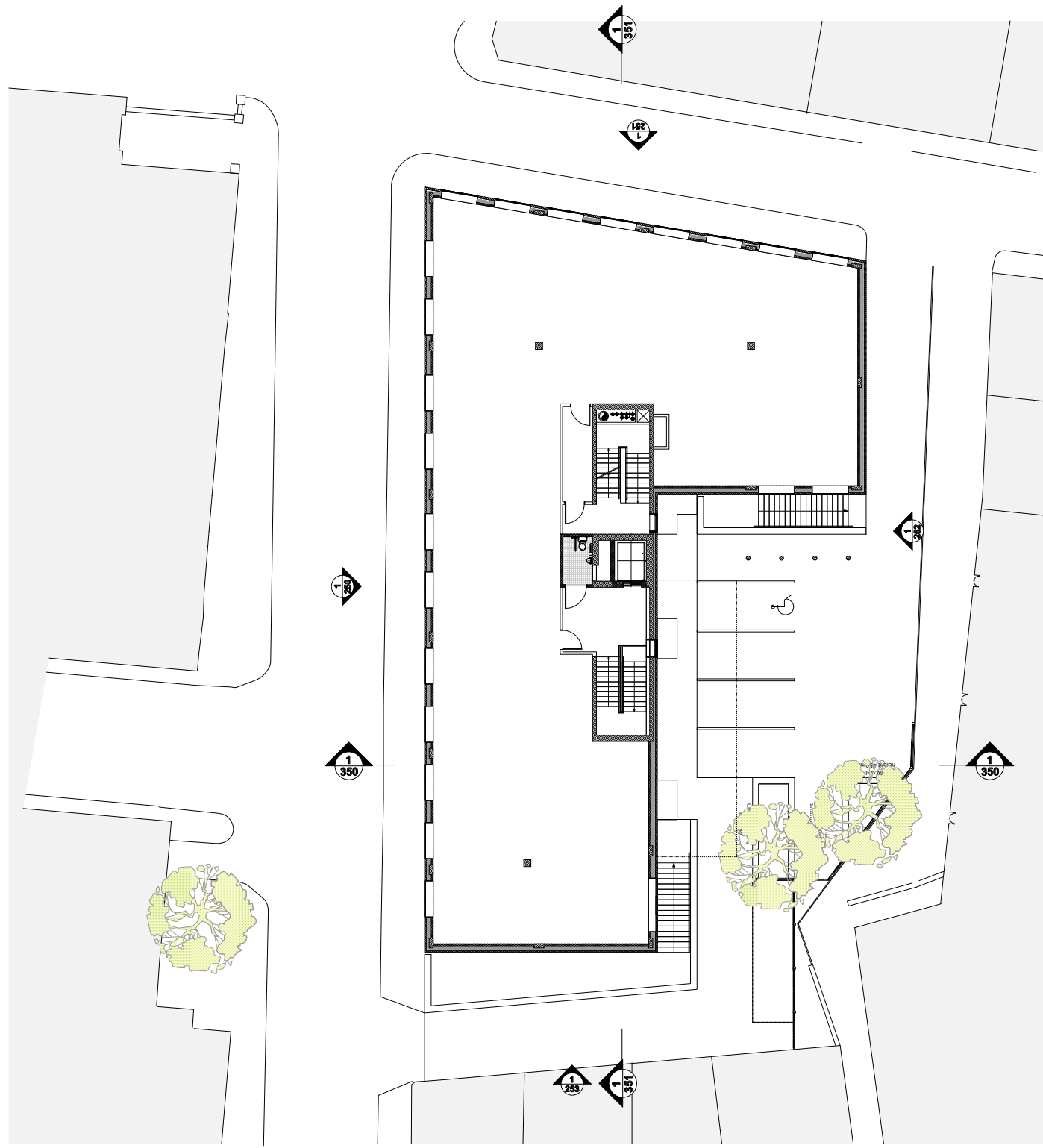


PROPOSAL FOR PLANNING PERMISSION
 15/03/09 MB2
 15/03/09 MB2
 15/03/09 MB2

PLANNING

Job: 2-15, Phipps Street, London, EC2J
 Title: Proposed First Floor
 Date: March 2006
 Scale: 1:200 @ A3, 1:100 @ A1
 Drawn: MB2

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4/21



Velux sliding door to provide access to amenity space from flat. Velux door specification to match New Velux door to provide access to amenity space via internal glass staircase to flat above. Door to be replaced with Velux window.

Paving slabs to provide hard surface for outdoor furniture

Extensive green roof planted with grass

2 metre high lamp clad privacy screening to divide proposed amenity spaces between flats and prevent overlooking across Sidney Avenue

Landscaping to be planted within extensive green roof hard-up

Obscure Velux sliding door to provide access to amenity space from flat.

Extensive green roof planted with grass

Velux sliding door to provide access to amenity space between flats.

Obscure Velux sliding door to provide access to amenity space from flat.

PROPOSED PLANNING
 DATE: 20.03.09
 DRAWN: MB2
 CHECKED: JTB

PLANNING

Job: 2-15 Phipps Street
 London, EC2C

Title: Proposed Second Floor

Date: March 2006

Scale: 1:200 @ A3, 1:100 @ A1

Drawn: MB2

1-337.P.152

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PROPOSOR: MB2
 DATE: 03/09/09
 DRAWN: MB2

PLANNING

Job: 2-15, Regent Street, London, EC2A
 Title: Proposed Third Floor
 Date: March 2006
 Scale: 1:200 @ A3, 1:100 @ A1
 Drawn: MB2

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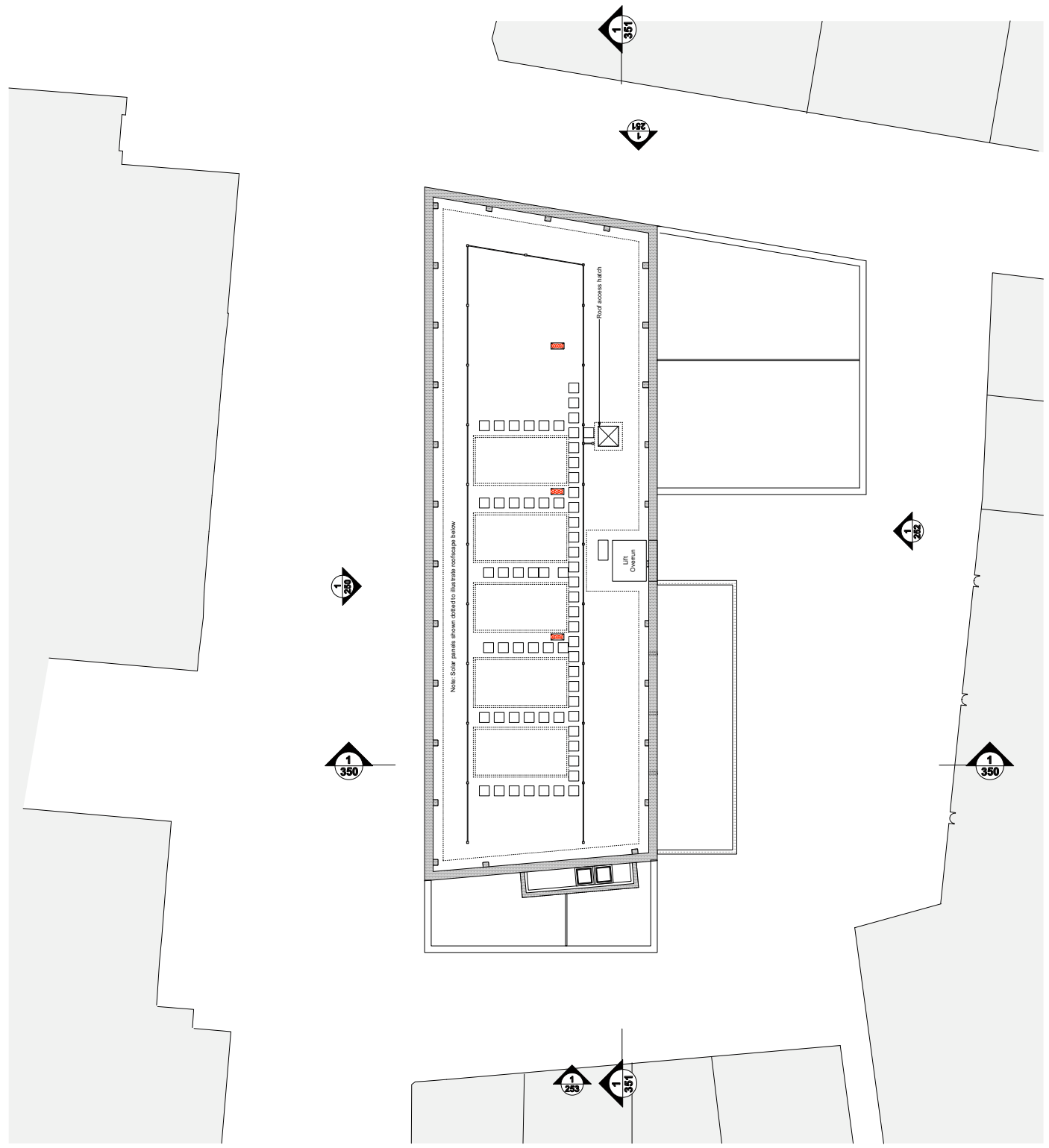
4/2/15

PROPOSED PLANNING MB2
 DATE 03/03/09
 DRAWN BY MB2

PLANNING

1-337.P.154
 Job 2-15 Kings Street
 London, EC2A
 Title Proposed Roof Plan
 Date March 2006
 Scale 1:200 @ A3, 1:100 @ A1
 Drawn MB2

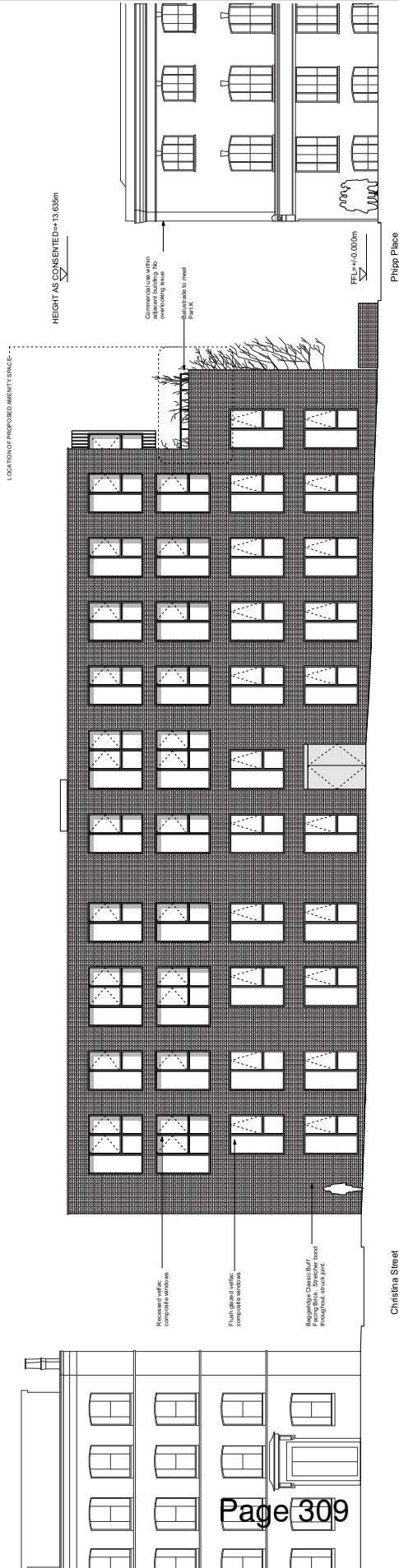
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Note: Drawing approved under application reference 20/04/2339 with agreed minor modifications



MBZ
20/04/2020
REV COMMENTS
DATE

PLANNING

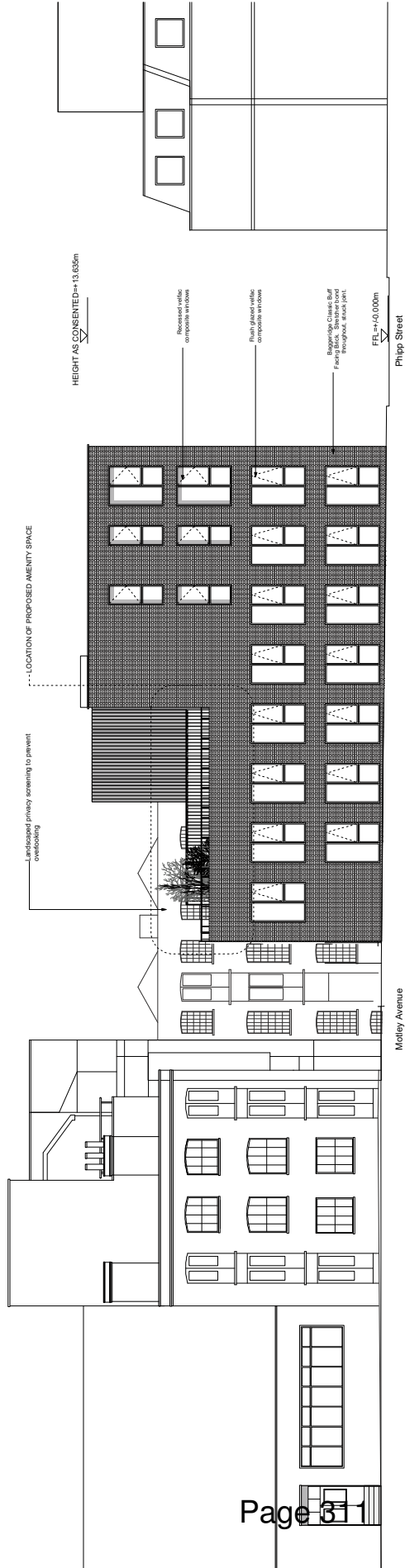
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Title: Proposed Phlipp Street Elevation
Date: March 2009
Scale: 1:100 @ A1, 1:200 @ A3
Drawn: MBZ

Maugh Thistleton Architects Ltd
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E1 2AA
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Note: Drawing approved under application reference 20/04/2339 with agreed minor modifications



REVISED FOR PLANNING 20/04/23
 DATE: 20/04/23
 DRAWN BY: MBZ

PLANNING

Job: 2-16 Phipp Street
 Title: Proposed Christmas Street Elevation
 Date: March 2009
 Scale: 1:100 @ A1, 1:200 @ A3
 Drawn: MBZ

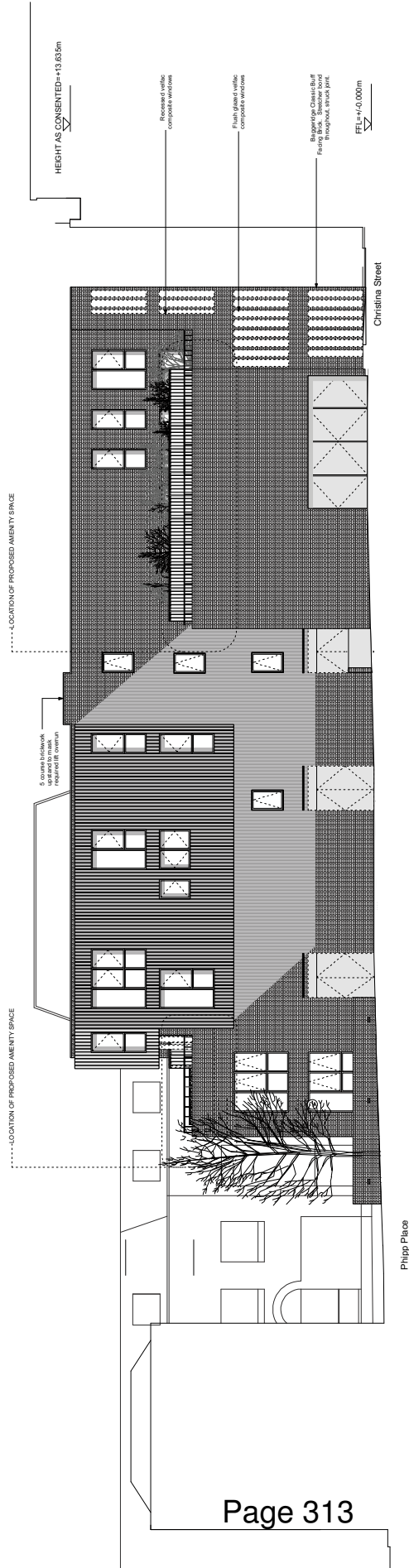
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1-337.P.251
 Threlkison
 Waugh
 Architecture

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Note: Drawing approved under application reference 20/04/2539 with agreed minor modifications



REVISED FOR PLANNING 20/04/09
 REV COMMENTS DATE
 MBE
 CHK

SCALE

PLANNING

Job 2-16 Phipp Street
 Title Proposed Maddy Ave Elevation
 Date March 2009
 Scale 1:100 @ A1, 1:200 @ A3
 Drawn MBZ

1-337.P.252

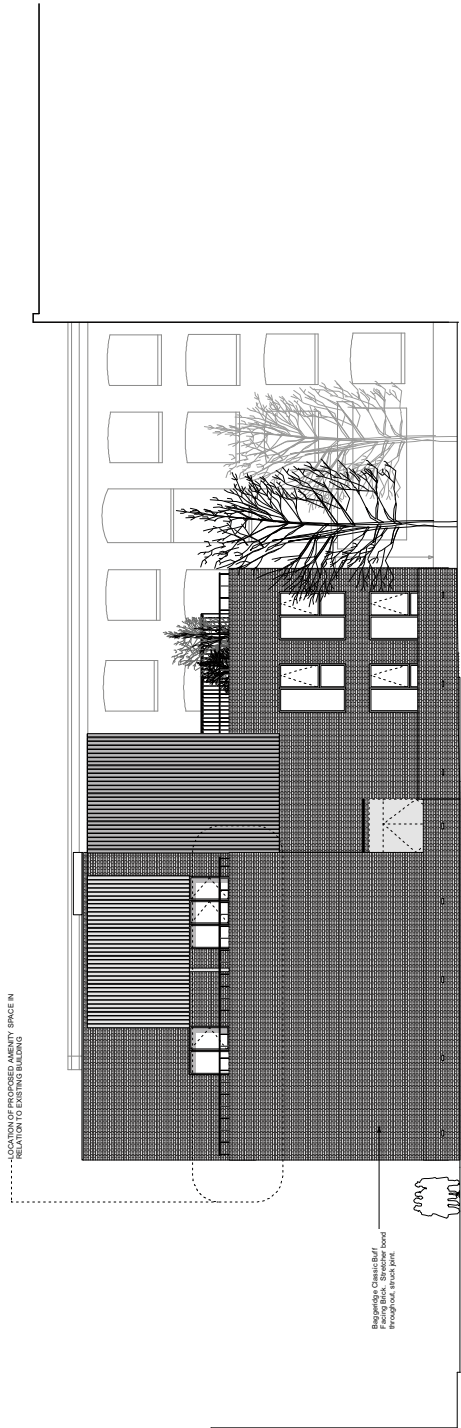
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Drawing not to be scaled. All dimensions to be verified on site.
 Proposed work is to be carried out in accordance with the
 information. All building work is to comply with current Building
 Regulations and Energy Regulations.

Note: Drawing approved under application
 reference 2016/22539 with agreed minor
 modifications



1. REVISED FOR PLANNING MBZ
 REV COMMENTS DATE CHK

DATE

PLANNING

Job 2-16 Phipp Street
 Title Proposed Phipp Place Elevation
 Date March 2009
 Scale 1:100 @ A1, 1:200 @ A3
 Drawn MBZ

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1-337.P.253

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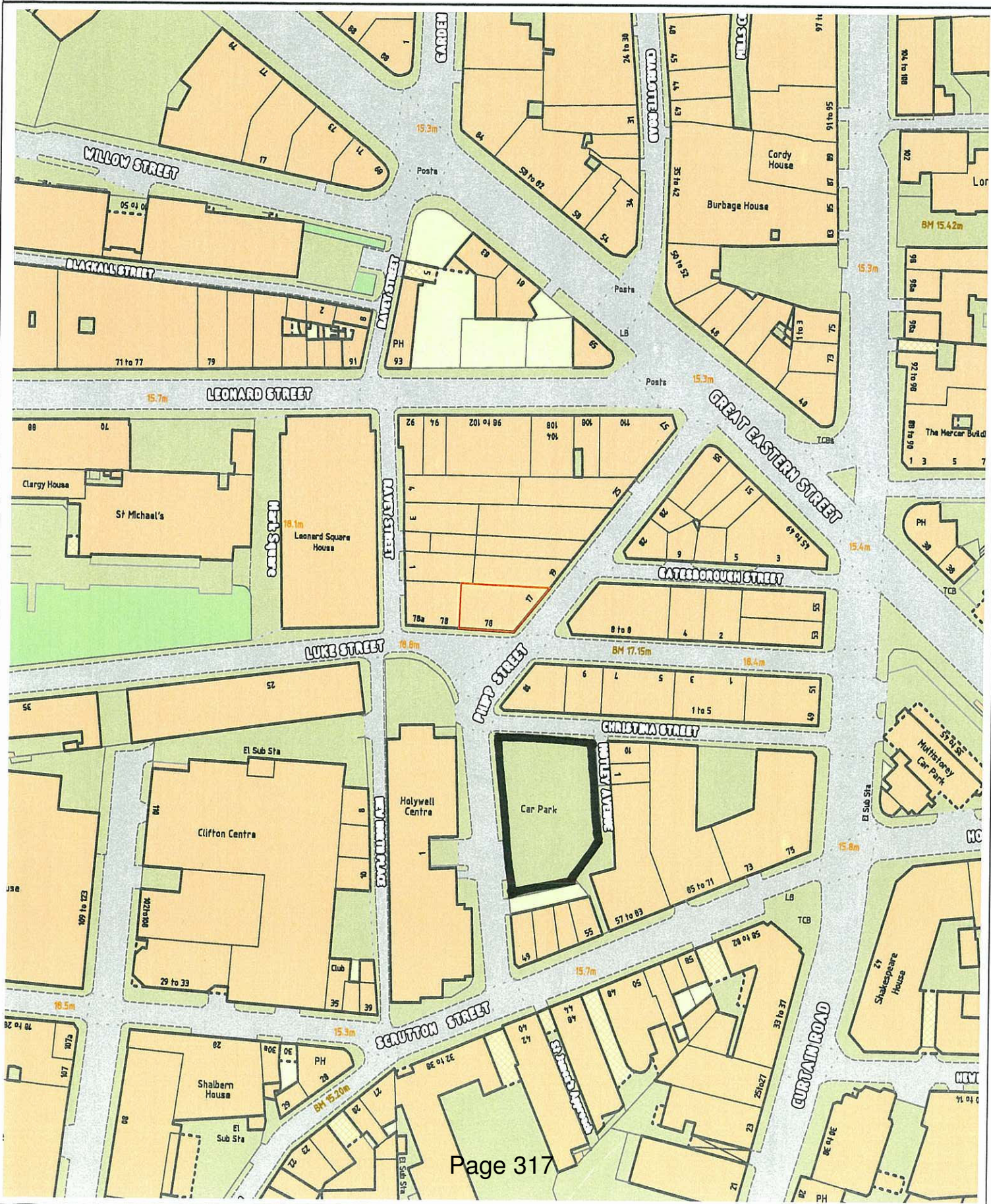
Date: 26/03/2009

Title: 2-16 Phipp Street London EC2

Scale 1:1250

Prepared by: Technical Support Team

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Site Photos – 2-16 Phipp Street (ref. 2009/0680)



Corner of Christina Street and Phipp Street



Larger of the two roof terraces, adjacent to the corner of Christina Street and Motley Avenue



Larger of the two roof terraces, looking towards Scrutton Street



Smaller of the two roof terraces, at the south-west corner of the building



Basement use-class B1 space, showing a lightwell



Basement use-class B1 space, showing a different lightwell

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ADDRESS: 241 City Road London EC1V 1JQ	
Plans: City Road, London (603) Restaurant Layout WARD: Hoxton	REPORT AUTHOR: Colin Leadbeatter VALID DATE: 09/10/2008
APPLICANT: McDonalds Restaurants Ltd C/O Planware The Granary Walnut Tree Lane Sudbury Suffolk CO10 1BD	AGENT: Planware The Granary Walnut Tree Lane Sudbury Suffolk CO10 1BD
PROPOSAL: Variation of Condition 3 of planning permission ref: II/23152 dated 14 October 1994 to extend hours of opening of existing drive-thru restaurant between 6:00am to midnight Sunday to Wednesday and 06:00am to 02:00am Thursday and Saturday.	
POST SUBMISSION REVISIONS: None	
RECOMMENDATION SUMMARY: Approve	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

	(Yes)	(No)
CPZ	X	
Conservation Area		X
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA		X

LAND USE DETAILS:	Use Class	Use Description	Floorspace
Existing	A4/A5	Restaurant / Hot Food Take-Away	N/A
Proposed	A4/A5	Restaurant / Hot Food Take-Away	N/A

RESIDENTIAL USE DETAILS:	Residential Type	No of Bedrooms per Unit				
		1	2	3	4	5+
Existing	0	0	0	0	0	0
Proposed	Flats	0	0	0	0	0
	Dwellings	0	0	0	0	0
	Studio	0	0	0	0	0
Totals	(Total = 0)					

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	22	1	N/A
Proposed	22	1	N/A

CASE OFFICER'S REPORT

1. SITE DESCRIPTION

- 1.1 Single storey building housing a 'McDonalds' restaurant located on the north side of City Road, behind a 24 hour petrol station.

2. CONSERVATION IMPLICATIONS

- 2.1 None

3. HISTORY

2005/1761 dated the 28th August 2005 for the Variation of Condition 3 of planning permission Ref: 11/23152 dated 14 October 1994 to extend hours of opening of existing drive-thru restaurant between 6am and 12 midnight Monday to Sunday. Approved.

TP/27965/C/TF/ER dated the 14th of October 1994: Construction of a single storey restaurant building.

4. CONSULTATIONS

- 4.1 Date Statutory Consultation Period Started: 28/10/2008
 4.2 Date Statutory Consultation Period Ended: 18/11/2008
 4.3 Site Notice: Yes
 4.4 Press Advert: Yes

4.5 Neighbours

187 neighbours consulted by private letter. Five letters of objection have been received in response, and one petition containing 51 signatures. Objectors raise concerns regarding increased noise, waste and antisocial behaviour.

4.6 Statutory Consultees

None

4.7 Local Groups

4.7.1 None

4.8 Other Council Departments

4.8.1 **Licensing Services:** No response to consultation.

4.8.2 **Pollution Group:** No objection to the proposed variation of condition.

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995)

5.1.1 EQ1 (Development Requirements)

5.1.2 R10 (Cafes, Restaurants, Wine Bars, Take-Away Hot Food Shops)

6. COMMENT

6.1 The applicants seek permission for the variation of a condition attached to a consent granted in 1994 for the construction of a new McDonalds Restaurant and Drive-Through. The original consent limited the hours of operation, which were varied under application 2005/1761 to be between 0600 hours and Midnight on any day.

6.2 The applicants are seeking a variation of condition in order to extend the hours of operation from 0600 hours to Midnight on any day to 0600 hours to Midnight on Sunday to Wednesday, and 0600 hours to 0200 hours the following day on Thursdays, Fridays and Saturdays.

6.3 The site is currently occupied by a 24 hour petrol station, garage and small supermarket, which is open seven days a week with the McDonalds restaurant located behind. The garage and restaurant appear to share parking facilities, and are surrounded on three sides by residential buildings, with City Road to the South.

6.4 It is considered that the proposed variation of condition is in this instance considered to be acceptable due to the limited impact the proposals would have

on neighbouring residential occupants. There has been a petrol station and garage on this site since 1958, with the associated 24 hour use of the present day operation. It is considered that the operation of the McDonalds restaurant until 0200 hours on a Thursday, Friday and Saturday would not cause any significant further impact over what is experienced in terms of noise relating to the current 24 hour use of the petrol station and garage.

- 6.5 There has been a significant level of objection from neighbouring properties relating to this application with five letters of objection received and a petition with a total of 51 signatures. Local residents are raising concerns regarding the possibility of further noise nuisance within a residential area, litter and waste as a result of the restaurant use, along with anti-social behaviour associated to drink and drug use in the area.
- 6.7 While it is agreed that there would be some increase in vehicle movement noise as a result in the variation of condition, it is considered that this increase would not result in unacceptable levels of disruption to nearby residential occupants. In relation to the existing 24 hour nature of the wider site, along with the proximity to one of the boroughs busiest thoroughfares. In relation to an increase in waste and litter; this should be addressed by the Councils Waste Management Team, if more public dustbins should be provided within the vicinity, and also with the Environmental Health team in order for the restaurant proprietors to find a solution to minimise litter which is associated with the permitted use of the application site. Antisocial behaviour should be addressed by the local police force, in relation to any nuisance faced by neighbouring residents from persons under the influence of drink or drugs, neither of these things can be directly attributed to the operation of the restaurant and take-away.
- 6.8 The Councils Environmental Health and Pollution Group have not raised any objection to the proposed variation of hours, and are comfortable with the proposal.

7. CONCLUSION

- 7.1 It is considered that the proposed variation of hours would not cause an unacceptable material impact on the amenity of neighbouring residential properties, and is therefore recommended for approval.

8. RECOMMENDATION

That planning permission be granted subject to the following conditions:

CONDITIONS

1. The restaurant use hereby permitted may be carried out only between 6:00am to midnight Sunday to Wednesday and 06:00am to 02:00am Thursday, Friday and Saturday.

REASON: To ensure the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

2. No deliveries shall be made to the restaurant between 23:00 hours and 0700 hours on any day.

REASON: To ensure the use operates in a satisfactory manner and does not unduly disturb adjoining occupiers or prejudice local amenity generally.

3. Except on day(s) of collection, all refuse and waste shall be stored in sealed containers in the refuse area shown on the plans hereby approved.

REASON: To ensure refuse is not left in the street in the interests of visual amenity and to reduce the likelihood of infestation.

4. The motor system for the fume extract equipment hereby approved shall not be fitted externally and shall be located within the fabric of the building.

REASON: To avoid serious disturbance to and adverse effects upon the environment and to occupiers of nearby residential properties.

5. No loading or unloading of goods, including fuel, by vehicles arriving at or departing from the premises shall take place otherwise than within the curtilage of the building/within the building.

REASON: To assist in ensuring that the Public Highway is available for the safe and convenient passage of vehicles and pedestrians.

6. No parking of vehicles arriving at or departing from the premises shall take place otherwise than within the curtilage of the premises.

REASON: To assist in ensuring that the Public Highway is available for the safe and convenient passage of vehicles and pedestrians.

7. All vehicles arriving at or departing from the premises shall take place otherwise than within the curtilage of the premises.

REASON: In the interests of road safety generally and avoidance obstruction of the highway.

8. Vehicular access to the site shall be only via the permitted access.

REASON: In order to confine access to the permitted point(s) to ensure that the development does not prejudice the free flow of traffic and conditions of general safety along the neighbouring highway.

INFORMATIVES

NSI For the avoidance of doubt, the applicant is reminded that all the other conditions of the original permission granted by under reference TP/27965/C/TF/ER (11/23153) continue to apply.



Signed..... Date: 1 June 2009

Steve Douglas
CORPORATE DIRECTOR, NEIGHBOURHOODS & REGENERATION
DIRECTORATE

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP and the London Plan	Colin Leadbeatter	263 Mare Street, E8 3HT

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ADDRESS: Arch 189-222 The Railway Arches, Morning Lane, London E9 6LG	
WARD: Chatham	REPORT AUTHOR: Russell Smith
	VALID DATE: 20/03/2009
APPLICANT: Network Rail Infrastructure Ltd King's Place 90 Yorkway London N1 9AG	AGENT: Network Rail Infrastructure Ltd 9th Floor 1 Eversholt Street London NW1 2DN
PROPOSAL: Change of use of B2/B8 (general industry/storage or distribution) arches at 196-198 Morning Lane to A1 and physical refurbishment of existing arches at 189-222 Morning Lane, including installation of new elevations (brickwork and glazing), extensions (to north of arches 216-219 and to the south of 202-210), internal improvements and resurfaced access and parking arrangements to the Morning Lane frontage between arches 193-198.	
POST SUBMISSION REVISIONS: N/A	
RECOMMENDATION SUMMARY: Grant conditional planning permission	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

CPZ	X	
Conservation Area		X
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA		X

LAND USE DETAILS:	Use Class	Use Description	Floorspace
Existing	B2/B8/Sui Generis	Vehicle repairs, car washing, car sales, furniture sales	3464m ²
Proposed	B2/B8/A1	Light / general industry and storage	4278m ²

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	-	-	-
Proposed	27	2	-

CASE OFFICER'S REPORT

1. SITE DESCRIPTION

The application site includes arches 189 – 222 Morning Lane and associated yards to the front and to the rear, under and adjoining the elevated railway line and viaduct 300m east of Hackney Central Station. The application site is divided into three sections by the intersecting roads of Link Street and Ponsford Street. The site is approximately 7700m² in extent including external areas. It is a long established employment/industrial site currently occupied by a number of B2/B8 uses and similar sui generis uses. Vehicle repair uses predominate and open storage occurs on much of the external areas of the site.

Land use in the immediate vicinity is predominately residential to all directions, but with other B Use Classes in adjoining arches and buildings nearby. The area is well served by public transport, being close walking distance to bus stops on both Morning Lane and Mare Street and Hackney Central Station.

2. CONSERVATION IMPLICATIONS

2.1 The application site is not located within a conservation area.

3. HISTORY

The site is a long established employment/industrial site with various B type uses. However, there is a limited planning history associated with the units.

2003/0300

Arch No. 198 Morning Lane

London

E9

Certificate of Lawfulness for existing use as a vehicle servicing and repair shop.

Granted - 07/08/2003

4. CONSULTATIONS

4.1 Date Statutory Consultation Period Started: 23/03/2009

4.2 Date Statutory Consultation Period Ended: 27/04/2009

4.3 Site Notice: Yes

4.4 Press Advert: Yes

4.5 Neighbours

- 4.5.1 Notification letters sent to 167 nearby occupiers.
- 4.5.2 A petition of objection signed by 19 occupiers of the application arches has been received. The grounds of objection are that the application will affect the current tenants business and mode of operation which is B2/B8.
- 4.5.3 2 letters of objection signed by occupiers of the application arches were received. The grounds of objection are that the application will affect the current tenants business and mode of operation which is B2/B8.

4.6 Statutory Consultees

- 4.6.1 East London Line Project – No comments received.
- 4.6.2 London Overground – No comments received
- 4.6.3 Transport for London – No comments received

4.7 Other Council Departments

4.7.1 Traffic and Transportation

No objection subject to the following condition:

SCH4 – Forward Vehicles Ingress/ Egress Only

All vehicles shall enter and leave the site only in a forward direction.

REASON: In the interests of road safety generally and avoidance of obstruction of the highway.

Additionally it is recommended that a contribution towards amending the existing Traffic Regulation Order (TRO) in Ponsford Road (subject to undertaking an assessment of present situation) be secured. It is observed that activities associated with the existing garages often spills out onto the public highway and potentially interrupts traffic flows through Ponsford Road/ Morning Lane Junction. The existing waiting restrictions (single yellow) might have to be changed to double yellow lines (no stopping at anytime) to address the problem. The cost of amending the TRO is approx. £3k.

4.7.2 Pollution Group

No objection

4.7.3 Conservation and Design

No objection subject to conditions requiring details of materials, ground surface treatment, boundary treatment and roller shutters.

4.7.4 Neighbourhood Renewals Team

This project is designed to encourage business growth, inward investment, innovation and enterprise in Hackney. It will provide flexible workspace accommodation, including 'move on space' for expanding businesses, to meet the business and training needs of SMEs.

Network Rail (NR) has identified the run of arches on/near Morning Lane as being in need of repair and redevelopment. NR is required by law to maintain and enhance its railway infrastructure and estate. NR has approached LBH for match funding. It is proposed that S106 funding, stipulated for affordable workspace provision, could be made available for the scheme, subject to planning permission.

£106,182.60 of Section 106 funding would be required from LBH to lever in £3,143,817.40 of Network Rail Private Investment. The scheme therefore offers a significant sum of capital investment for a relatively small sum of match funding. Approval has now been given from the Capital Programmes Review Panel, for release of monies to support the proposed refurbishment, this will now go to Cabinet on 22nd June for ratification.

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995)

EQ1	-	Development Requirements
E3	-	Development Outside Defined Employment Areas
E8	-	Employment Uses and Nuisance
E14	-	Access and Facilities for People with Disabilities
E18	-	Planning Standards
EQ48	-	Designing Out Crime

5.2 London Plan (2008) (consolidated with alterations)

2A.1	-	Sustainability criteria
3B.2	-	Office demand and supply
3B.4	-	Industrial Locations
3C.1	-	Integrating transport and development
3C.2	-	Matching development to transport capacity
3C.3	-	Sustainable transport in London
3C.23	-	Parking strategy
4B.1	-	Design principles for a compact city
4B.2	-	Promoting world-class architecture and design
5C.1	-	The strategic priorities for North London

5.3 National Planning Policies

PPS1	-	Creating Sustainable Communities
PPG13	-	Transport
PPG24	-	Planning and Noise

6. COMMENT

The proposal is for the physical refurbishment of existing arches at 189-222 Morning Lane, including installation of new elevations (brickwork and glazing), extensions (to north of arches 216-219 and to the south of 202-210), internal improvements and resurfaced access and parking arrangements to the Morning Lane frontage between arches 193-198. In addition the proposal involves the change of use of three B2/B8 (general industry/storage or distribution) arches at 196-198 Morning Lane to A1 (retail).

The proposed installation of new elevations involves cream painted brickwork, metal glazing bars and roller shutters. The additions to the existing viaduct structure are comprised of extensions to arches 216-219 and 202-210, using a standard block lean-to design. Materials used here are a grey standing seam roof and aluminium.

Considerations

The main considerations relevant to this application are:

- 6.1 Principle of the use;
- 6.2 Traffic and transportation considerations;
- 6.3 Design and appearance;
- 6.4 Impact upon the amenity of adjacent residents;
- 6.5 Response to objectors

Each of these considerations is discussed in turn below.

6.1 Principle of the use

- 6.1.1 The proposal involves the change of use of three arch units (196-198) to A1 retail use. The arches are currently occupied by vehicle repair and servicing use and car washing/valeting uses and provide approximately 330m² of internal floorspace. It is noted that the vehicle repair use is a B2 employment generating use. However, given the additional floorspace to be provided by the development of extensions (487m²) the redevelopment scheme would result in an overall net increase in employment generating floorspace. It is considered that the introduction of a modest amount of A1 floorspace would bring benefits to the immediate area through the provision of local amenities and the creation of a more active frontage. Furthermore, it is not considered that the change of use would have a detrimental effect upon the primacy of the nearby Hackney and Homerton local centres given the small scale of the units.
- 6.1.2 The remaining arches have an existing general B2/B8 use and therefore no change to the use is proposed. The proposal is to include B1 uses in some of the arches and it is acknowledged that no change of use is required for this as there is a permitted change from B2 to B1. The layout of the site and design of the arches is considered suitable for these uses. Arches 189 – 195 have a direct frontage to Morning Lane and their design along with the configuration of the parking area suggests that they would be more suitable for B1 type uses.

6.2 Traffic and transportation considerations

- 6.2.1 The proposal involves the erection of extensions to arches 202-210 and 216-219 providing approximately 487m² of additional floorspace for these arches. It is not considered that this additional floorspace will result in a significant intensification of use. The refurbishment scheme also includes the addition of 1448m² of mezzanine floorspace in arches 206-210 and 216-219. The creation of the mezzanine floorspace is permitted development and therefore this element of the work does not form part of this planning application.
- 6.2.2 The layout of the site will be altered by amendments to the parking arrangements at the front of arches 193-198. Currently these arch units have front yards with individual accesses. The refurbishment scheme proposes to amalgamate these yards into a shared parking area and separate accesses for servicing and deliveries. The shared parking area will provide 10 parking bays including 2 disabled bays. The revised parking layout to the front of arches 193-198 allows vehicles to enter and exit in a forward gear, which is a significant improvement over the existing situation which sees vehicles reversing onto the carriageway. The revised layout also reduces the number of footway crossings and provides a level footway along the front thereby improving the public realm in terms of pedestrian movement.
- 6.2.3 The yard areas of the remaining arches, which do not have direct frontages to Morning Lane, would be resurfaced and parking bays marked out. The formalisation of these areas would have significant benefits in eliminating open storage and ad hoc parking. The access roads are considered to be sufficiently wide to allow transit type delivery vehicles to turn within the boundaries of the site – more than 8m wide in some sections. The existing access points at Link Street, Ponsford Street and Shephard's Lane are unchanged and the sight lines into/out of the site will be unrestricted.
- 6.2.4 The existing arrangement and operation of the vehicular areas is considered unsatisfactory resulting in vehicles reversing directly onto the carriageway. It is considered that the proposed refurbishment scheme would have significant benefits to highway safety, traffic flow and the pedestrian environment.

6.3 Design and appearance

- 6.3.1 The proposed refurbishment scheme involves the installation of new frontages to the arches. The existing arches are of mixed construction with a predominate use of sheet metal to infill the arch frontages. The proposed refurbishment would see the lower section of the arches infilled with brickwork and the upper sections glazed. Arches 189 – 198 have a direct frontage to Morning Lane and would be fitted with glazed sliding doors providing a more active frontage. The entrances to the remaining arches would be fitted with just roller shutter doors.
- 6.3.2 The proposal involves the erection of extensions to arches 202-210 and 216-219. The proposed extensions are a lean-to design projecting from the viaduct. Their scale and design is considered acceptable in relation to the viaduct and

the commercial character of the surrounding area. The location of the extension is such that the impact upon the appearance of the streetscene is considered minimal.

- 6.3.3 The current rundown condition of the arches and yard areas has a significant detrimental effect upon the environmental quality of the surrounding area. It is considered that the refurbishment scheme will have a positive impact upon the appearance of the arches and the environmental quality of the surrounding area.

6.4 Impact upon the amenity of adjacent residents

- 6.4.1 The extensions to arches 202-210 and 216-219 would not affect any residential properties in terms of overshadowing or loss of outlook. Furthermore in relation to the existing viaduct and boundary walls around the site the physical scale of the extension is minimal.

- 6.4.2 Regarding noise and vibration it must be noted that the arches are already in industrial/commercial use and the general surrounding area is also of a mixed commercial nature. The site is located under one of the main railway lines in north east London, where there is already an established level of activity and noise in the area. It is considered that refurbishment of the existing arches will not result in any adverse change to the potential for noise disturbance to the surrounding area. Indeed given the mixed construction and condition of the arches it is considered likely that the noise transmission will be improved by the design.

6.5 Response to objectors

- 6.5.1 Objections have been received from the current occupiers/tenants of the arches in question. The objections are that the refurbishments will effect the operation of the current businesses, which are B2/B8. It is understood that this is principally based on the loss of yards to the front of 193-198 Morning Lane and the change of use of arches 196-198.

- 6.5.2 The refurbished arches are intended for B1/B2 and B8 uses and the design is considered suitable for these uses. It must be noted that the specific nature of the businesses or users that occupy the premises is not a material planning consideration provided that they fall within the permitted uses.

- 6.5.3 The existing businesses at 193 -198 are a collection of vehicle repair workshops, car washing, car sales and furniture sales. The yards are used for display of vehicles, car washing and general storage of parts and vehicles. It must be noted that formal consent for these uses only exists for unit 198; other uses such as the car sales and washing are sui generis and there are no records of consent being granted. The manner in which the yards are currently used is unsatisfactory as it has a detrimental effect upon the environmental quality of the area and the revisions to these areas will bring about environmental improvements.

- 6.5.4 Regarding the proposed change of use of unit 198, the proposed refurbishment scheme would lead to an increase in B2 floorspace. It must be noted that the arrangements between land owner and tenant is not a material planning consideration. However, Network Rail have confirmed that they are seeking to relocate any existing businesses that cannot be accommodated within the refurbished arches to other arches within their stock.

7. CONCLUSION

- 7.1 The proposed development is considered compliant with pertinent policies saved in the Hackney UDP (1995), the LDF Core Strategy Preferred Policy Options (April 2008) and the London Plan (Consolidated with Alterations since 2004). Accordingly, the granting of planning permission is recommended.

8. RECOMMENDATION

RECOMMENDATION A:

- 8.1 That permission be GRANTED, subject to the following conditions:**

8.1.1 SCB0 – Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

8.1.2 SCB1 - Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

8.1.3 SMC6 – Materials to be approved (entire site)

Details, including samples, of materials to be used on the external surfaces of the building, boundary walls and ground surfaces shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.4 SCM9 - No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.5 NSC – Roller Shutters

Cross sectional drawings of the electrically operated roller shutter doors to be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.6 Powder Coating

Details, including samples of the colour of all external surfaces to be powder coated to be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.7 SCH15 – Access only as approved

Vehicular access to the site shall be only via the permitted access.

REASON: In the interests of highway safety.

8.1.8 SCH4 – Forward Vehicles Ingress/ Egress Only

All vehicles shall enter and leave the site only in a forward direction.

REASON: In the interests of highway safety.

8.1.9 NSC – Parking only as approved

No part of the development hereby approved shall be occupied until accommodation for car parking, turning and loading/unloading has been provided in accordance with the approved plans, and such accommodation shall be retained permanently for use by the occupiers and/or users of, and/or persons calling at, the premises only, and shall not be used for any other purposes. Parking shall only occur in the spaces shown on the plans hereby approved, and not on any other area of the site.

REASON: To ensure that the proposed development does not prejudice the free flow of traffic or public safety along the neighbouring highway(s) and to ensure the permanent retention of the accommodation for parking/loading and unloading purposes.

9. INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act 1971
- SI.28 Refuse Storage and Disposal Arrangements



Signed..... Date: 1 June 2009

Steve Douglas
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS &
REGENERATION DIRECTORATE

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP and the London Plan	Russell Smith	263 Mare Street, E8 3HT

ADDRESS: Digby Road / Berger Road, Homerton, London E9 5SB	
WARD: Chatham	REPORT AUTHOR: Ian Bailey
APPLICATION NUMBER: 2009/0726 DRAWING NUMBERS: 0735 (PL) 001, 011, 100D, 101E, 102C, 103B, 104B, 105B, 106B, 107B, 108B, 109B, 110B, 111B, 112B, 113B, 114B, 115B, 120B, 140F, 201B, 202A, 203C, 301D, 302D, 303C, 304C, 305C, 306C, 307B, 308C, 309B, 330B Design & Access Statement (Rev. A), Planning Statement, Amenity/Open Space Assessment, Statement of Community Involvement, Site Investigation Report, Hydrological Report, Noise & Vibration Assessment, Sunlight & Daylight Study, Wind Study, Archaeological Desk Assessment, Energy Report, Sustainable Homes Report, Transport Assessment.	VALID DATE: 27/03/2009 EXPIRY DATE: 29/06/2009
APPLICANT: Turnhold Properties C/o Agent.	AGENT: CMA Planning 113 The Timberyard Drysdale Street London, N1 6ND
PROPOSAL: S73 Application for the variation of condition 2 (development in accordance with approved plans) of planning permission 2008/3142 to permit development in accordance with revised plans, comprising changes to residential mix, internal layouts and minor elevation changes. NB: Members are requested to note that the matters under consideration are modifications to a previously approved planning application ref: 2008/3142. Application 2008/3142 permitted the: - "Clearance of the site and the construction of a part 5, part 14 storey building for a mixed use development to provide 83 square metres of A1, B1 and/or D1 use and 97 affordable residential units with associated car parking, refuse and landscaping." The modifications consist of the following:- <ul style="list-style-type: none"> • Although the overall number of units remains the same, the mix of units size as approved is altered by this proposal as follows: <ul style="list-style-type: none"> - <i>Approved</i> - Social Rented - 11 x 1-bed, 5 x 2-bed, 23 x 3-bed, and 14 	

<p>x 4-bed (53 in total). Intermediate – 23 x 1-bed, 11 x 2-bed and 10 x 3-bed (44 in total); and, - <i>Proposed</i> – Social Rented - 16 x 1-bed, 1 x 2-bed, 23 x 3-bed, and 14 x 4-bed (54 in total). Intermediate – 30 x 1-bed, 2 x 2-bed and 11 x 3-bed (43 in total).</p> <ul style="list-style-type: none"> • Additional 8 person lift added to the tower between ground and thirteenth floor. • Alterations to the arrangement of wheelchair accessible units throughout the development (overall this number of wheelchair accessible units from 11 to 12). In particular: <ul style="list-style-type: none"> i) 5 no 3B/5P wheelchair accessible units to the lower building converted to 5 no 3B/6P non- wheelchair accessible units ii) 4 no. 4B/7P wheelchair accessible units in lower building converted to 4 no 4B/8P non- wheelchair accessible units; iii) 1 no 3B/5P unit to the ground floor converted to 1 no 3B/5P wheelchair accessible unit; and, iv) 10 no 2B/4P units to the tower converted to 10 no 1B/2P wheelchair accessible units. • Alterations to the size of balconies across the development. In particular: <ul style="list-style-type: none"> i) 39 projecting balconies increase in depth from 1200mm to 1500mm; ii) 18 recessed balconies increase in depth from 1200mm to 1500mm. • 6 x 4B/6P duplex units to the lower floors to the north of the development re-configured to be south facing living rooms (at entry point). • Design of entrance to the communal cores altered. • Elevational alterations including re-position of windows/balconies to reflect the other alterations detailed above.

<p>POST SUBMISSION REVISIONS: The mix of wheelchair accessible units has been altered from 10 x 1-bed units as originally submitted, to 1 x 4-bed, 1 x 3-bed and 10 x 1-bed units</p>

<p>RECOMMENDATION SUMMARY: Grant conditional planning permission subject to S106 legal agreement.</p>
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ANALYSIS INFORMATION

ZONING DESIGNATION:

	(Yes)	(No)
CPZ		X
Conservation Area		X
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA		X

LAND USE DETAILS:	Use Class	Use Description (Size)
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Existing	-	Vacant				
Proposed	C3	Residential (7668 m ²)				
	A1, B1, D1	Commercial (83m ²)				
RESIDENTIAL USE DETAILS:						
Existing:	0					
Proposed:		No. of Bedrooms per Unit				
		1	2	3	4	5
Affordable	97	46	3	34	9	0

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	0
Proposed	0	3	125

CASE OFFICER'S REPORT

1. SITE CONTEXT

- 1.1 The site is 0.23 hectares and is located at the junction of Digby Road and Berger Road, to the immediate south-west of Homerton Overground Station.
- 1.2 The railway line runs to the north of the site, and to the north of the railway, this part of Homerton is characterised by a mixture of two-storey warehouse type buildings of no prevailing style or quality. Those in use are occupied by low intensity uses. Directly opposite the site across the railway is a recently completed 12-storey block. To the South of the railway line high-density housing exists at approximately ten-storeys in height. Gilby House directly south of the site is nine-storeys in height plus a plant room. To the east, lower density flats and houses exist. A two-storey school is located to the west of the site.
- 1.3 The surrounding area contains a mix of buildings styles and uses. The area to the north of the railway is characterized by warehouses and industrial buildings. They differ in height, scale and style. On the southern side of the railway, where the site is located, the buildings are mainly residential, with 1960's and 1970's tower blocks ranging from five-storeys in height to 10-storeys.

2. CONSERVATION IMPLICATIONS

- 2.1 The site is not located in any Conservation Area. No statutorily or locally listed buildings are affected by the proposal.

3. HISTORY

- 3.1 Planning permission was approved on 20 March 2009 (following consideration of the application 11 March 2009 planning committee) for the clearance of the site and the construction of a part 5, part 14 storey building for a mixed use development to provide 83 square metres of A1, B1 and/or D1 use and 97 affordable residential units with associated car parking, refuse and landscaping.

- 3.2 January 2009 - Application *withdrawn* (ref: 2008/1993) for the clearance of the site and the erection of a part one to fourteen storey building for a mixed use development to provide 64 square metres of A1, A2, B1 and/or D1 use and 98 residential units including affordable housing with associated car parking, refuse and landscaping.
- 3.3 July 2005 – Application *refused* (ref: 2005/0704) for erection of a multi-storey building rising from an 8-storey base to 19-storeys to provide 187 residential units, comprising 76 x 1 bedroom, 93 x 2 bedroom, 14 x 3 bedroom, 2 x 4 bedroom and 2 x 4+ bedroom units together with the provision of 35 on-site car parking spaces and landscaped external public amenity space. The reasons for refusal can be summarised as:
- Out of scale and character with the surrounding area due to its height, scale, bulk, design and appearance;
 - Overbearing relationship with the Grade II listed St Barnabas Church;
 - Inappropriate mix of dwelling sizes;
 - Impact on amenities of residents of Digby House and the Berger Primary School playing grounds by way of overshadowing, and loss of light;
 - Failure to justify the level of affordable housing, and;
 - Failure to provide required education contributions, and highway works via way of a S106/S278 agreement.

4. CONSULTATIONS

- 4.1 Date Statutory Consultation Period Started: 06/04/2009
- 4.2 Date Statutory Consultation Period Ended: 27/04/2009
- 4.3 Site Notice: Yes
- 4.4 Press Advert: Yes
- 4.5 922 letters were sent to adjacent occupiers. One letter of objection and one letters of neither support or object were received. A letter of support has also been received from a representative of Berger Primary School. The grounds of objection were as follows:
- Loss of light.
 - Loss of view.
 - Height of block.
 - Impact on property values.
- 4.6 **Local Groups**
- 4.6.1 London Fire & Emergency:
Satisfied with proposal.

4.6.2 Crime Prevention Design Advisor:
No comments received.

4.6.3 Primary Care Trust (NHS):
No comments received.

4.6.4 Invest in Hackney:
No comments received

4.6.5 The Hackney Society:
No comments received

4.6.6 The Learning Trust:
No comments received.

4.7 **Statutory consultees**

4.7.1 GLA/Mayor of London:
Subject to the inclusion of the previously agreed conditions and S106 agreement (as per application 2008/3142) the application is considered not to raise any strategic concerns and therefore Hackney can proceed to determine the application without further referral to the GLA.

4.7.2 Environment Agency:
No comments received (NB: Previous comments to application 2008/3142 can be found in the Committee Report at Appendix 1)

4.7.3 Channel Tunnel Rail Link:
No comment received (NB: Previous comments to application 2008/3142 can be found in the Committee Report at Appendix 1)

4.7.4 Cross Rail:
Do not wish to make any comments.

4.7.5 London Overground:
No comments received.

4.7.6 Network Rail:
No comments received.

4.7.7 English Heritage:
Application should be determined in accordance with national and local guidance and Council's specialist conservation advice.

4.7.8 Thames Water:
No objection to the scheme.

4.7.9 TfL
As per the GLA comments above.

4.8 Other Council Departments

4.8.1 Sustainability and Design:

No concerns raised with the proposed amendments. (NB: Previous comments to application 2008/3142 can be found in the committee report at Appendix 1)

4.8.2 Highways:

No comments received

4.8.3 Transportation:

No objection as the proposed variation does not involve changes to the transport conditions of the permitted scheme. (NB: Previous comments to application 2008/3142 can be found in the committee report at Appendix 1)

4.8.4 Policy:

No comments received.

4.8.5 Pollution:

No comments received. (NB: Previous comments to application 2008/3142 can be found in the committee report at Appendix 1)

4.8.6 Waste management:

No comments received. (NB: Previous comments to application 2008/3142 can be found in the committee report at Appendix 1)

4.8.7 Building Control:

No comments received.

4.8.8 Landscape Officer:

No comments received.

4.8.9 Partnership and Investment (Housing Associations)

A positive is that the number of family sized units remains the same for the social rented housing, and a new three bed unit is provided for intermediate housing. However a concern is raised with regards to a further increase in the number of 1-bedroom units as part of the mix of the development and the loss of 2-bed units.

There is also a concern with regards to the provision of wheelchair accessible units as initially only 1-bedroom units, whereas there is a requirement within the borough for a mix of unit sizes for wheelchair accessible units, particularly for 3 bedroom units. Presently the largest need in the Borough for wheelchair accessible units in the borough is for 1 and 3-bed units, followed by 2-bed and then 4 and 6 bed units. Normally, there is a greater requirement for 2-bed units.

(NB: The provision of wheelchair accessible units has been altered from the initial proposal as discussed in the 'Post Submission Revision' section above).

5. POLICIES

5.1 Hackney Unitary Development Plan (UDP) (1995)

- EQ1 – Development Requirements
- EQ32 – Shopfronts and Shop Signs
- EQ40 – Noise Control
- EQ41 – Development close to existing sources of noise
- EQ46 – Recycling Facilities
- EQ48 – Designing out Crime
- E3 – Development outside of Defined Employment Areas
- E18 – Planning Standards
- R4 – Local Shops
- HO3 – Other sites for Housing
- TR19 – Planning Standards
- ACE1 – New Arts, Culture and Entertainment Development

5.2 Supplementary Planning Guidance /Document

- SPG1 – New Residential Developments

5.3 Local Development Framework (LDF)

- SPD – Planning Contributions Supplementary Planning Document (2006)
- SPD – Affordable Housing (2005)

5.4 London Plan (2008 - consolidated with alterations since 2004)

- 2A.1 – Sustainability Criteria
 - 3A.1 – Increasing London's Supply of Housing
 - 3A.2 – Borough Housing Targets
 - 3A.3 – Maximising the Potential of Sites
 - 3A.5 – Housing Choice
 - 3A.6 – Quality of New Housing Provision
 - 3A.8 – Definition of Affordable Housing
 - 3A.9 – Affordable Housing Targets
 - 3A.10 – Negotiating Affordable Housing
 - 3A.11 – Affordable Housing Thresholds
 - 3A.17 – Addressing the Needs of London's Diverse Population
 - 3C.1 – Integrating Transport and Development
 - 3C.2 – Matching Development to Transport Capacity
 - 3C.3 – Sustainable Transport in London
 - 3C.23 – Parking Strategy
 - 4A.1 – Tackling Climate Change
 - 4A.3 – Sustainable Design and Construction
 - 4A.7 – Renewable Energy
 - 4A.22 – Spatial Policies for Waste Management
 - 4B.1 – Design Principles for a Compact City
 - 4B.3 – Enhancing the Quality of the Public Realm
 - 4B.5 – Creating an Inclusive Environment
 - 4B.6 – Safety, Security and Fire Prevention and Protection
 - 4B.8 – Respect Local Context and Communities
- Housing SPD 2005

5.5 National Planning Policies

- PPS1 – Creating Sustainable Communities
- PPS3 – Housing
- PPS10 – Planning for Sustainable Waste Management
- PPS12 – Local Spatial Planning
- PPG13 – Transport
- PPS22 – Renewable energy
- PPS23 – Planning and Pollution Control
- PPG24 – Planning and Noise

6. COMMENT

6.1 Introduction

6.1.1 Planning permission is sought to vary the approved plans (as detailed in condition 2 of planning permission 2008/3142) and to allow the development to commence in accordance with substituted plans.

6.1.2 The massing, height, general external appearance, and layout of the development are unaltered by the proposal. The number of units approved (97 in total) under permission 2008/3142 also remains the same, as does the percentage split between intermediate and social rented (45/55%).

6.1.3 There are, however, a number of material alterations to the scheme, which need to be considered as part of this application. These include:

1. External alterations to the positioning of windows and recessed balconies (and hence the external appearance of the building);
2. Increase in the width of a number of balconies; and,
3. Alterations to the mix of units in terms of bedspace (these are as listed under 'Proposal' section above).

6.1.4 The applicant's agent has outlined that these alterations have occurred due to a number of specific requirements that have come from Network HA. This includes the need to provide a second lift into the 14-storey tower element of the development (and as a contingency if one is temporarily out-of-use), which has had the knock-on effect of reducing the size, and therefore bed-spaces of a number of units. Network HA also require that any wheelchair accessible unit are either accessed at ground floor, or for any unit at the upper floors are accessed from two lifts – and this has led to the conversion of a number of the units within the tower to be wheelchair accessible.

6.1.5 A further requirement of Network HA is that the internal layout of a number of units are altered to arrange for the living rooms to be south-facing. This alters the external appearance of the proposal as it results in recessed balconies that were located in the north elevation replacing windows in the south elevation and vice versa.

6.2 Assessment of the Amendments

External Alterations

6.2.1 Overall, the external alterations are minimal in nature and have no significant impact on the appearance of the development as previously approved. They are required to facilitate internal alterations to the proposal, which will also improve the residential amenity of future occupiers and providing living rooms and balconies which are south facing.

6.2.2 In addition, the alterations have been reviewed by Council's Design Officers and no concerns were raised.

Increase in the Depth of Balconies

6.2.3 39 projecting balconies and 18 recessed balconies will increase in width from 1200mm to 1500mm. For those units with projecting balconies this will be a positive as it increase the amount of external amenity space and improves the usability of the balconies. For the units with recessed balconies, although this has a converse decrease in the internal floorspace of the units, this is nominal (and minimum room space requirements are still all met) and this is acceptable as it can be balanced against the improvement in the orientation of the balconies and increase in their size.

Mix of Units and Wheelchair Accessible Units

6.2.4 The introduction of an additional lift to the tower leads to a number of 2-bedroom units having to be re-configured as 1-bedroom units in the tower element of the proposal. These are generally altered to be wheelchair accessible as they also benefit from being directly accessible from two lifts. This increases the proportion of 1-bedroom units as part of the scheme to a level which would normally be a concern (from 35% to 47%). However, as this is required to address a justifiable concern with the internal accessibility of the development, and it is for the delivery of a 100% affordable housing scheme, it is, on balance, acceptable.

6.2.5 The proposal also results in the loss of nine larger family-sized wheelchair accessible units and their replacement with 10 x 1-bed, 1 x 3-bed and 1 x 4-bed wheelchair accessible units. As this is reasonably aligned with current need for wheelchair accessible units in the borough, complies with London Plan policy for the provision 10% of all units as wheelchair accessible, and all other units are built to Lifetime Homes standards, this is considered an accessible mix.

6.3 Response to objectors

6.3.1 Loss of light: The applicant has provided a 'Daylight and Sunlight' report which confirms that BRE standards. This was discussed and considered at paragraphs 6.3.2 and 6.3.4 of the committee report from application 2008/3142 (Appendix 1). As the development as proposed by this application remains of the same height, bulk, and mass it is considered that this can not be a reason for refusing the application.

6.3.2 Loss of view: This is not a material planning consideration.

6.3.3 Height: The height of the proposed development is not altered from that as approved under application 2008/3142, and therefore it is not a relevant

consideration for the determination of this application.

6.3.4 Impact on property values: This is not a material planning consideration.

6.5 Planning Contributions

6.5.1 The planning contributions sought remain the same as for application 2008/3142 (except for a slight increase in the education and libraries contribution to reflect the alteration to the mix of units) and are as detailed at Recommendation B below.

7 CONCLUSION

7.1 Overall, the amendments have either a positive or negligible impact on the proposed development, and therefore the proposal remains acceptable in terms of design, bulk, scale, and massing, and will not materially impact on the amenity of the surrounding properties. As such, the proposed development is considered compliant with pertinent policies saved in the Hackney UDP (1995), the London Plan (Consolidated with Alterations since 2004), and national planning policies. Accordingly, the granting of planning permission is recommended.

8. RECOMMENDATIONS

8.1 Recommendation A

That permission be GRANTED, subject to the following conditions:

8.1.1 Development in accordance with plans

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

8.1.2 Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

Design & Appearance

8.1.3 Materials to be approved (entire site)

Details, including samples, of materials to be used on the external surfaces of the building, boundary walls, gates and ground surfaces shall be submitted to and approved by the Local Planning Authority, in writing, before any work

commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.4 Further details of be Submitted and Approved

Detailed drawings/full particulars showing the following matters set out below must be submitted to and approved by the Council before any work is commenced on site. This part of the development shall be completed only in accordance with the modifications thus approved:-

- b) Details of adequate screening to the child playspace area
- c) Details of the lighting facilities, canopies, and entrance/waiting spaces to the residential entrance.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area and, to ensure that the playspace area is a safe environment to use.

8.1.5 Landscaping Scheme to be approved

A landscaping scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, for the planting of trees and shrubs showing species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed. All landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years. Such maintenance is to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

8.1.7 Provision of landscaping as approved

The landscaping hereby approved as part of the development shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years. Such maintenance is to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

8.1.8 No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved. Details of any additional pipework required shall be submitted and approved in writing by the Local Planning Authority before any building works commence. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.9 Details of roof plant

Full details of all the roof plant enclosures (plans/sections and elevations) shall be submitted and approved in writing by the Local Planning Authority before any building works commence. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

Transport

8.1.10 Parking for persons with disabilities

Before the use hereby permitted first commences the 3 disabled car parking spaces shall be provide for use by the vehicles of persons with disabilities as located on drawing number 0735 (PL) 101C.

REASON: In order to ensure that a reasonable minimum of parking spaces are located for persons with disabilities prior to occupation.

8.1.11 Provision for cycles

Secure, covered parking shall be provided for at least 125 bicycles in the form of Sheffield Stands or a suitable alternative, as shown on the plans hereby approved, before use of the development hereby permitted commences.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interests of discouraging car use, relieving congestion in surrounding streets and improving highway conditions in general.

8.1.12 Marking parking areas

Before the use hereby permitted first commences, appropriate markings shall be used to delineate all car parking spaces and service areas within the site/development as shown on the permitted plans, and such marking is to be retained permanently.

REASON: In the interests of orderly and satisfactory parking provisions being made on the site to ensure that the proposed development does not prejudice the free flow of traffic or public safety along the adjoining highway.

8.1.13 Parking

No part of the development hereby approved shall be occupied until accommodation for car parking, turning and loading/unloading has been provided in accordance with the approved plans, and such accommodation shall be retained permanently for use by the occupiers and/or users of, and/or persons calling at, the premises only, and shall not be used for any other purposes.

REASON: To ensure that the proposed development does not prejudice the free flow of traffic or public safety along the neighbouring highway(s) and to ensure the permanent retention of the accommodation for parking/loading and unloading purposes.

8.1.14 Parking

Parking of vehicles shall only be carried out on the areas identified for parking on the plans hereby approved, and not on any other area of the site.

REASON: In the interests of orderly and satisfactory parking provisions being made on the site to ensure that the proposed development does not prejudice the visual amenity of the scheme.

General Conditions

8.1.15 Noise

(i) The building shall be constructed so as to provide sound insulation against external noise, to achieve levels not exceeding 30dB LAeq (23:00 to 07:00) and 45dB L_Amax (measured with F time-weighting) for bedrooms between 23:00 to 07:00, 35dB LAeq (07:00 to 23:00) for other habitable rooms, with windows shut and other means of ventilation provided.

(ii) The development shall not commence until details of a sound insulation scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.

(iii) The development shall not be occupied until the sound insulation scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the sound insulation scheme shall be maintained in perpetuity.

REASON: To ensure a pleasant residential environment is provided for potential occupiers.

8.1.16 Construction Method Statement

Full details of a work method statement for demolition and construction, including control measures to minimise noise and dust emissions, hours of work, wheel washing facilities, and details for the disposal of materials from the site shall be submitted to, and approved by, the Local Planning Authority prior to commencement of any construction/clearance work on the site. The development, including disposal of materials from the site, shall in all respects be carried out in accordance with the approved details.

REASON: To safeguard the amenities of neighbouring properties and the area generally during construction.

8.1.17 Details of refuse storage enclosure

Details of dustbin enclosures (including mandatory recycling facilities), showing the design, external appearance and location thereof, shall be submitted to and approved by the Local Planning Authority, in writing, before construction commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure there is adequate provision for dustbin and recycling facilities for the development in the interests of the appearance and amenity of the area.

8.1.18 Ecological roofs

Full details of the proposed bio-diverse, substrate based (75mm minimum depth) extensive green roofs and walls, to include a detailed maintenance plan, shall be submitted to and approved by the Local Planning Authority, in writing, before construction commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage, and to enhance the performance and efficiency of the proposed building.

8.1.19 Secured by Design

The development shall achieve a Certificate for Compliance to Secure by Design or alternatively achieve Secure by Design standards to the satisfaction of the Metropolitan Police, details of which, to include consultation with the police during the construction period, shall be provided in writing to the Local Planning Authority within one month of the completion date.

REASON: To provide a safer environment for future residents and visitors to the site and reduce the fear of crime.

8.1.20 Level Access

A level access shall be provided to all ground floor units hereby approved before the use is first commenced.

REASON: In order to ensure that people with disabilities are able to gain proper access to the development.

8.1.21 Provision of access and facilities

All provisions and facilities to be made for people with disabilities as shown on the plans and details hereby approved shall be implemented in full to the satisfaction of the Local Planning Authority before the use is first commenced.

REASON: In order to ensure that access and facilities for people with disabilities are provided in order to ensure that they may make full use of the development.

8.1.23 Shopfront details to be approved

Details of the proposed shopfront on drawings on a scale of 1:50, together with materials used in construction, shall be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced on this part of the development. The shopfront shall include additional glazing on the angled wall facing Berger Road. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the design of the shopfront is not detrimental to the appearance of the building.

8.1.24 Sustainable Urban Drainage

No development shall take place until details of the implementation, maintenance and management of the sustainable urban drainage scheme have been submitted to and approved by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:

- i. a timetable for its implementation, and
- ii. a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable urban drainage scheme throughout its lifetime

8.1.25 Restriction of Use

The ground floor commercial premises hereby approved shall be only used for:

Use Class A1 (Retail);

Use Class A2 ((a) financial services, or (b) professional services);

Use Class D1 ((a) for the provision of any medical or health services, (b) as a crèche, day nursery or day centre, (c) for the provision of education, (d) for the display of works of art (otherwise than for sale or hire), (e) as a museum, (f) as a public library or public reading room);

Use Class B1 (Business).

and for no other purposes including any other purposes in Classes A1, A2, D1, or B1 of the Schedule to the Town and Country Planning (uses Classes) Order 1987 or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order.

REASON: In the interest of general residential amenity

8.2 Recommendation B

That the above recommendation be subject to the applicant, the landowners and their mortgagees entering into a section 106 agreement in order to secure the following matters to the satisfaction of the Assistant Director of Regeneration and Planning and the secretary and solicitor to the Council:

- 8.2.1 To secure the provision of 100% of units as affordable housing, with a split of 55%:45% socially rented/intermediate.
- 8.2.2 That the provision of 100% (97 units) affordable housing be secured by Network Housing Association or another RSL approved by the Council, providing 53 social rented units and 44 intermediate units.
- 8.2.3 Payment by the landowner/developer of an education and libraries contribution of £292,409.46 with respect to anticipated child yield from the additional residential housing units being provided in accordance with the DFES cost of providing a school place.
- 8.2.4 Payment by the landowner/developer of an open space/child playspace contribution of £4,454.24 towards the supply and quality of open space in the immediate locale.
- 8.2.5 A contribution of £129,544 towards public realm and highways works in the vicinity of the site. This will comprise of:
 - The signing of a Section 278 legal agreement under the Highways Act to pay the Council for required works to the highway. Unavoidable works required to be undertaken by Statutory Services will not be included in London Borough of Hackney estimate or payment (£79,544).
 - A contribution directed towards the improvements in the public realm within the vicinity of the site to improve the public realm in the local area to encourage walking and cycling (£50,000).
- 8.2.7 All residential units to be built to Lifetime Home standards.
- 8.2.8 Commitment to the Council's local labour and construction initiatives (25% on site employment).
- 8.2.9 Achievement of a level 3 rating, with all reasonable endeavours to achieve level 4, under the proposed Code for Sustainable Homes.
- 8.2.10 20% reduction in carbon emissions over the whole site through the use of renewable energy sources and use of low energy technology.
- 8.2.11 Considerate Constructors Scheme – the applicant to carry out all works in keeping with the National Considerate Constructors Scheme.
- 8.2.12 At least 10% of units provided shall be wheelchair accessible.
- 8.2.13 A Green Travel Plan to include servicing of the site, to be submitted to and agreed with the Council, to include the provision of a car share scheme and a provision for annual review.

- 8.2.14 Provision to allow the placement of street lighting on the proposed buildings where appropriate.
- 8.2.15 Best endeavours to provide a car club parking space.
- 8.2.16 Parking shall only take place on the parking spaces shown on the approved drawings, and not on any other area of the site.
- 8.2.17 Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.

8.3 Recommendation C

That in the event of the Section 106 agreement referred to in Recommendation B not being completed by 23rd March 2009, the Assistant Director of Regeneration and Planning be given the authority to refuse the application for the following reasons:

- 8.3.1 The proposed development, in the absence of a legal agreement for securing affordable housing, would be to the detriment of housing needs in the Borough and would fail to promote a mixed and inclusive community and as such would be contrary to Policy H03 of the Hackney Unitary Development Plan, Affordable Housing SPD (2005), Policies 3A.1, 3A.2, 3A.3, 3A.5, 3A.6, 3A.8 and 3A.9 of the London Plan, and advice contained in PPS1 and PPS3.
- 8.3.2 The proposed development, in the absence of a legal agreement for securing educational contributions, would be likely to contribute to pressure and demand on the Borough's education provision contrary to Policy EQ1 of the Hackney Unitary Development Plan, Planning Contributions SPD (2006), and Policy 3A.24 of the London Plan.

9 REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 – Development Requirements; EQ48 – Designing out Crime; HO3 – Other sites for Housing; TR19 – Planning Standards; SPG1 New Residential Development; SPD Affordable Housing; SPD Planning Contributions.

The following policies contained in the London Plan 2004 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 – Sustainability Criteria; 3A.1 – Increasing London's Supply of Housing; 3A.2 – Borough Housing Targets; 3A.3 – Maximising the Potential of Sites; 3A.5 – Housing Choice; 3A.6 – Quality of New Housing Provision; 3A.8 – Definition of Affordable Housing; 3A.9 – Affordable Housing Targets; 3A.10 – Negotiating Affordable Housing; 3A.11 – Affordable Housing Thresholds; 3A.17 – Addressing the Needs of London's Diverse Population; 3C.1 – Integrating Transport and Development; 3C.2 –

Matching Development to Transport Capacity; 3C.3 – Sustainable Transport in London; 3C.23 – Parking Strategy; 4A.1 – Tackling Climate Change; 4A.3 – Sustainable Design and Construction; 4A.7 – Renewable Energy; 4A.22 – Spatial Policies for Waste Management; 4B.1 – Design Principles for a Compact City; 4B.3 – Enhancing the Quality of the Public Realm; 4B.5 – Creating an Inclusive Environment; 4B.6 – Safety, Security and Fire Prevention and Protection; 4B.8 – Respect Local Context and Communities; Housing SPD 2005.

10 **INFORMATIVES**

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.24 Naming and Numbering
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act 1971
- SI.28 Refuse Storage and Disposal Arrangements
- SI.34 Landscaping
- NSI With regard to surface water drainage, it is the responsibility of the developer to make proper provision for drainage. Contact Thames Water, Ph. 0845 850 2777, for further information.
- NSI Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute and the point where it leaves Thames Water's pipes. The developer should take account of this minimum pressure in the design of the proposed development.
- NSI Surface water management should utilise sustainable drainage techniques (SUDS), in accordance with the SUDS management train (Ciria C909). Please contact the Environment Agency for further details.
- NSI Care should be taken to ensure that no debris or other materials can fall onto Network Rails land. Approval must be obtained from Network Rails Outside Parties Engineer.
- NSI Any scaffold which is to be constructed adjacent to the railway must be erected in such a manner that at no time will any poles or cranes over-sail or fall onto the railway. All plant and scaffolding must be positioned, that in the event of failure will not fall on Network Rail land.
- NSI Consultation required on any alterations to ground levels. Should be noted that Network Rail concerned about excavations within 10 metres of the boundary with the operational railway and will need to be assured that the construction of the foundations and footings will not impact on the stability of the railway. A full method statement must be supplied and agreed with Network Rail's Outside Party Engineer.

- NSI NR not aware whether any PPG24 noise and vibration assessment has been carried out for this location. Amenity will need to be addressed.
- NSI Additional flows of surface water must not be discharged onto NR land nor into NR culverts or drains. Soak ways should not be constructed within 10metres of the boundary with the operational railway.
- NSI 1.8 metre high fence should be constructed to avoid trespass and vandalism and provide acoustic insulation for the residential units.
- NSI To ensure residential units built without encroachment onto operational railway line all buildings and structures should be set back at least 2 metres from boundary with operational railway or at least 5 metres for overhead power lines. Landscape details along railway corridor to be submitted.



Signed..... Date: 1 June 2009

Stephen Douglas
DIRECTOR, NEIGHBOURHOODS & REGENERATION

NO.	BACKGROUND PAPERS	NAME AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP (1995) and the London Plan	Ian Bailey (020 8356 8442)	263 Mare Street, London E8 3HT

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Planning Sub-Committee – 11/03/2009

ADDRESS: Digby Road / Berger Road, Homerton, London E9 5SB	
WARD: Chatham	REPORT AUTHOR: Ian Bailey
APPLICATION NUMBER: 2008/3142 DRAWING NUMBERS: 0735 (PL) 001, 011, 100B, 101C, 102B, 103A, 104A, 105A, 106A, 107A, 108A, 109A, 110A, 111A, 112A, 113A, 114A, 115A, 120A, 140C, 201A, 202, 203A, 301B, 302C, 303B, 304B, 305B, 306A, 307A, 308B, 309A, 330B Design & Access Statement (Rev. A), Planning Statement, Amenity/Open Space Assessment, Statement of Community Involvement, Site Investigation Report, Hydrological Report, Noise & Vibration Assessment, Sunlight & Daylight Study, Wind Study, Archaeological Desk Assessment, Energy Report, Sustainable Homes Report, Transport Assessment.	VALID DATE: 22/12/2008 EXPIRY DATE: 23/03/2009
APPLICANT: Turnhold Properties C/o Agent.	AGENT: CMA Planning 113 The Timberyard Drysdale Street London, N1 6ND
PROPOSAL: Clearance of the site and the construction of a part 5, part 14 storey building for a mixed use development to provide 83 square metres of A1, B1 and/or D1 use and 97 affordable residential units (Social Rented - 11 x 1-bed, 5 x 2-bed, 23 x 3-bed, and 14 x 4-bed. Intermediate – 23 x 1-bed, 11 x 2-bed and 10 x 3-bed) with associated car parking, refuse and landscaping.	
POST SUBMISSION REVISIONS: <ul style="list-style-type: none"> • Disabled car-park numbers on Berger Road reduced from 5 to 3 to reduce vehicle crossovers and improve courtyard space. • Glazing of shopfront increased to angled wall. 	
RECOMMENDATION SUMMARY: Grant conditional planning permission subject to S106 legal agreement, and referral to the Mayor of London.	

Planning Sub-Committee – 11/03/2009

ANALYSIS INFORMATION

ZONING DESIGNATION:

	(Yes)	(No)
CPZ		X
Conservation Area		X
Listed Building (Statutory)		X
Listed Building (Local)		X
DEA		X

LAND USE DETAILS:	Use Class	Use Description (Size)				
Existing	-	Vacant				
Proposed	C3	Residential				
	A1, B1, D1	Commercial (83m ²)				
RESIDENTIAL USE DETAILS:						
Existing:	0					
Proposed:		No. of Bedrooms per Unit				
		1	2	3	4	5
Affordable	97	34	16	33	14	0

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	0
Proposed	0	3	125

CASE OFFICER'S REPORT

1. SITE CONTEXT

- 1.1 The site is 0.23 hectares and is located at the junction of Digby Road and Berger Road, to the immediate south-west of Homerton Overground Station. The site was undeveloped until the late 19th century when terraced housing and a public house were built on the site. By the early 1970's all buildings within the site had been demolished and were replaced by temporary gardens. Currently the site is cleared and disused.

- 1.2 The railway line runs to the north of the site, and to the north of the railway, this part of Homerton is characterised by a mixture of two-storey warehouse type buildings of no prevailing style or quality. Those in use are occupied by low intensity uses. Directly opposite the site across the railway is a recently completed 12-storey block. To the South of the railway line high-density housing exists at approximately ten-storeys in height. Gilby House directly south of the site is nine-storeys in height plus a plant room. To the east, lower density flats and houses exist. A two-storey school is located to the west of the site.

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- 1.3 The surrounding area contains a mix of buildings styles and uses. The area to the north of the railway is characterized by warehouses and industrial buildings. They differ in height, scale and style. On the southern side of the railway, where the site is located, the buildings are mainly residential, with 1960's and 1970's tower blocks ranging from five-storeys in height to 10-storeys.
- 1.4 The site has very good access to public transport, with a PTAL Rating (a calculation based on the proximity, range and frequency of public transport services) of 4. It is located next to Homerton Overground Station which is on the Stratford-Richmond London line. It is also within walking distance of public bus services providing 46 buses per hour in each direction together on a weekday. Bus stops with shelters are located within 210 metres of the site. The range of public transport services available will ensure this form of transport will prove to be attractive to residents of the proposed development.

2. CONSERVATION IMPLICATIONS

- 2.1 The site is not located in any Conservation Area. No statutorily or locally listed buildings are affected by the proposal.

3. HISTORY

- 3.1 January 2009 - Application *withdrawn* (ref: 2008/1993) for the clearance of the site and the erection of a part one to fourteen storey building for a mixed use development to provide 64 square metres of A1, A2, B1 and/or D1 use and 98 residential units including affordable housing with associated car parking, refuse and landscaping.
- 3.2 July 2005 – Application *refused* (ref: 2005/0704) for erection of a multi-storey building rising from an 8-storey base to 19-storeys to provide 187 residential units, comprising 76 x 1 bedroom, 93 x 2 bedroom, 14 x 3 bedroom, 2 x 4 bedroom and 2 x 4+ bedroom units together with the provision of 35 on-site car parking spaces and landscaped external public amenity space. The reasons for refusal can be summarised as:
- Out of scale and character with the surrounding area due to its height, scale, bulk, design and appearance;
 - Overbearing relationship with the Grade II listed St Barnabas Church;
 - Inappropriate mix of dwelling sizes;
 - Impact on amenities of residents of Digby House and the Berger Primary School playing grounds by way of overshadowing, and loss of light;
 - Failure to justify the level of affordable housing, and;
 - Failure to provide required education contributions, and highway works via way of a S106/S278 agreement.

4. CONSULTATIONS

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- 4.1 Date Statutory Consultation Period Started: 30/12/2008
- 4.2 Date Statutory Consultation Period Ended: 20/01/2009
- 4.3 Site Notice: Yes
- 4.4 Press Advert: Yes
- 4.5 922 letters were sent to adjacent occupiers. Six letters of objection and four letters of support were received.
The grounds of objection were as follows:
- Increase in crime due to commercial unit.
 - Noise.
 - No need for further commercial units.
 - Over-development.
 - Parking.
 - Loss of light.
 - Loss of privacy.
 - Height of block.
 - Impact on property values.
 - Loss of view.
- 4.6 **Local Groups**
- 4.6.1 London Fire & Emergency:
Satisfied with proposal.
- 4.6.2 Crime Prevention Design Advisor:
No comments received.
- 4.6.3 Primary Care Trust (NHS):
No comments received.
- 4.6.4 Invest in Hackney:
No comments received
- 4.6.5 The Hackney Society:
No comments received
- 4.6.6 The Learning Trust:
No comments received.
- 4.7 **Statutory consultees**
- 4.7.1 GLA/Mayor of London:
Due to the height of the building being above 30m, it has been referred to the Mayor of London. In consideration of the application the GLA has provided a

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'Stage 1' report and concluded that the Mayor considers that, subject to the inclusion of a number of planning conditions and section 106 contributions, the application would comply with the London Plan. (For information, Transport for London have advised and provided comments for the Stage 1 report).

The specific conditions and S106 contributions that the GLA would require are as follows:

Child play space: The local planning authority should secure a financial contribution to improve older children play facilities in the local area.

Public Realm Improvements: TfL are seeking a financial contribution of £150,000 to improve the public realm in the local area to encourage walking and cycling.

Car parking: The local planning authority should secure a section 106 'car free' agreement to prevent future residents from obtaining local parking permits/contracts.

Sustainable Urban Drainage: The local planning authority should include an appropriate planning condition ensuring the provision of the proposed sustainable urban drainage techniques as set out in this report.

Construction logistics Plan: The local planning authority should secure the provision of a construction logistics plan through an appropriate planning condition.

Living Roofs: The local planning authority should include an appropriate planning condition requiring the installation and continued maintenance of the proposed green roof and living walls.

Employment: The local planning authority should include an appropriate planning condition requiring the provision of a local training and employment initiative.

If the Committee were to endorse the recommendation to approve the application it would be subject to a further period of referral to the Mayor (14 days) at which point it may be decided to either (i) allow the decision to proceed unchanged (ii) direct the council to refuse the application, or (iii) direct that the Mayor of London is to act as the Local Planning Authority for the determination of the application.

- 4.7.2 Environment Agency:
No objection to the application. Pleased to see Green roof, and provide informative regarding Sustainable Urban Drainage System.
- 4.7.3 Channel Tunnel Rail Link:
No impact on the Department for Transport, as such no comments.

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- 4.7.4 Cross Rail:
Do not wish to comment.
- 4.7.5 London Overground:
No comments received.
- 4.7.6 Network Rail:
No comments received.
- 4.7.7 English Heritage:
Application should be determined in accordance with national and local guidance and Council's specialist conservation advice.
- 4.7.8 Thames Water:

No objection to the scheme. However, provide comments and informatives on drainage and waste.
- 4.7.9 ODA

Consulted as site is within the 2km buffer zone of the Olympics Site. Comments awaited.
- 4.7.10 TfL

As above, comments from TfL are incorporated into the GLA comments

4.8 Other Council Departments**4.8.1 Sustainability and Design:**

The scheme is located on a triangular site, situated by Homerton Station and adjacent to the rail embankment, with the north east corner facing the station entrance to the east. The north-south pedestrian railway underpass located between the train station and the site also creates a movement node at the north-east corner of the site. Therefore, the scheme will play an important role in improving the image of Homerton Station and increasing the quality of the small square in front of the station.

Massing:

The massing presents dramatic changes in volume. A tower element (14-storeys) is proposed at the north-east corner, and successfully provides a very strong image as a landmark building, located by the train station and a pedestrian movement node. The massing is stepped down with a continuous pitched roof from the corner tower, along the railway boundary, to the 6-storey element on Digby Road. The continuity of the massing changes successfully transforms the scheme from a landmark building by the station into the friendly

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neighbourhood scale of Digby Road. The opening to the triangular courtyard faces the south side, (Berger Road), which avoids shade being cast on the green open space from the building.

Street Frontage & Landscaping:

In general, the scheme creates satisfactory street frontages. The corner tower with commercial use on the ground floor provides a welcoming façade facing toward the station square. The separate residential entrances, arranged along the street and the triangular semi-public space, provides a lively frontage. The provision of ground floor residential windows overlooking the street and the semi-public courtyard is also much appreciated. The size of the service entrances, however, has made them far more dominant than the residential entrances. It is suggested that the residential entrances could be further enhanced by lighting facilities, canopies, and well-defined entrance spaces/waiting areas. This can be addressed via condition should consent be granted.

The impact of car parking on the courtyard and the street frontage has been an issue. A revision to the scheme minimising the provision of parking spaces has successfully reduced this impact. However, the interruption of the pavement by the parking area should be mitigated. The pedestrian paving in front of the car parking should avoid the use of 'road-like' materials. This paving could use different materials from the other parts of pavement, but it should try to continue the footpath without interruption, and imply pedestrian priority. This can be addressed via condition should consent be granted.

The semi-public courtyard is semi-enclosed, with the opening on Berger Road to the south. The reduced provision of car parking minimises the impact on the landscaping. However, further details regarding the landscape design are required. It is not clear how the footpath works and what kind of urban furniture and paving will be provided. In addition, the treatment of the interface between the building and courtyard is not clear. The overlooked courtyard is encouraged, however, there are some issues including how the defensible space works regarding the privacy of those residential units, and how a friendly boundary treatment to the courtyard will be provided. A condition requiring a landscaping plan addressing these issues will be imposed on any grant of planning permission.

Elevations & Green Roof:

The contrast between the lighter 'shell' of terracotta cladding and the exposed darker 'base' of fibre cement cladding on the elevations is very successful. The green roof provides another interesting element, and softens the solid massing and elevations. It also provides potential habitat space and rooftop amenity space.

Internal Layout:

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The internal layout of the proposal is satisfactory. The double aspect flats are welcomed, and the lift lobbies shared by two flats per floor avoid long corridors. Each unit is provided either with private amenity space or a balcony, as well as the semi-public courtyard on the ground floor and the roof terrace. Unfortunately, some strangely angled internal spaces are inevitable due to the 'folded' elevations. Some other issues include small width dining rooms, however, the flats are of a good size and they generally meet the Council's space standards.

4.8.2 Housing:

Tenure mix of scheme is welcomed, as is the high provision of family units. Some concern over the prevalence of 1-bed units over 2-bed units.

4.8.3 Highways:

No objections. Provide details of works required under S278 Highways agreement.

4.8.4 Transportation:

Are generally happy with the proposal, providing that the applicant can demonstrate how the parking impact will be mitigated. The layout with 3 disabled parking places is acceptable, although it results in a wider vehicular crossover than we would normally approve it is acceptable given the overall improvements with regards to the layout of courtyard, and the previous proposal with proposed two-separate crossovers for 4 parking spaces. The requirement for 10 per cent disabled parking is not satisfied; 3 no. car parking places is below the 5 per cent disabled parking provision recommended by Department for Transport Manual for Streets 2007. Given the location of the site in relation to Homerton Station and Berger Primary School, and as a result the expected significant pedestrian movement along the adjoining footway in Berger Road, the Council's concern is that a wider vehicular crossing to accommodate additional parking spaces will bring about an unacceptable level of risk of vehicle/ pedestrian conflict. This is considered the best possible layout. If further parking is insisted on, the additional space taken up for parking might undermine good design.

The proposal has been put forward as a car-free development. However, the success of a car-free development relies on the Council securing through the s.106 agreement, an obligation which prevents residents of the development from being eligible for a permit to park on the adjoining public highway, where parking controls operate. A car-free agreement cannot be entered into with respect to the subject development proposal as the site is not located within a CPZ area i.e. no parking controls operate in the adjoining streets where cars associated with the site are likely to park. It is the view of Traffic and Transportation that the current on-street parking capacity is very low and therefore the parking demand generated by the proposal is likely to exceed the supply of on-street parking.

Traffic and Transportation recommends that the developer employs devices such as a travel plan with satisfactory monitoring arrangements, car club

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membership and a contribution to the provision of an on-street car club bay, conveniently located for use by residents of the development, in order to reduce the level of car-use likely to be generated by the proposal. One of the targets included in the travel plan should be percentage modal split in relation to car-use, which should not exceed the current on-street parking capacity. A corresponding measure in the Travel Plan is therefore required that the developer agrees to pay an agreed amount per car which exceeds this figure (subject to modal split survey taken every 6 months as part of the Travel Plan monitoring arrangements).

It is recommended that a sustainable transport contribution be sought towards public realm improvements in Digby Road/Berger Road and the possible introduction of some loading restrictions to improve traffic flows in Barnabas Road. Public realm improvements in Berger Road may constitute the implementation of a home zone type area along the frontage of the development, extending to the entrance to Homerton Station. A contribution of £50,000 is sought.

Traffic and Transportation has considered the constraints of the site in terms of the transport aspects, i.e. in design terms the footprint of the site does not lend itself to the provision of basement parking or a high provision of ground level parking. Furthermore, it is not possible to provide a basement, given the site's proximity to Homerton Station. Traffic and Transportation has taken a flexible approach in supporting the provision of 3 disabled car parking places. Traffic and Transportation considers this to be the right balance in achieving the best possible outcome for design, road safety and parking.

4.8.5 Policy:

No comments received.

4.8.6 Pollution:

Has reviewed the PPG 24 noise report for this application and can confirm the measurement has been undertaken as per PPG 24 guidelines. Recommend conditions to mitigate noise impacts on potential occupiers.

4.8.7 Waste management:

Suitable waste provision to be provided

4.8.8 Building Control:

No comments received.

4.8.9 Landscape Officer:

No comments received.

5. POLICIES**5.1 Hackney Unitary Development Plan (UDP) (1995)**

EQ1 – Development Requirements
EQ32 - Shopfronts and Shop Signs

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EQ40	-	Noise Control
EQ41	-	Development close to existing sources of noise
EQ46	-	Recycling Facilities
EQ48	-	Designing out Crime
E3	-	Development outside of Defined Employment Areas
E18	-	Planning Standards
R4	-	Local Shops
HO3	-	Other sites for Housing
TR19	-	Planning Standards
ACE1	-	New Arts, Culture and Entertainment Development

5.2 Supplementary Planning Guidance /Document

SPG1	-	New Residential Developments
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5.3 Local Development Framework (LDF)

SPD – Planning Contributions Supplementary Planning Document (2006)

SPD – Affordable Housing (2005)

5.4 London Plan (2008 - consolidated with alterations since 2004)

2A.1	-	Sustainability Criteria
3A.1	-	Increasing London's Supply of Housing
3A.2	-	Borough Housing Targets
3A.3	-	Maximising the Potential of Sites
3A.5	-	Housing Choice
3A.6	-	Quality of New Housing Provision
3A.8	-	Definition of Affordable Housing
3A.9	-	Affordable Housing Targets
3A.10	-	Negotiating Affordable Housing
3A.11	-	Affordable Housing Thresholds
3A.17	-	Addressing the Needs of London's Diverse Population
3C.1	-	Integrating Transport and Development
3C.2	-	Matching Development to Transport Capacity
3C.3	-	Sustainable Transport in London
3C.23	-	Parking Strategy
4A.1	-	Tackling Climate Change
4A.3	-	Sustainable Design and Construction
4A.7	-	Renewable Energy
4A.22	-	Spatial Policies for Waste Management
4B.1	-	Design Principles for a Compact City
4B.3	-	Enhancing the Quality of the Public Realm
4B.5	-	Creating an Inclusive Environment
4B.6	-	Safety, Security and Fire Prevention and Protection
4B.8	-	Respect Local Context and Communities

Housing SPD 2005

5.5 National Planning Policies

PPS1	-	Creating Sustainable Communities
PPS3	-	Housing
PPS10	-	Planning for Sustainable Waste Management

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PPS12	–	Local Spatial Planning
PPG13	–	Transport
PPS22	–	Renewable energy
PPS23	–	Planning and Pollution Control
PPG24	–	Planning and Noise

6. COMMENT

Planning permission is sought for the clearance of the site and the construction of a part 5, part 14 storey building for a mixed use development to provide 83 square metres of A1, B1 and/or D1 use and 97 residential units including affordable housing with associated car parking, refuse and landscaping.

The main tower of the proposed building is located to the north east of the site, with an entrance addressing Berger Road, and the pedestrian underpass of the railway line that extends from Mackintosh Lane. The lower element of the development is then proposed to be constructed towards the north of site (perpendicular to the railway) and towards the Digby Road frontage completing two sides of the triangular site. The site will be open to Digby Road, with the remainder of the site given over to a ground floor courtyard and 3 disable car parking spaces accessed from Digby Road.

The main building form is proposed with an undulating roof line, with a varied building line. The majority of the roof is proposed as a green roof, and the west elevation of the tower, where the building changes from the 14-storey tower to the part five storey element, is proposed to be entirely 'living wall'. An element of the roof will be given over to an area for children's playspace.

Considerations

The main considerations relevant to this application are:

- 6.1 The principle of the use.
- 6.2 Design and appearance of the proposed development.
- 6.3 Residential Amenity.
- 6.4 Traffic and transport considerations.
- 6.5 Response to objectors.
- 6.6 Planning Contributions.

Each of these considerations is discussed in turn below.

6.1 The principle of the use

- 6.1.1 The principle of a mixed use residential-led development, with a small commercial element is considered appropriate to this location. The new

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building and commercial unit will create a more active frontage on this stretch of road, leading to an improvement in the streetscene.

- 6.1.2 The scheme provides 34 x 1-bed flats, 16 x 2-bed flats, 33 x 3-bed flats, and 14 x 4-bed flats. It is considered that this provides a good mix of units, and therefore accords with UDP and London Plan Policies and SPD on Housing. The scheme provides 100% affordable housing with a split of 55%:45% in favour of social rented accommodation (53 units social rented, 44 units intermediate). This is considered acceptable in terms of mix and tenure, and is supported by the Council's Housing Team. The site is located in a predominantly residential area, with a mix of surrounding uses, and as such the development is considered to be compatible with surrounding uses.
- 6.1.3 The scheme provides 97 residential units, creating 318 habitable rooms. This results in a density of 1383 hr/ha (324 dwellings/ha). This is above the density level recommended in the London Plan for 'Urban' locations with good public transport accessibility levels (PTAL ratings of 4-6), which this site has with a PTAL rating of 4. However, the level is only a recommendation, and the scheme has an immediate access to public transport, and provides a good living environment for future residents. In addition the proposal provides an acceptable internal layout which provides for a good level of amenity for future residents, and accords with our SPG standards. As such, an exception can be considered acceptable in this instance.

6.2 Design and appearance of the proposed development

- 6.2.1 The application has been considered by Design Officers and in an earlier version has been presented to the Design Review Panel. In general, the feedback in relation to the scheme was positive (please see comments above) but it has been recognised that this is dependent upon the successful high-quality implementation of the development. As such, conditions are recommended which seek full submission of material and landscaping details to ensure that this potential realised.
- 6.2.2 Overall it is considered that the scheme represents a visually interesting response to the site constraints. The development of a tower element to the Digby Road represents a positive feature and relationship with the public realm towards Homerton Station. The height of the tower is also acceptable in the context of its position diametrically opposite the main tower structure at the recently implemented development at 2-46 Sedgwick Street.
- 6.2.3 The varied roofscape and building lines of the lower level building (those position to the north and west of the site) also add visual interest to the development and its built form. This will assist in reducing the overall mass of the building. As part of the scheme evolution a low level structure towards the Digby Road frontage has been removed, which has also assisted in reducing the scale of the building to a level that is now considered acceptable in this local context.

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- 6.2.4 In terms of ensuring the building is sustainable, a number of options have been considered for meeting the renewables requirements for the scheme. A biomass boiler in a community heating scheme has been proposed, which will reduce carbon emissions over the entire site by at least 20%. This is in accordance with The London Plan requirement of a 20% reduction in carbon emissions for new developments. It is recommended that a clause requiring this be included in the S106 legal agreement should consent be granted.
- 6.2.5 The scheme will meet Level 3 of the Code for Sustainable Homes. The London Borough of Hackney endeavours that all new developments target level 4. Therefore, this matter will be addressed via a Section 106 agreement and subject to this the matter of sustainability is considered to be acceptable.

6.3 Residential AmenityAmenity Provision:

- 6.3.1 The scheme provides a good level of amenity space, with all but one flat having either a garden or a balcony. In addition, a semi-public courtyard of 504m² is provided on the ground floor, and 690m² of roof terrace amenity space is provided on the 6th floor. This 6th floor terrace includes children's play space of 250m². This will be enclosed by perimeter fencing to the north elevation as the site is overlooking the railway line. Additionally, the landscaping of the site will be enhanced by the green wall and roofs.

Sunlight/Daylight

- 6.3.2 The site is well separated from all the adjoining properties. A daylight and sunlight assessment carried out in accordance with BRE (Building Research Establishment) Guidelines has been submitted (NB these are industry standard tests for ensuring an appropriate level of daylight and sunlight is maintained/provided to living accommodation).
- 6.3.3 In terms of daylight, 'vertical sky component' (VSC) tests were carried out for a number of reference points (including Berger Primary School, Gilby House, Risley House, and the recent development at 2-46 Sedgwick Street). A number of these points received VSC (Vertical Sky Component) results below recommended BRE levels. These were then further assessed under average daylight factor (ADF) tests. This test indicates that for habitable room windows the internal light conditions at these reference points will remain above recommended BRE targets.
- 6.3.4 With regard to sunlight, the report concludes that there will be a marginal reduction in sunlight reaching one ground level point, which only failed in the winter months by 2%. Most façade assessment points meet recommendations, with the exception of three points, however, these are bedroom windows which have a low requirement for sunlight. Although the scheme will result in a marginal impact on the sunlight reaching some points, it is not considered sufficient to justify refusal on these grounds.

Planning Sub-Committee – 11/03/2009Loss of Privacy

- 6.3.5 The separation between the proposed lower-level building and those existing buildings to the south is at least 18 metres. At this point, windows in the proposed development will be facing onto the front of the southern building. The tower block is over 40 metres from this building to the south. The railway line and embankment separates the proposed building from buildings to the north. Additionally, in a built up and urban environment, these distances exceed requirements, and are considered to be acceptable, with no loss of privacy resulting from the development.

Overbearing/Enclosure

- 6.3.6 As discussed above, the proposal is well separated from all surrounding properties. While it is acknowledged that due to the sheer height of the proposed building a perceived increase in the sense of enclosure may occur, this proposal, within the context of a built up urban environment, will not cause significant harm to residential amenity.

Noise

- 6.3.7 As the proposal is for a predominantly residential use, there is not likely to be any significant increase in noise over and above that already experienced in a residential area. A noise issue arises due to the proximity of the building to the railway. Conditions are recommended for inclusion on any grant of planning permission requiring suitable sound insulation measure be incorporated in the scheme. This will serve to mitigate any noise impacts on occupiers from the railway. Additionally, as most flats are adjacent to the railway are dual aspect, therefore the noise impact can be mitigated.

6.4 Traffic and transport considerations

- 6.4.1 The site has a PTAL rating of 4. The site is therefore considered to have good sustainable transport characteristics, being highly accessible by public transport. The site is located within the maximum recommended walking distance (approximately 50 metres) to Homerton Station to the north east, and therefore has good accessibility to Highbury & Islington Station to the west and Stratford Station to the east and connections beyond. The site is also well served by several bus routes in Homerton High Street, which offer alternative connectivity to the London Underground & Rail Network and the City.
- 6.4.2 The Council's Highways officer has been consulted on the proposal and has raised no objections, outlining the highway works required, and the amount of contribution requested. These requirements have been secured under the Heads of Terms in the S106 legal agreement.
- 6.4.3 The Council's Transport department have been consulted on the proposal and state they are generally happy with the proposal, providing that the applicant

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can demonstrate how the parking impact will be mitigated. The layout with 3 disabled parking places is acceptable, although it results in a wider vehicular crossover than we would normally approve. Traffic and Transportation has taken a flexible approach in supporting the provision of 3 disabled car parking places. Traffic and Transportation considers this to be the right balance in achieving the best possible outcome for design, road safety and parking.

- 6.4.4 The proposal has been put forward as a car-free development. However, a car-free agreement cannot be entered into with respect to the subject development proposal as the site is not located within a CPZ area. The Transport Department recommends that the developer employs devices such as a travel plan with satisfactory monitoring arrangements, car club membership and a contribution to the provision of an on-street car club bay, in order to reduce the level of car-use likely to be generated by the proposal. One of the targets included in the travel plan should be percentage modal split in relation to car-use, which should not exceed the current on-street parking capacity. This will help to mitigate the impacts of the scheme on parking in the area. As such, this is recommended as a clause in the S106 Legal Agreement, should consent be granted.
- 6.4.5 The Transport Department also recommends that a sustainable transport contribution be sought towards public realm improvements in Digby Road/Berger Road and the possible introduction of some loading restrictions to improve traffic flows in Barnabas Road. Public realm improvements in Berger Road may constitute the implementation of a home zone type area along the frontage of the development, extending to the entrance to Homerton Station. This is recommended as a clause in the S106 Legal Agreement, should consent be granted.

6.5 Response to objectors

- 6.5.1 Noise: This issue has been addressed in section 6.3.7 of this report.
- 6.5.2 No need for further commercial units: The new building and commercial unit will create a more active frontage on this stretch of road, leading to an improvement in the streetscene.
- 6.5.3 Increase in crime due to commercial unit: The improved street scene will lead to improved natural surveillance. Additionally, the scheme will be required to achieve 'Secured by Design' certification.
- 6.5.4 Over-development: This issue has been addressed in section 6.1.3 of this report.
- 6.5.5 Parking: This issue has been addressed in section 6.4.3-6.4.4 of this report.
- 6.5.6 Loss of light: This issue has been addressed in section 6.3.3-6.3.4 of this report.
- 6.5.7 Loss of privacy: This issue has been addressed in section 6.3.5 of this report.

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6.5.8 Height: This issue has been addressed in section 6.2.2 of this report.

6.5.9 Impact on property values: This is not a material planning consideration.

6.5.10 Loss of view: This is not a material planning consideration.

6.6 Planning Contributions

6.6.1 The following matters are being sought as part of the Section 106 legal agreement to offset the impact of the development proposal:

- To secure the provision of 100% of units as affordable housing, with a split of 55%:45% socially rented/intermediate.
- That the provision of 100% (97 units) affordable housing be secured by Network Housing Association or another RSL approved by the Council, providing 53 social rented units and 44 intermediate units.
- Payment by the landowner/developer of an education and libraries contribution of £290,659.79 with respect to anticipated child yield from the additional residential housing units being provided in accordance with the DFES cost of providing a school place.
- Payment by the landowner/developer of an open space/older child playspace contribution of £4,454.24 towards the supply and quality of open space in the immediate locale.
- Payment by the landowner/developer of a sustainable transport/public realm improvements contribution towards works to the public highway.
- A contribution of £129,544 towards public realm and highways works in the vicinity of the site. This will comprise of:
 - The signing of a Section 278 legal agreement under the Highways Act to pay the Council for required works to the highway. Unavoidable works required to be undertaken by Statutory Services will not be included in London Borough of Hackney estimate or payment (£79,544).
 - A contribution directed towards the improvements in the public realm within the vicinity of the site to improve the public realm in the local area to encourage walking and cycling (£50,000).
- All residential units to be built to Lifetime Home standards.
- Commitment to the Council's local labour and construction initiatives (25% on site employment).

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- Achievement of a level 3 rating, with all reasonable endeavours to achieve level 4, under the proposed Code for Sustainable Homes.
- 20% reduction in carbon emissions over the whole site through the use of renewable energy sources and use of low energy technology.
- Considerate Constructors Scheme – the applicant to carry out all works in keeping with the National Considerate Constructors Scheme.
- At least 10% of units provided shall be wheelchair accessible.
- A Green Travel Plan to include servicing of the site, to be submitted to and agreed with the Council, to include best endeavours for the provision of a car share scheme and a provision for annual review.
- Best endeavours to provide a car club parking space.
- Provision to allow the placement of street lighting on the proposed buildings where appropriate.
- Parking shall only take place on the parking spaces shown on the approved drawings, and not on any other area of the site.
- Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.

7. **CONCLUSION**

- 7.1 The proposal is considered acceptable in terms of design, bulk, scale, and massing, and will not materially impact on the amenity of the surrounding properties. As such, the proposed development is considered compliant with pertinent policies saved in the Hackney UDP (1995), the London Plan (Consolidated with Alterations since 2004), and national planning policies. Accordingly, the granting of planning permission is recommended.

8. **RECOMMENDATIONS**

Recommendation A

- 8.1 **That permission be GRANTED, subject to the following conditions:**

8.1.1 **Development in accordance with plans**

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

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REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

8.1.2 Commencement within three years

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

Design & Appearance**8.1.3 Materials to be approved (entire site)**

Details, including samples, of materials to be used on the external surfaces of the building, boundary walls, gates and ground surfaces shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.4 Further details of be Submitted and Approved

Detailed drawings/full particulars showing the following matters set out below must be submitted to and approved by the Council before any work is commenced on site. This part of the development shall be completed only in accordance with the modifications thus approved:-

- a) Details of adequate screening to the child playspace area
- b) Details of the lighting facilities, canopies, and entrance/waiting spaces to the residential entrance.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area and, to ensure that the playspace area is a safe environment to use.

8.1.5 Landscaping Scheme to be approved

A landscaping scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site, for the planting of trees and shrubs showing species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed. All landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a

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period of ten years. Such maintenance is to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

8.1.7 Provision of landscaping as approved

The landscaping hereby approved as part of the development shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years. Such maintenance is to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

8.1.8 No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the (street) elevations of the building other than as shown on the drawings hereby approved. Details of any additional pipework required shall be submitted and approved in writing by the Local Planning Authority before any building works commence. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.9 Details of roof plant

Full details of all the roof plant enclosures (plans/sections and elevations) shall be submitted and approved in writing by the Local Planning Authority before any building works commence. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

Transport**8.1.10 Parking for persons with disabilities**

Before the use hereby permitted first commences the 3 disabled car parking spaces shall be provide for use by the vehicles of persons with disabilities as located on drawing number 0735 (PL) 101C.

REASON: In order to ensure that a reasonable minimum of parking spaces are located for persons with disabilities prior to occupation.

Planning Sub-Committee – 11/03/2009**8.1.11 Provision for cycles**

Secure, covered parking shall be provided for at least 125 bicycles in the form of Sheffield Stands or a suitable alternative, as shown on the plans hereby approved, before use of the development hereby permitted commences.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interests of discouraging car use, relieving congestion in surrounding streets and improving highway conditions in general.

8.1.12 Marking parking areas

Before the use hereby permitted first commences, appropriate markings shall be used to delineate all car parking spaces and service areas within the site/development as shown on the permitted plans, and such marking is to be retained permanently.

REASON: In the interests of orderly and satisfactory parking provisions being made on the site to ensure that the proposed development does not prejudice the free flow of traffic or public safety along the adjoining highway.

8.1.13 Parking

No part of the development hereby approved shall be occupied until accommodation for car parking, turning and loading/unloading has been provided in accordance with the approved plans, and such accommodation shall be retained permanently for use by the occupiers and/or users of, and/or persons calling at, the premises only, and shall not be used for any other purposes.

REASON: To ensure that the proposed development does not prejudice the free flow of traffic or public safety along the neighbouring highway(s) and to ensure the permanent retention of the accommodation for parking/loading and unloading purposes.

8.1.14 Parking

Parking of vehicles shall only be carried out on the areas identified for parking on the plans hereby approved, and not on any other area of the site.

REASON: In the interests of orderly and satisfactory parking provisions being made on the site to ensure that the proposed development does not prejudice the visual amenity of the scheme.

General Conditions**8.1.15 Noise**

(i) The building shall be constructed so as to provide sound insulation against external noise, to achieve levels not exceeding 30dB LAeq (23:00 to 07:00) and 45dB LAm_{ax} (measured with F time-weighting) for bedrooms between 23:00 to 07:00, 35dB LAeq (07:00 to 23:00) for other habitable rooms, with windows shut and other means of ventilation provided.

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(ii) The development shall not commence until details of a sound insulation scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.

(iii) The development shall not be occupied until the sound insulation scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the sound insulation scheme shall be maintained in perpetuity.

REASON: To ensure a pleasant residential environment is provided for potential occupiers.

8.1.16 Construction Method Statement

Full details of a work method statement for demolition and construction, including control measures to minimise noise and dust emissions, hours of work, wheel washing facilities, and details for the disposal of materials from the site shall be submitted to, and approved by, the Local Planning Authority prior to commencement of any construction/clearance work on the site. The development, including disposal of materials from the site, shall in all respects be carried out in accordance with the approved details.

REASON: To safeguard the amenities of neighbouring properties and the area generally during construction.

8.1.17 Details of refuse storage enclosure

Details of dustbin enclosures (including mandatory recycling facilities), showing the design, external appearance and location thereof, shall be submitted to and approved by the Local Planning Authority, in writing, before construction commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure there is adequate provision for dustbin and recycling facilities for the development in the interests of the appearance and amenity of the area.

8.1.18 Ecological roofs

Full details of the proposed bio-diverse, substrate based (75mm minimum depth) extensive green roofs and walls, to include a detailed maintenance plan, shall be submitted to and approved by the Local Planning Authority, in writing, before construction commences. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To enhance the character and ecology of the development, to provide undisturbed refuges for wildlife, to promote sustainable urban drainage, and to enhance the performance and efficiency of the proposed building.

8.1.19 Secured by Design

The development shall achieve a Certificate for Compliance to Secure by

Planning Sub-Committee – 11/03/2009

Design or alternatively achieve Secure by Design standards to the satisfaction of the Metropolitan Police, details of which, to include consultation with the police during the construction period, shall be provided in writing to the Local Planning Authority within one month of the completion date.

REASON: To provide a safer environment for future residents and visitors to the site and reduce the fear of crime.

8.1.20 Level Access

A level access shall be provided to all ground floor units hereby approved before the use is first commenced.

REASON: In order to ensure that people with disabilities are able to gain proper access to the development.

8.1.21 Provision of access and facilities

All provisions and facilities to be made for people with disabilities as shown on the plans and details hereby approved shall be implemented in full to the satisfaction of the Local Planning Authority before the use is first commenced.

REASON: In order to ensure that access and facilities for people with disabilities are provided in order to ensure that they may make full use of the development.

8.1.23 Shopfront details to be approved

Details of the proposed shopfront on drawings on a scale of 1:50, together with materials used in construction, shall be submitted to and approved by the Local Planning Authority, in writing, before any work is commenced on this part of the development. The shopfront shall include additional glazing on the angled wall facing Berger Road. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: To ensure that the design of the shopfront is not detrimental to the appearance of the building.

8.1.24 Sustainable Urban Drainage

No development shall take place until details of the implementation, maintenance and management of the sustainable urban drainage scheme have been submitted to and approved by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:

- i. a timetable for its implementation, and
- ii. a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable urban drainage scheme throughout its lifetime

Planning Sub-Committee – 11/03/2009**8.1.25 Restriction of Use**

The ground floor commercial premises hereby approved shall be only used for:

Use Class A1 (Retail);

Use Class A2 ((a) financial services, or (b) professional services);

Use Class D1 ((a) for the provision of any medical or health services, (b) as a crèche, day nursery or day centre, (c) for the provision of education, (d) for the display of works of art (otherwise than for sale or hire), (e) as a museum, (f) as a public library or public reading room);

Use Class B1 (Business).

and for no other purposes including any other purposes in Classes A1, A2, D1, or B1 of the Schedule to the Town and Country Planning (uses Classes) Order 1987 or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order.

REASON: In the interest of general residential amenity

Recommendation B

- 8.2 That the above recommendation be subject to the applicant, the landowners and their mortgagees entering into a section 106 agreement in order to secure the following matters to the satisfaction of the Assistant Director of Regeneration and Planning and the secretary and solicitor to the Council:
- 8.2.1 To secure the provision of 100% of units as affordable housing, with a split of 55%:45% socially rented/intermediate.
- 8.2.2 That the provision of 100% (97 units) affordable housing be secured by Network Housing Association or another RSL approved by the Council, providing 53 social rented units and 44 intermediate units.
- 8.2.3 Payment by the landowner/developer of an education and libraries contribution of £290,659.79 with respect to anticipated child yield from the additional residential housing units being provided in accordance with the DFES cost of providing a school place.
- 8.2.4 Payment by the landowner/developer of an open space/child playspace contribution of £4,454.24 towards the supply and quality of open space in the immediate locale.
- 8.2.5 A contribution of £129,544 towards public realm and highways works in the vicinity of the site. This will comprise of:
- The signing of a Section 278 legal agreement under the Highways Act to pay the Council for required works to the highway. Unavoidable works required to be undertaken by Statutory Services will not be included in London Borough of Hackney estimate or payment (£79,544).

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- A contribution directed towards the improvements in the public realm within the vicinity of the site to improve the public realm in the local area to encourage walking and cycling (£50,000).
- 8.2.7 All residential units to be built to Lifetime Home standards.
- 8.2.8 Commitment to the Council's local labour and construction initiatives (25% on site employment).
- 8.2.9 Achievement of a level 3 rating, with all reasonable endeavours to achieve level 4, under the proposed Code for Sustainable Homes.
- 8.2.10 20% reduction in carbon emissions over the whole site through the use of renewable energy sources and use of low energy technology.
- 8.2.11 Considerate Constructors Scheme – the applicant to carry out all works in keeping with the National Considerate Constructors Scheme.
- 8.2.12 At least 10% of units provided shall be wheelchair accessible.
- 8.2.13 A Green Travel Plan to include servicing of the site, to be submitted to and agreed with the Council, to include the provision of a car share scheme and a provision for annual review.
- 8.2.14 Provision to allow the placement of street lighting on the proposed buildings where appropriate.
- 8.2.15 Best endeavours to provide a car club parking space.
- 8.2.16 Parking shall only take place on the parking spaces shown on the approved drawings, and not on any other area of the site.
- 8.2.17 Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.

Recommendation C

- 8.3 That in the event of the Section 106 agreement referred to in Recommendation B not being completed by 23rd March 2009, the Assistant Director of Regeneration and Planning be given the authority to refuse the application for the following reasons:
- 8.3.1 The proposed development, in the absence of a legal agreement for securing affordable housing, would be to the detriment of housing needs in the Borough and would fail to promote a mixed and inclusive community and as such would be contrary to Policy H03 of the Hackney Unitary Development Plan, Affordable Housing SPD (2005), Policies 3A.1, 3A.2, 3A.3, 3A.5, 3A.6, 3A.8 and 3A.9 of the London Plan, and advice contained in PPS1 and PPS3.

Planning Sub-Committee – 11/03/2009

- 8.3.2 The proposed development, in the absence of a legal agreement for securing educational contributions, would be likely to contribute to pressure and demand on the Borough's education provision contrary to Policy EQ1 of the Hackney Unitary Development Plan, Planning Contributions SPD (2006), and Policy 3A.24 of the London Plan.

9. REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: EQ1 – Development Requirements; EQ48 – Designing out Crime; HO3 – Other sites for Housing; TR19 – Planning Standards; SPG1 New Residential Development; SPD Affordable Housing; SPD Planning Contributions.

The following policies contained in the London Plan 2004 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 – Sustainability Criteria; 3A.1 – Increasing London's Supply of Housing; 3A.2 – Borough Housing Targets; 3A.3 – Maximising the Potential of Sites; 3A.5 – Housing Choice; 3A.6 – Quality of New Housing Provision; 3A.8 – Definition of Affordable Housing; 3A.9 – Affordable Housing Targets; 3A.10 – Negotiating Affordable Housing; 3A.11 – Affordable Housing Thresholds; 3A.17 – Addressing the Needs of London's Diverse Population; 3C.1 – Integrating Transport and Development; 3C.2 – Matching Development to Transport Capacity; 3C.3 – Sustainable Transport in London; 3C.23 – Parking Strategy; 4A.1 – Tackling Climate Change; 4A.3 – Sustainable Design and Construction; 4A.7 – Renewable Energy; 4A.22 – Spatial Policies for Waste Management; 4B.1 – Design Principles for a Compact City; 4B.3 – Enhancing the Quality of the Public Realm; 4B.5 – Creating an Inclusive Environment; 4B.6 – Safety, Security and Fire Prevention and Protection; 4B.8 – Respect Local Context and Communities; Housing SPD 2005.

10. INFORMATIVES

The following Informatives should be added:

SI.1	Building Control
SI.2	Work Affecting Public Highway
SI.3	Sanitary, Ventilation and Drainage Arrangements
SI.6	Control of Pollution (Clean Air, Noise, etc.)
SI.7	Hours of Building Works
SI.24	Naming and Numbering
SI.25	Disabled Person's Provisions
SI.27	Fire Precautions Act 1971
SI.28	Refuse Storage and Disposal Arrangements
SI.34	Landscaping
NSI	With regard to surface water drainage, it is the responsibility of the

Planning Sub-Committee – 11/03/2009

- developer to make proper provision for drainage. Contact Thames Water, Ph. 0845 850 2777, for further information.
- NSI Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute and the point where it leaves Thames Water's pipes. The developer should take account of this minimum pressure in the design of the proposed development.
- NSI Surface water management should utilise sustainable drainage techniques (SUDS), in accordance with the SUDS management train (Ciria C909). Please contact the Environment Agency for further details.
- NSI Care should be taken to ensure that no debris or other materials can fall onto Network Rails land. Approval must be obtained from Network Rails Outside Parties Engineer.
- NSI Any scaffold which is to be constructed adjacent to the railway must be erected in such a manner that at no time will any poles or cranes over-sail or fall onto the railway. All plant and scaffolding must be positioned, that in the event of failure will not fall on Network Rail land.
- NSI Consultation required on any alterations to ground levels. Should be noted that Network Rail concerned about excavations within 10 metres of the boundary with the operational railway and will need to be assured that the construction of the foundations and footings will not impact on the stability of the railway. A full method statement must be supplied and agreed with Network Rail's Outside Party Engineer.
- NSI NR not aware whether any PPG24 noise and vibration assessment has been carried out for this location. Amenity will need to be addressed.
- NSI Additional flows of surface water must not be discharged onto NR land nor into NR culverts or drains. Soak ways should not be constructed within 10metres of the boundary with the operational railway.
- NSI 1.8 metre high fence should be constructed to avoid trespass and vandalism and provide acoustic insulation for the residential units.
- NSI To ensure residential units built without encroachment onto operational railway line all buildings and structures should be set back at least 2 metres from boundary with operational railway or at least 5 metres for overhead power lines. Landscape details along railway corridor to be submitted.

Signed..... **Date**.....

Fiona Fletcher Smith
DIRECTOR, NEIGHBOURHOODS & REGENERATION

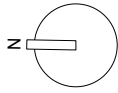
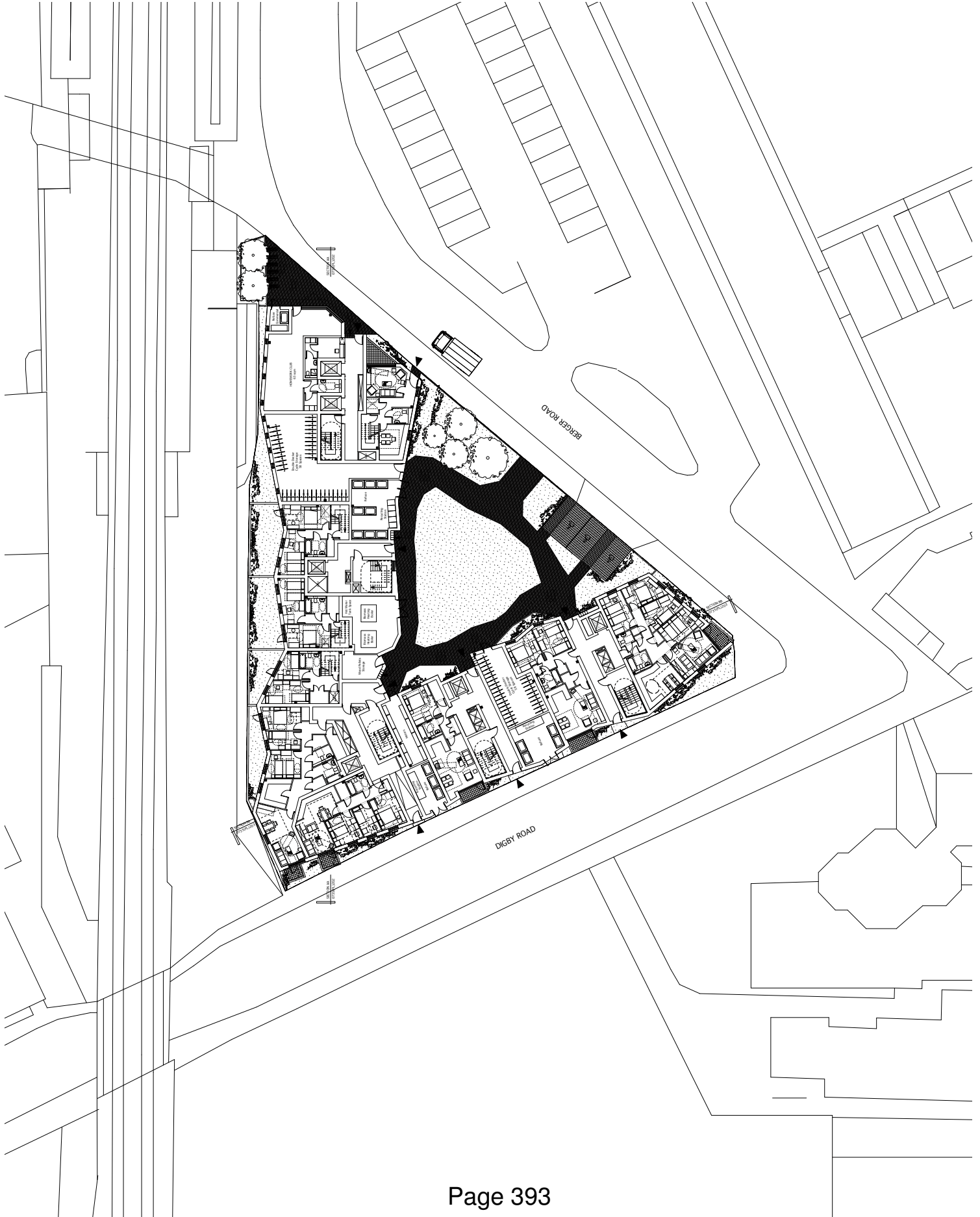
Planning Sub-Committee – 11/03/2009

NO.	BACKGROUND PAPERS	NAME AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP (1995) and the London Plan	Adam Flynn (020 8356 8442)	263 Mare Street, London E8 3HT

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Notes

Notes
 Projected information are subject to Main Contractor and Building
 Association instructions of construction details.

Revisions

No.	Description	Date
1	Issue for planning	07/03/08
2	Issue for construction	07/03/08
3	Issue for construction	07/03/08
4	Issue for construction	07/03/08
5	Issue for construction	07/03/08
6	Issue for construction	07/03/08
7	Issue for construction	07/03/08
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98	Issue for construction	07/03/08
99	Issue for construction	07/03/08
100	Issue for construction	07/03/08

Client: Turnhold Properties Ltd.

Architects: Stephen Davy, Peter Smith

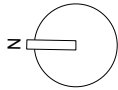
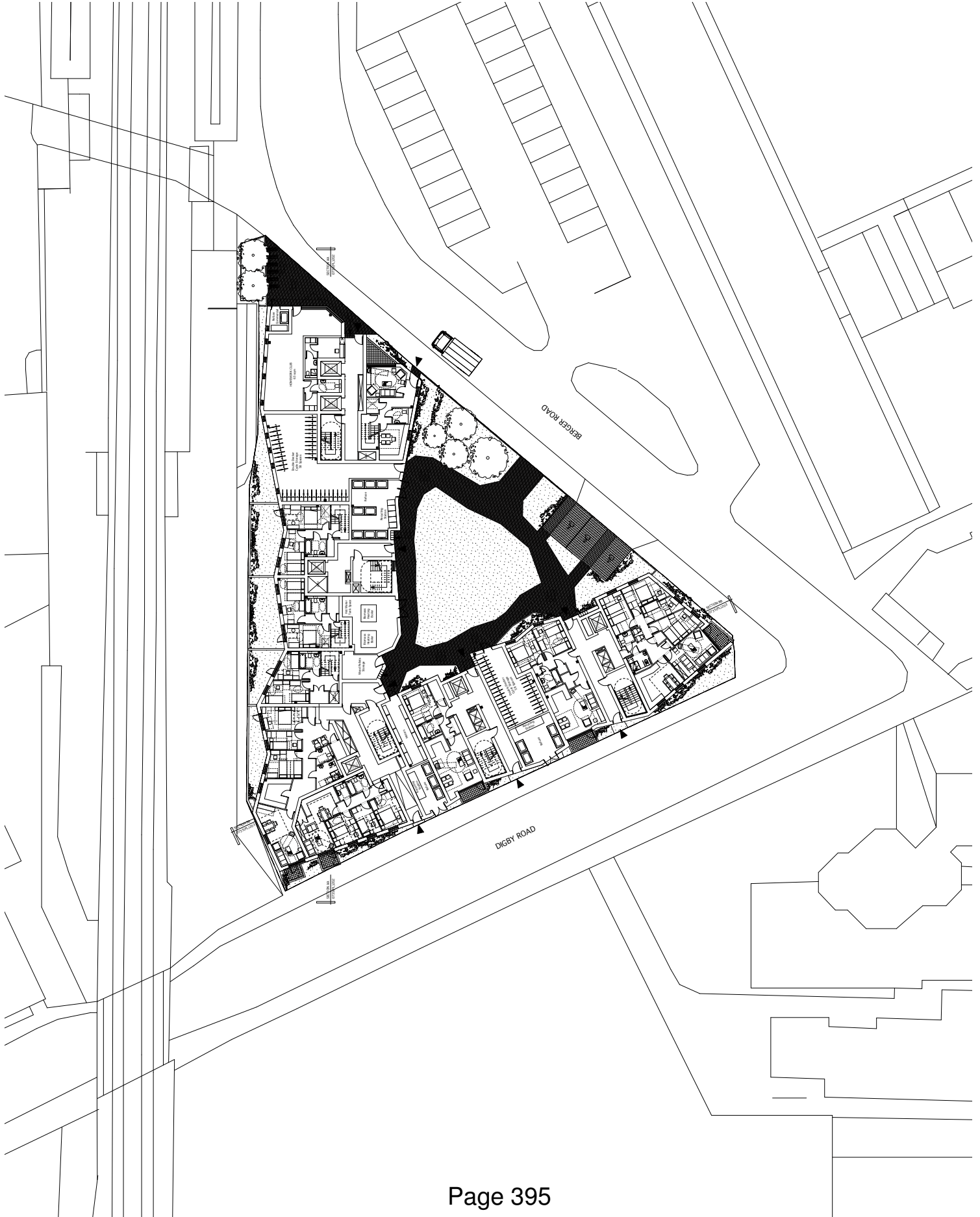
Project Name: Site Plan

Address: Digby Road, London E9

Date: July 2008

Drawn By	Checked By	Date
07/35	LC	1:2008/A1
07/35	LC	07/35 (PL) 100
07/35	LC	C

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Notes

Notes
 Project drawings are subject to New Contract and Building
 Association conditions of contract terms.

Revisions

No.	Description	Date
1	Issue for tender	14.03.08
2	Issue for tender	14.03.08
3	Issue for tender	14.03.08
4	Issue for tender	14.03.08
5	Issue for tender	14.03.08
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47	Issue for tender	14.03.08
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49	Issue for tender	14.03.08
50	Issue for tender	14.03.08

Client: **FOR PLANNING**

Client: **Tunhold Properties Ltd.**

Stephen Davy
 Peter Smith

Architects

Project No:
 Digby Road
 LONDON E9

Site Plan

Job No:	0735	Drawn By:	LC	Scale:	1:200(BA)
Date:	JULY 2008	Checked By:	LC		
Drawing No:	0735 (PL) 100				
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Notes:
 1. All dimensions are subject to site conditions and may vary.
 2. All dimensions are subject to site conditions and may vary.

Room No.	Room Name	Area (sqm)	Volume (cu m)
1	REAR COURTYARD	110.00	110.00
2	REAR COURTYARD	110.00	110.00
3	REAR COURTYARD	110.00	110.00
4	REAR COURTYARD	110.00	110.00
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Client: Turnhold Properties Ltd.

Architects: Stephen Lavery, Peter Smith

Project Name: BERGER ROAD, HUCKLEBY, LONDON E9

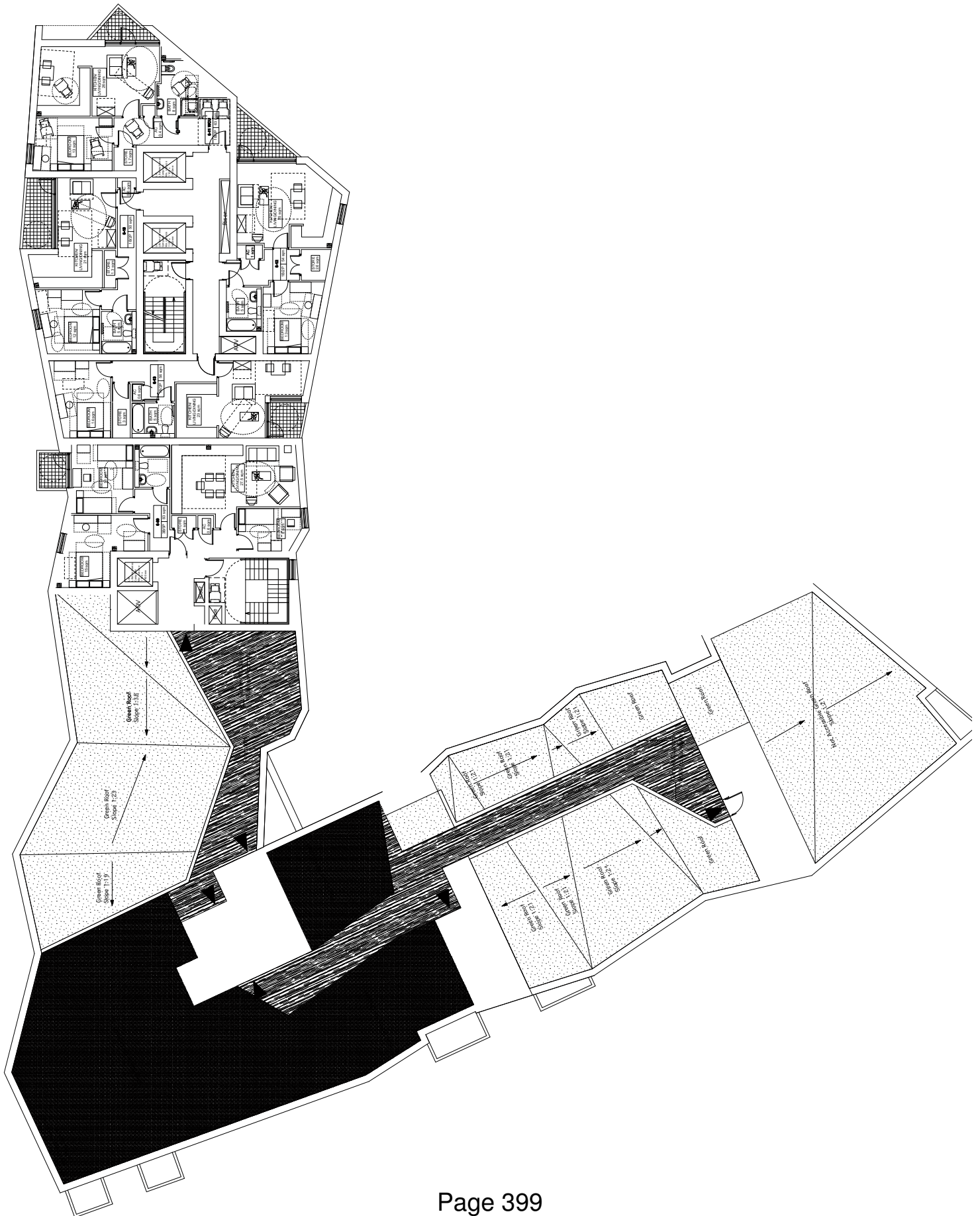
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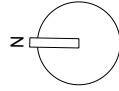
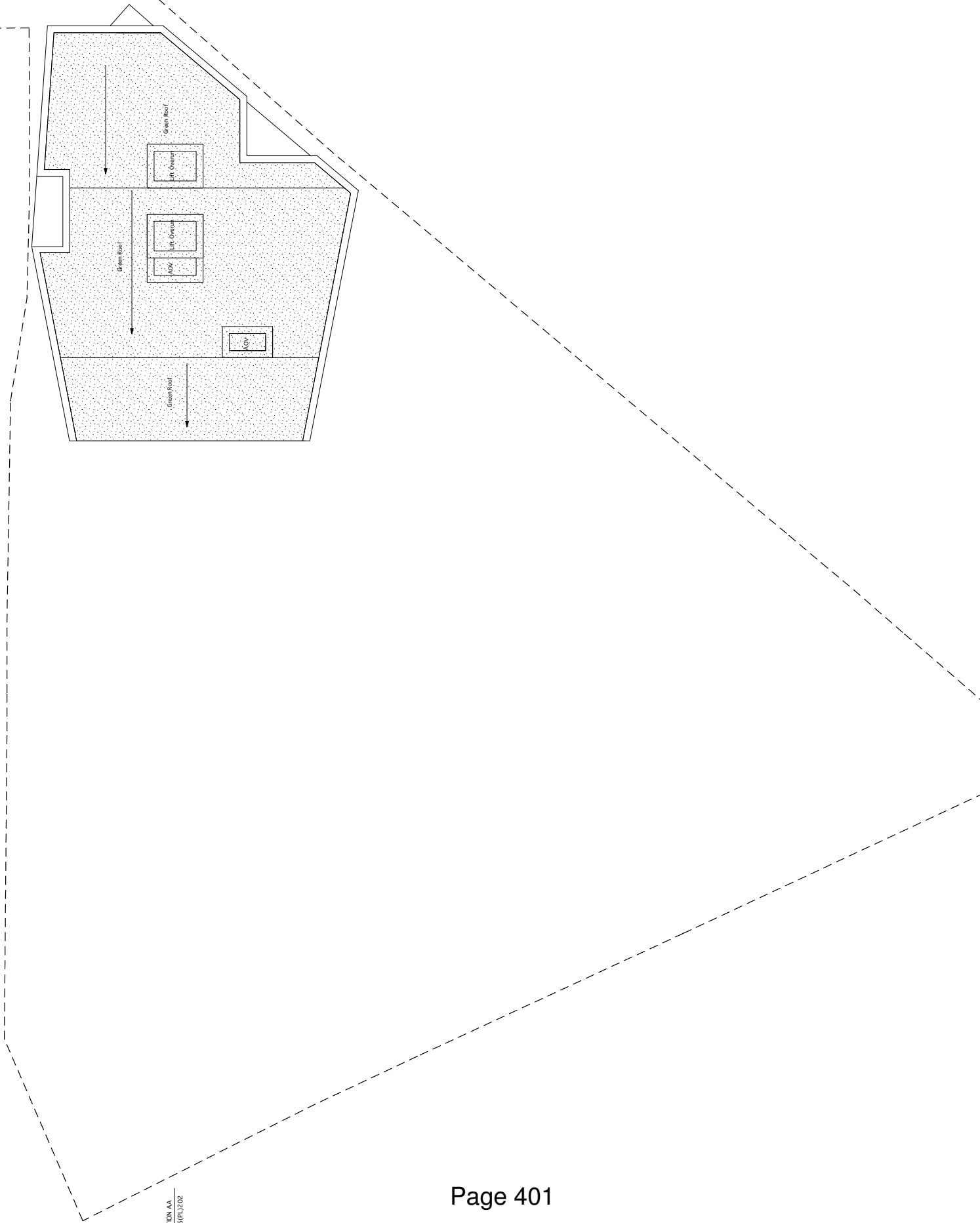
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Note:
Projects, drawings and details are subject to New Contract and Building
Association modification of the original documents.

Revisions

No.	Description	Date
1	Issue for construction	14.07.2008
2	Issue for construction	14.07.2008
3	Issue for construction	14.07.2008
4	Issue for construction	14.07.2008
5	Issue for construction	14.07.2008
6	Issue for construction	14.07.2008
7	Issue for construction	14.07.2008
8	Issue for construction	14.07.2008
9	Issue for construction	14.07.2008
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50	Issue for construction	14.07.2008

Client: **FOR PLANNING**

Client: **Tunthold Properties Ltd.**

Stephen Davy
Peter Smith

Architects
14, 0802 7778 2100 Fax: 0802 7778 2101
14, 0802 7778 2100 Fax: 0802 7778 2101
14, 0802 7778 2100 Fax: 0802 7778 2101
14, 0802 7778 2100 Fax: 0802 7778 2101

Project: **THE**
DORBY ROAD
LONDON
LONDON E9

Roof Plan

Job No	07/35	Scale	1:100@A1
Client	JULY 2008	Created By	LC
Checked By	LC	Checked By	LC
Drawing No	07/35 (PL) 115	Revision	B

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General Notes

1. All dimensions are in millimetres unless otherwise stated.

2. All dimensions are to the face of brickwork, concrete, or other material unless otherwise stated.

3. All dimensions are to the face of brickwork, concrete, or other material unless otherwise stated.

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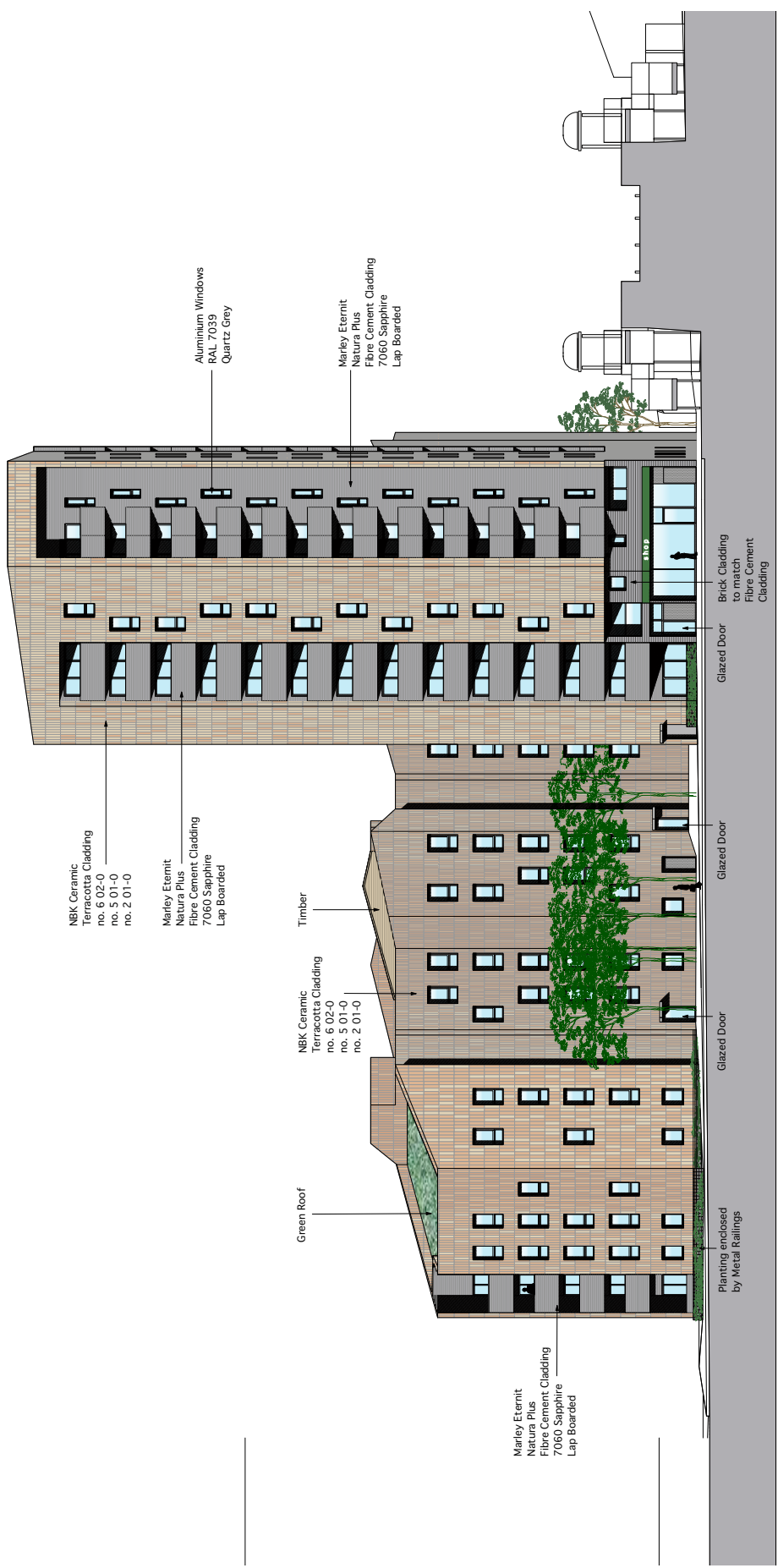
10. All dimensions are to the face of brickwork, concrete, or other material unless otherwise stated.

Rev	Description	Date
1	Issue for tender	15/06/20
2	Issue for construction	15/06/20
3	Issue for construction	15/06/20
4	Issue for construction	15/06/20
5	Issue for construction	15/06/20
6	Issue for construction	15/06/20
7	Issue for construction	15/06/20
8	Issue for construction	15/06/20
9	Issue for construction	15/06/20
10	Issue for construction	15/06/20

Prepared by: [Name]
 Checked by: [Name]
 Drawn by: [Name]
 Date: 15/06/20

Timberod Properties Ltd.
 Stephen Davy
 Peter Smith
Architects
 100 FIVE BROADWAY
 LONDON E14 5BR

Project Name: EAST ELEVATION
 Date: 15/06/20
 Scale: 1:500
 Drawing No: 1001



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ADDRESS: 102-108 Clifton Street, London N1 6AD	
WARD: Haggerston	REPORT AUTHOR: Steve Fraser-Lim
APPLICATION NUMBER: 2008/2333 (Full Planning Application) DRAWING NUMBER:	VALID DATE: 13 th March 2009
APPLICANT: Lawnpond Ltd 29 Corsham Street London N1 6DR	AGENT: Mr Scott Kyson 257E Mare Street London E8 3NS
PROPOSAL: Demolition of existing buildings and redevelopment of the site to provide a part two/ part five storey building comprising of 1078 sqm of B1 floor space and seven residential units with associated landscaping.	
POST SUBMISSION REVISIONS: Yes <ul style="list-style-type: none"> • Changes to the detailed design of the front elevation 	
RECOMMENDATION SUMMARY: Grant conditional planning permission subject to a section 106 agreement	

ANALYSIS INFORMATION

ZONING DESIGNATION: (Yes) (No)

CPZ	Yes	
Conservation Area	Yes (South Shoreditch)	
Listed Building (Statutory)		No
Listed Building (Local)		No
DEA	Yes	

LAND DETAILS:	USE	Use Class	Use Description	Floorspace sqm
Existing		B1c	light industry	511.5
Proposed		B1a	Offices	1078
		C3	Dwellings	7 units

RESIDENTIAL USE DETAILS:				
Existing: None				
		No of bedrooms per unit		
Proposed:		1	2	3
Private	7 Flats	1	4	0
				4+
				2

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	-
Proposed	0	0	6-20

CASE OFFICER'S REPORT

1. SITE CONTEXT

- 1.1 The site is located on the North West side of Clifton Street. The existing two storey building on the site has recently been demolished and the site is in a cleared state.
- 1.2 The site lies within the South Shoreditch Defined employment area and South Shoreditch Conservation Area. The surrounding built context varies from 3-7 stories in scale and includes development dating from the Victorian period as well as more recent infill development. The surrounding buildings are predominantly within use as offices, but with some retail, a public house, and residential use on upper floors.

2. CONSERVATION IMPLICATIONS

- 2.1 The site located within the South Shoreditch Conservation Area. The application has been advertised in accordance with the regulations governing applications in conservation areas.

3. HISTORY

- 3.1 The planning committee resolved to grant planning permission and conservation area consent subject to a S106 legal agreement in November 2006 for demolition of the existing buildings on the site and erection of 5 storey building to provide 742sqm B1 floorspace on the ground and first floors and 7 residential units (2x1 bed, 3x2bed and 2x4 bed flats) on second to fourth floors, together with the provision of 10cycle spaces, refuse stores and landscaping (ref: 2006/2354 and 2006/2355). It should be noted that the S106 agreement was never signed and the decision notices for the above applications have not been formally issued.

4. CONSULTATIONS

- 4.1 Date Statutory Consultation Period Started: 6th April 2009
- 4.2 Date Statutory Consultation Period Ended: 30th April 2009
- 4.3 Site Notice: Yes
- 4.4 Press Advert: Yes

4.5 Neighbours

- 4.5.1 Letters were sent to 177 neighbouring occupiers as part of the original round of consultation. 1 Objection was received raising concern that the application was for demolition of his property. The objector was advised that his property was sited approximately 100m from the site it was not proposed for demolition.

4.6 Local Groups

4.6.1 South Shoreditch CAAC

The group recorded an objection to this application on the basis that insufficient information had been provided or was unavailable on the LBH website. We also record that we made an information request from the officer on Friday 3 April in advance of our meeting and did not receive a reply. We request that this form part of the South Shoreditch Conservation Area Advisory Committee comments which are to be posted with the application and on the council website under comments from consultees.

4.6.2 Invest In Hackney

No comments received.

4.6.3 Hackney Society

No comments received.

4.7 Statutory Consultees

4.7.1 London Fire and Civil Defence Authority

No comments received

4.7.2 Metropolitan Police Authority (MPA)

No comments received

4.7.3 Primary Care Trust (NHS)

No representation received

4.7.4 Thames Water

Thames Water advises that it is the applicant's responsibility to make provision to drainage to ground, water courses, or a suitable sewer. Storm flows should be attenuated into the receiving public network through on or off site storage. Thames Water raises no objection to sewage infrastructure in connection with this application.

4.7.5 Cross Rail

No comments on the proposal.

4.7.6 Network Rail

No representation received

4.8 Council Departments

4.8.1 Conservation and Design:

The overall scale and mass of the scheme is similar to the previous scheme and is acceptable. The detailed design of the front elevations was generally acceptable but the rhythm of the grid elevation is lost on the ground and first floors. The scale of the glazed openings would be more characteristic of offices in Broadgate and the City rather than the more solid industrial aesthetic of the South Shoreditch area. The curve to the main entrance was also not considered to be convincing as it was not integrated to the grid elevation.

The front elevation has been revised to strengthen the grid at ground and first floor levels and this now relates to the scale and proportions of other buildings within the South Shoreditch area. The curved entrance feature has been modified and better integrated into the grid elevation.

4.8.2 Highways and Transportation:

The proposal does not raise any significant transport impacts. The proposed uses are not likely to generate significant vehicular trips due to the small number of residential units, and the size / nature of the B1 floorspace, non provision of car parking, parking restrictions and location within the Congestion Charge Zone. The residential units are required to be car free.

Clarification is sought on location of cycle parking for the residential units. A S278 agreement is required to cover costs of damage to the adjoining highway during construction and highway improvements required as a result of the development, including removal of the existing vehicular cross-over.

4.8.3 Pollution:

No objections but recommend three planning conditions to minimise dust during the construction of the development, details of sound insulation between commercial and residential units, and noise levels from any plant.

4.8.4 Waste Management:

The commercial waste storage is ok as it can be adjusted to suit needs. The residential storage provision proposes a 1100 litre euro bin which is acceptable but a further 360 litres is required as well for weekly collection.

5.1 Hackney Unitary Development Plan (UDP) (1995)

- EQ1 - Development Requirements
- EQ40 - Noise Control
- EQ42 - Air Pollution
- EQ48 - Designing Out Crime
- H03 - Other Sites for Housing
- E12 - Office Development
- E14 - Access and Facilities for People with Disabilities

5.2 Supplementary Planning Guidance (SPG)

- SPG1 - New Residential Development
- SPG11 - Access for People with Disabilities
- SPD - Planning Contributions

5.3 London Plan (Consolidated with Alterations since 2004)

- 2A.1 - Sustainability Criteria
- 2A.2 - The spatial strategy for development
- 2A.3 - London's Sub-Regions
- 2A.4 - The Central Activities Zone
- 2A.5 - Opportunity Areas
- 2A.6 - Areas for Intensification
- 3A.3 - Maximising the Potential of Sites
- 3A.5 - Housing Choice
- 3A.6 - Quality of New Housing Provision
- 3B.1 - Developing London's Economy
- 3B.2 - Office demand and supply
- 3B.3 - Mixed use development
- 3C.1 - Integrating transport and development
- 3C.2 - Matching development to transport capacity
- 3C.3 - Sustainable Transport in London
- 3C.4 - Land for Transport
- 3C.9 - Increasing the capacity, quality and integration of public transport to meet London's needs
- 3C.11 - Phasing of Transport Infrastructure Provision and Improvements
- 3C.17 - Tackling congestion and reducing traffic
- 3C.18 - Allocation of street space
- 3C.19 - Local transport and public realm enhancements
- 3C.20 - Improving Conditions for Buses
- 3C.21 - Improving Conditions for Walking
- 3C.22 - Improving Conditions for Cycling
- 3C.23 - Parking strategy
- 3D.7 - Visitor Accommodation and Facilities
- 4A.1 - Tackling climate change
- 4A.2 - Mitigating climate change
- 4A.3 - Sustainable design and construction
- 4A.4 - Energy assessment
- 4A.5 - Provision of Heating and Cooling Networks
- 4A.6 - Decentralised Energy: Heating, Cooling and Power
- 4A.7 - Renewable Energy
- 4A.8 - Hydrogen Economy
- 4A.9 - Adaptation to Climate Change
- 4A.10 - Overheating
- 4A.14 - Sustainable Drainage
- 4A.19 - Improving air quality
- 4A.33 - Bringing contaminated land into beneficial use
- 4B.1 - Design principles for a compact city
- 4B.2 - Promoting World Class Architecture and Design
- 4B.3 - Enhancing the quality of the public realm
- 4B.5 - Creating an inclusive environment
- 4B.8 - Respect Local Context and Communities
- 5A.1 - Sub-Regional Implementation Frameworks

- 5C.1 - The Strategic Priorities for North East London
 - 5C.3 - Opportunity Areas in North East London
 - 5G.1 - The Indicative CAZ Boundary
 - 5G.2 - Strategic Priorities for the Central Activities Zone
 - 5G.3 - Central Activities: Offices
 - 5G.5 - Predominantly Local Activities in the Central Activities Zone
 - SPG - Industrial Capacity
 - SPG - Accessible London: achieving an inclusive environment
 - SPG - Land for Transport Functions
 - SPG - Sustainable Design and Construction
 - SPG - Planning for Equality and Diversity in London
 - BPG - Wheelchair Accessible Housing
- Mayor's Economic Development Strategy
Mayor's Transport Strategy
Sub-Regional Development Framework – East London

5.4 National Planning Policies

- PPS1 - Delivering Sustainable Development

5. COMMENT

- 5.1.2 The proposal is for the demolition of the existing buildings on site and erection of a 5 storey building with basement level to provide 1078sqm of office floorspace at basement, ground and first floor levels. A further 7 residential units are proposed on the upper floors. The office and residential units are to be accessed via a shared courtyard, which contains cycle parking and refuse storage facilities. A large atrium will provide daylight to ground and basement level office floorspace at the rear of the site.
- 5.1.4 It should be noted that the detailed design of the application proposals have been revised following negotiations with officers. The front elevation has been revised with ground floor glazed openings and curved entrance modified. This has increased the apparent solidity of the building so that it relates more closely to the solid industrial character of many of the other buildings within the South Shoreditch Conservation Area. In addition the originally proposed stone cladding to front elevation has been replaced with red brick.

Considerations

The main considerations relevant to this application are:

- 6.1 The principle of the proposed development
- 6.2 Urban design and conservation issues
- 6.3 Response to climate change
- 6.4 Impact on residential amenity of adjacent residents
- 6.5 Traffic and transport considerations
- 6.6 Planning Contributions
- 6.7 Response to objections

Each of these considerations is discussed in turn below.

6.1 The principle of the proposed development

Business (B1) floorspace provision

- 6.1.1 The site is within the South Shoreditch Defined Employment Area (DEA) where there is a presumption against loss of business and employment. However the proposals are similar in many respects to the previous mixed use scheme which the committee resolved to grant planning permission (see history section). The previous scheme proposed 742sqm of office floorspace at ground and first floor. The current proposals now include a basement level which increases the amount of proposed office floorspace to 1078sqm. This additional business floorspace would be welcome within the DEA and would help to support the South Shoreditch local economy, in accordance with UDP and London Plan policies.

Residential mix, layout and affordable housing provision

- 6.1.2 The proposal provides 7 residential units. 28% of this provision would be large (four or more bedroom family sized units in response to the objectives within the London Plan to provide housing choice. Whilst this falls short of the London Plans expected forty per cent target for large family sized units, this policy is London wide and supports local level consideration of the required need. The Council's Housing Needs Survey demonstrates a high demand for family sized units. However the site is located in a dense inner urban location, where provision of family sized units is more challenging to achieve. Given this context it is considered that the scheme does make an acceptable contribution of family sized units.
- 6.1.3 With regard to the internal design of the proposed development, the residential component is acceptable, as all room sizes conform to, or exceed, the Council's minimum room size standards in SPG1: New Residential Development.

6.2 Urban Design and Conservation Issues

- 6.2.1 The proposed building height is five storeys which relates well with the scale of development within the surrounding area. In addition the bulk and scale of the proposed scheme is the same as the scheme which the committee has resolved to grant planning permission. The front elevation of the scheme differs from the previously approved scheme and now proposes an ordered brickwork grid, punctuated by glazed openings. This design approach replicates the solid and void proportions of other industrial buildings in the surrounding area but in a simple, contemporary manner. The detailed design of this front elevation has been revised to increase the solidity of the front elevation at ground and first floor levels to relate more closely with the character of the conservation area.
- 6.2.2 The choice of materials has also been revised with red brick substituting the originally proposed stone cladding. Whilst red brick is a more economical material than stone it would be appropriate within the context of the surrounding conservation area.

6.2 Response to climate change

- 6.3.1 The London Plan was amended in February 2008 and requires development to achieve a reduction in carbon dioxide emissions of twenty per cent from on site renewable energy generation (policy 4A.7). This would support policy 4A.2 which seeks to achieve an overall long term reduction in carbon dioxide emissions (15% by 2010).
- 6.3.2 In accordance with London Plan requirements to assess the anticipated energy generation of the site, the application has been the subject of an energy assessment to determine the estimated energy consumption and associated CO2 emissions of the proposed office and residential elements of the development. The scheme has been designed so that the thermal efficiency ('U' values) of the scheme will be on average a 25% improvement over Part L of the 2006 Building Regulations requirements.
- 6.3.3 The energy assessment identifies photovoltaic panels as being the most appropriate form of renewable energy generation for the site and proposes that 80sqm of panels are installed for the residential units and 120sqm of panels are installed to meet the needs of the office floorspace. It is considered that this would be a reasonable contribution towards meeting energy demand from the development from renewable sources. It would also be a planning benefit which was not included within the previously considered scheme. However the exact proportion of this contribution in terms of a % reduction in CO2 emissions needs to be clarified by the applicant.
- 6.3.4 The S106 agreement will require that the proposed offices meet BREEAM 'very good' standards and the dwellings achieve code for sustainable homes level 4. This will provide a further level of accreditation and ensure that the proposals perform as anticipated by the information submitted with the application.
- 6.3.5 Refuse provision
- 6.3.6 The proposed development has provision for waste collection at ground floor level within the shared courtyard. Separate provision for the residential and commercial elements is proposed. The refuse collection teams are satisfied that adequate provision has been made.

6.4 Potential impact on the amenity of adjacent occupiers

- 6.4.1 The proposed footprint of the development at second to fifth floors is larger than the scheme which was previously considered by the committee. The upper floors would now be closer to the adjoining office buildings to north and south. However this increased proximity would be not result in any undue sense of enclosure, when considered in relation to the dense inner urban context of the site where such close building relationships are common.
- 6.4.3 In addition as the adjoining buildings are within office use BRE guidance advises that the impacts of the proposals on loss of daylight and sunlight to these buildings need not be assessed. As such the proposals are not considered to result in any

significant loss of amenity to adjoining occupiers in accordance with UDP and London Plan policies.

6.6 Traffic and transport considerations

6.6.1 The site is located within the Congestion Charging Zone and is well located in relation to public transport. The site is also located within a CPZ (Controlled Parking Zone). These factors will discourage trips to and from the site by private vehicle. No vehicle parking spaces are proposed and a head of term within a S106 legal agreement is required to ensure that the residential units are designated as 'car free' and are ineligible from applying for residents parking permits.

6.6.2 6 cycle parking spaces are proposed which is sufficient to meet the needs of the office element of the scheme. No parking provision is proposed for the residential units and the applicants have been advised that this issue needs to be clarified. One cycle parking place per residential unit is required in order to comply with London Plan policy.

6.7 Planning Contributions

6.8.1 The proposal meets the trigger to provide contributions under the Planning Contributions Supplementary Planning Document (PCSPD). Therefore the following matters are being sought as part of the Section 106 legal agreement to offset the impact of the development. The heads of terms would ensure the proposals compliance with the PCSPD.

1. The owner shall be required to enter into agreement under Section 278 of the Highways Act to pay the Council to reinstate and improve the footway adjacent to the boundary of the site, and include if required, any access to the Highway, measures for street furniture relocation, carriageway markings, access and visibility safety requirements. Unavoidable works required to be undertaken by Statutory Services will not be included in the LBH Estimate or payment. The s278 Highway works are estimated at £18,281.16.
2. To ensure that prior to occupying any of the residential units (which for the avoidance of doubt includes the Car Capped Units) within the Development each new resident of such unit is informed by the Owner of the Council's policy that they shall not be entitled (unless they are the holder of a Disabled Persons Badge issued pursuant to Section 21 of the Chronically Sick and Disabled Persons Act 1970) to be granted a Residents Parking Permit and will not be able to buy a contract to park within any car park owned or controlled by the Council.
3. The proposed development would require a contribution of £1,094 for Library Facilities.
4. The employment floorspace, to be built to BREEAM standards and achieve a 'very good' rating. The Residential units shall achieve Code for Sustainable Homes level 4.
5. A contribution of £324.31 towards open space within close proximity to the site and for its maintenance and upkeep. This will be calculated under the formula in Appendix 1 (pages 68-70) of the SPD.
6. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations

and completion of the proposed Section 106 Agreement.

7. Education contributions of £32,467.86 are required to meet the additional pressure on Hackney schools as a result of the children generated by the development.

7. CONCLUSION

- 7.1 In conclusion the proposed mixed business and residential development would be largely similar to a scheme which the planning committee previously resolved to grant planning permission. It would however provide additional business floorspace which would help to support the South Shoreditch local economy. The proposals design approach responds to the surrounding context and would replicate solid industrial aesthetic of many buildings in the surrounding area in a simple contemporary manner.
- 7.2 The proposals would not result in any loss of daylight, sunlight, or undue sense of enclosure that would be greater than could be expected in such a dense inner urban location.
- 7.3 Subject to the following heads of terms within the S106 legal agreement and planning conditions the proposals would not result in any unacceptable transport impacts and would demonstrate an adequate response to climate change. The proposal therefore complies with relevant policies in the Hackney UDP (1995) and the London Plan (2004), and the granting of permission is therefore recommended subject to the completion of a section 106 agreement.

8. RECOMMENDATIONS

Recommendation A

- 8.1 **That planning permission be GRANTED, subject to the following conditions:**

- 8.1.1 **SCB0 – Development in accordance with plans**

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details, unless otherwise agreed in writing by the local planning authority.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

- 8.1.2 **SCB1 - Commencement within three years**

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

- 8.1.3 **SCM6 – Materials to be approved**

No development shall take place until full details, with samples, of the materials to be used in the construction of external surfaces of the development hereby

permitted have been submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.4 SCM7 – Full details

Detailed drawings / full particulars of the proposed development showing the matters set out below must be submitted to and approved by the local planning authority, in writing, before any work is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

- a) Doors and windows
- b) Controlled entry system
- c) Balconies and screening
- d) Security lighting

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.5 SCM9 - No extraneous pipework

No soil stacks, soil vent pipes, flues, ductwork or any other pipework shall be fixed to the elevations of the building other than as shown on the drawings hereby approved, unless otherwise agreed in writing by the Local Planning Authority.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

8.1.6 SCH10 – Secure bicycle parking

Provision of secure cycle space shall be made available within the building for the secure parking of 14 cycles for the residential and office elements of the scheme, as shown on the plans hereby approved, before the first occupation of the development. The secure parking as approved shall be permanently retained on the site.

REASON: To ensure that a reasonable provision is made within the site for the parking of bicycles in the interests of discouraging car use, relieving congestion in surrounding streets and improving highway conditions in general.

8.1.7 NSC1 – Hard / soft landscaping and biodiversity measures

A hard and soft landscape scheme illustrated on detailed drawings shall be submitted to and approved by the Local Planning Authority, in writing, before any work commences on site. Plans shall show species, type of stock, numbers of trees and shrubs to be included and showing areas to be grass seeded or turfed, benches, lighting and topographical ground levels. All landscaping in accordance with the scheme, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely diseased, or removed.

REASON: To accord with the requirements of Section 197(a) of the Town and Country Planning Act 1990 and to provide reasonable environmental standards in the interests of the appearance of the site and area.

8.1.8 NSC2 – Drainage Strategy

Development shall not commence until a drainage strategy incorporating sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development, have been submitted to and approved by the local planning authority, in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

REASON: The development may lead to sewerage flooding; to ensure that sufficient capacity is made available to cope with the new development and in order to avoid adverse environmental impact upon the community.

8.1.9 NSC3 – Details of plant area

Full details of all the roof plant enclosures (plans, sections, front and rear elevations, etc.) shall be submitted to and approved in writing by the Local Planning Authority before any building works commence. The development shall be carried out in accordance with the approved details.

REASON: In order to safeguard the appearance of the property.

8.1.10 NSC4 – Noise emission from plant area

- (i) The rating level of the noise emitted from fixed plant and from the premises on the site shall be 5dB below the existing background level at any time. The noise levels shall be determined at the façade of any noise sensitive property. The measurements and assessments shall be made by a suitably qualified acoustic consultant according to BS4142:1997.
- (ii) Development shall not commence until details of the scheme complying with paragraph (i) of this condition have been submitted to and approved in writing by the local planning authority.
- (iii) The development shall not be occupied until the scheme approved pursuant to paragraph (ii) of this condition has been implemented in its entirety. Thereafter, the scheme shall be maintained in perpetuity.

REASON: In order to minimise the transmission of noise and vibration between and within units in the interests of providing satisfactory accommodation.

8.1.11 NSC5 – Sound insulation where commercial adjoins residential

Full written details, including relevant drawings and specifications, of the proposed works of sound insulation against airborne noise to meet dB of not less than 55 between the first and second floor, where residential parties non domestic use, shall be submitted to and approved in writing by the local planning authority. The office development hereby permitted shall not commence until the sound insulation works have been implemented in accordance with the approved details.

REASON: In order to minimise the transmission of noise and vibration between and

within units in the interests of providing satisfactory accommodation.

8.1.12 NSC6 – Dust minimisation scheme

No development shall commence on site until a scheme to minimise the threat of dust pollution during site clearance and construction works (including any works of demolition to existing buildings or breaking out and crushing of concrete) have been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall include a watering regime in the event of dry weather and dust screens as appropriate, and shall be implemented in its entirety once development has commenced.

Reason: In order to ensure that the local planning authority may be satisfied that the demolition process is carried out in a manner that will minimise possible dust pollution to neighbouring properties.

8.2 Recommendation B

8.2.1 The above recommendation be subject to the applicant, the landowners and their mortgagees enter into a deed of planning obligation by means of a Section 106 Agreement of the Town and Country Planning Act 1990 (as amended) in order to secure the following matters to the satisfaction of the Assistant Director Regeneration and Planning and the Interim Head of Legal Services:

1. The owner shall be required to enter into agreement under Section 278 of the Highways Act to pay the Council to reinstate and improve the footway adjacent to the boundary of the site, and include if required, any access to the Highway, measures for street furniture relocation, carriageway markings, access and visibility safety requirements. Unavoidable works required to be undertaken by Statutory Services will not be included in the LBH Estimate or payment. The s278 Highway works are estimated at £18,281.16.
2. To ensure that prior to occupying any of the residential units (which for the avoidance of doubt includes the Car Capped Units) within the Development each new resident of such unit is informed by the Owner of the Council's policy that they shall not be entitled (unless they are the holder of a Disabled Persons Badge issued pursuant to Section 21 of the Chronically Sick and Disabled Persons Act 1970) to be granted a Residents Parking Permit and will not be able to buy a contract to park within any car park owned or controlled by the Council.
3. The proposed development would require a contribution of £1,094 for Library Facilities.
4. The employment floorspace, to be built to BREEAM standards and achieve a very good rating. The Residential units shall achieve Code for Sustainable Homes level 4.
5. A contribution of £324.31 towards open space within close proximity to the site and for its maintenance and upkeep. This will be calculated under the formula in Appendix 1 (pages 68-70) of the SPD.
6. Payment by the landowner/developer of all the Council's legal and other relevant fees, disbursements and Value Added Tax in respect of the proposed negotiations and completion of the proposed Section 106 Agreement.
7. Education contributions of £32,467.86 are required to meet the additional

pressure on Hackney schools as a result of the children generated by the development.

9. REASONS FOR APPROVAL

The following policies contained in the Hackney Unitary Development Plan 1995 are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission:

H03 Other Sites for Housing, E12 Office Development, E14 Access and Facilities for People with Disabilities, E15 Training, E18 Planning Standards, TR19 Parking standards, ACE7 Hotel Development, ACE8 Planning Standards, SPG1 New Residential Development, SPG6 Hotels, SPG11 Access for People with Disabilities, SPD Planning Contributions.

The following policies contained in the London Plan (Consolidated with alterations since 2004) are relevant to the approved development/use and were considered by this Council in reaching the decision to grant planning permission: 2A.1 Sustainability Criteria, 2A.2 The spatial strategy for development, 2A.3 London's Sub-Regions, 2A.4 The Central Activities Zone, 2A.5 Opportunity Areas, 2A.6 Areas for Intensification, 3A.3 Maximising the Potential of Sites, 3A.5 Housing Choice, 3A.6 Quality of New Housing Provision, 3B.1 Developing London's Economy, 3B.2 Office demand and supply, 3B.3 Mixed use development, 3C.1 Integrating transport and development, 3C.2 Matching development to transport capacity, 3C.3 Sustainable Transport in London, 3C.4 Land for Transport, 3C.9 Increasing the capacity, quality and integration of public transport to meet London's needs, 3C.11 Phasing of Transport Infrastructure Provision and Improvements, 3C.17 Tackling congestion and reducing traffic, 3C.18 Allocation of street space, 3C.19, 3C.20 Improving Conditions for Buses, 3C.21 Improving Conditions for Walking, 3C.22 Improving Conditions for Cycling, 3C.23 Parking strategy, 4A.1 Tackling climate change, 4A.2 Mitigating climate change, 4A.3 Sustainable design and construction, 4A.4 Energy assessment, 4A.5 Provision of Heating and Cooling Networks, 4A.6 Decentralised Energy: Heating, Cooling and Power, 4A.7 Renewable Energy, 4A.8 Hydrogen Economy, 4A.9 Adaptation to Climate Change, 4A.10 Overheating, 4A.19 Improving air quality, 4B.1 Design principles for a compact city, 4B.2 Promoting World Class Architecture and Design, 4B.3 Enhancing the quality of the public realm, 4B.5 Creating an inclusive environment, 4B.8 Respect Local Context and Communities, 5A.1 Sub-Regional Implementation Frameworks, 5C.1 The Strategic Priorities for North East London, 5C.3 Opportunity Areas in North East London, 5G.1 The Indicative CAZ Boundary, 5G.2 Strategic Priorities for the Central Activities Zone, 5G.3 Central Activities: Offices, 5G.5 Predominantly Local Activities in the Central Activities Zone, SPG Industrial Capacity, SPG Accessible London: achieving an inclusive environment, SPG Land for Transport Functions, SPG Sustainable Design and Construction, SPG Planning for Equality and Diversity in London, BPG Wheelchair Accessible Housing, Mayor's Economic Development Strategy, Mayor's Transport Strategy, Sub-Regional Development Framework – East London.

10. INFORMATIVES

The following Informatives should be added:

- SI.1 Building Control
- SI.2 Work Affecting Public Highway
- SI.3 Sanitary, Ventilation and Drainage Arrangements
- SI.6 Control of Pollution (Clean Air, Noise, etc.)
- SI.7 Hours of Building Works
- SI.24 Naming and Numbering
- SI.25 Disabled Person's Provisions
- SI.27 Fire Precautions Act
- SI.28 Refuse Storage and Disposal Arrangements
- SI.32 Consultation with Thames Water
- SI.34 Landscaping
- SI.45 The Construction (Design & Management) Regulations 1994
- SI.48 Soundproofing
- SI.50 S106 Agreement



Signed..... Date: 1 June 2009

Steve Douglas
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS & REGENERATION

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION	CONTACT OFFICER
1.	Hackney UDP (1995) and the London Plan (Consolidated with alterations since 2004)		263 Mare Street, London	E8 3HT

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ADDRESS: 3-8 and Jack Dunning Community Hall, Furrow Lane, London	
WARD: Chatham	REPORT AUTHOR: Steve Fraser-Lim
APPLICATION NUMBER: 2008/1905 DRAWING NUMBER: 0276 D0 100P4, 101P4, 102P3, 103P4, 104P4, 105P5, 106P2, 200P3, 201P3, 202P4, 203P3, 300, 301P1, 400P1, 401P1, 0276 F0 002P1, 100, L90-200, L90-201 Design & Access Statement, Planning Statement, Sustainability Statement, Energy Report, Play Strategy, Transport Statement, Air Quality Assessment, Noise Assessment, Daylight/Sunlight Assessment, Consultation Statement, Ground Condition Report	VALID DATE: 24 th June 2008
APPLICANT: Suite 26, 19-21 Crawford Street London W1H 1PJ	AGENT: Planning Potential Magdalen House 136 Tooley Street London, SE1 2TU
PROPOSAL: Demolition of existing buildings and construction of a three to six storey building comprising 41 affordable flats (8 x 1-bed, 19 x 2-bed, 7 x 3-bed, 7 x 4-bed) and the provision of a new 265m ² community hall (Class D1) on ground floor, with car parking, refuse provision and landscaping.	
RECOMMENDATION SUMMARY: As set out in report to committee on 3 rd December 2008 but with a change to the condition requested by members at committee requiring the corridors to be a minimum of 1.45m in width.	

ANALYSIS INFORMATION

ZONING DESIGNATION:

(Yes)

(No)

	(Yes)	(No)
CPZ	Homerton	
Conservation Area		X
Listed Building (Statutory)		23 Homerton High Street (adjacent)
Listed Building (Local)		X
DEA		X

LAND USE DETAILS:	Use Class	Use Description	Floorspace sqm
Existing	B1	Light Industrial	518.6m ²

Proposed	B8	Storage	359m2
	D1	Community Hall	265m2
	C3	Residential	

PARKING DETAILS:	Parking Spaces (General)	Parking Spaces (Disabled)	Bicycle storage
Existing	0	0	0
Proposed	0	4	44

CASE OFFICER'S REPORT

1. SITE CONTEXT

1.1 As outlined within the report to the planning committee on the 3rd December 2008.

2. CONSERVATION IMPLICATIONS

2.1 As outlined within the report to the planning committee on the 3rd December 2008.

3. HISTORY

3.1 As outlined within the report to the planning committee on the 3rd December 2008.

4. CONSULTATIONS

4.1 As outlined within the report to the planning committee on the 3rd December 2008.

5.1 Hackney Unitary Development Plan (UDP) (1995)

5.1.1 As outlined within the report to the planning committee on the 3rd December 2008 .

5.2 Supplementary Planning Guidance (SPG)

5.2.1 As outlined within the report to the planning committee on the 3rd December 2008.

5.3 London Plan (Consolidated with Alterations since 2004)

5.3.1 As outlined within the report to the planning committee on the 3rd December 2008.

5.4 National Planning Policies

5.4.1 As outlined within the report to the planning committee on the 3rd December 2008.

5. COMMENT

5.1.1 The application proposals are the same as those which the committee resolved to grant planning permission, subject to completion of a S106 legal agreement on its meeting on the 3rd December 2008. However at the committee meeting members requested that a condition was attached requiring the internal access corridors for the residential units were a minimum of 1.45m in width. The applicants have requested that this draft condition is varied to require a minimum width of 1.25m.

5.1.2 The applicants have stated that after considering this issue they are finding it very difficult

to accommodate the width of a 1.45m corridor, as the scheme was designed with a corridor 1.25m in width. A 1.45m width corridor would result in the loss of 25m² across the development, resulting in a loss of bed spaces and affordable housing unit sizes. This in turn could jeopardise grant funding and scheme viability.

5.1.3 Officers have considered these proposed changes and note that a 1.25m corridor width would meet the requirements of Part M of the Building regulations. In addition the proposed width would exceed the Lifetime homes requirement for internal corridors within flats between 900 and 1200mm wide. The scheme also exceeds wheelchair housing design guide minimum width of 1200mm wide access when turning through 90degrees on the ground floor units.

6.8.1 Given the compliance with these guidelines it is considered that the proposed changes to the condition would still ensure that the development provides a sufficient standard of amenity for future occupiers without any oppressive sense of enclosure to the corridor spaces. The proposals are therefore considered to be acceptable.

7. CONCLUSION

7.1 In conclusion all matters of the application as previously considered by the committee remain the same. The proposed to change to the planning condition with regard to minimum corridor widths is considered to be acceptable, given the compliance with a number of relevant guidance documents.

8. RECOMMENDATIONS

8.1 All recommendations remain as set out in the report to committee on the 3rd December 2008, with the exception of a non standard planning condition on minimum corridor widths to be inserted and worded as follows:

8.1.1 Non Standard Condition – Minimum corridor widths

The shared communal corridors to access residential units shall be a minimum of 1.25m wide and shall be retained and maintained in this condition thereafter, unless agreed otherwise in writing by the local planning authority.

REASON: In order to safeguard the amenity of future occupiers of the development.

9. REASONS FOR APPROVAL

9.1 All reasons for approval remain as set out in the report to committee on the 3rd December 2008.

10. INFORMATIVES

10.1 All informatives remain as set out in the report to committee on the 3rd December 2008.



Signed..... Date: 1 June 2009

Steve Douglas
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS & REGENERATION

NO.	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Hackney UDP (1995) and the London Plan (Consolidated with alterations since 2004)		263 Mare Street, London E8 3HT

Neighbourhoods & Regeneration

Graham Loveland, Interim Assistant Director (Regeneration & Planning), 263 Mare Street, Hackney, E8 3HT

REPORT OF ASSISTANT DIRECTOR OF REGENERATION AND PLANNING		
PLANNING SUB-COMMITTEE 10 June 2009	Classification INFORMATION Ward(s) Affected ALL	Enclosures APPEAL SUMMARY September 2008

1. SUMMARY

Attached for Members' information is a report summarising all Planning Inspectorate appeal decisions received for the month of September 2008.

2. RECOMMENDATION

That the attached schedule be received for Members' information.



Signed..... Date: **1 June 2009**

STEVE DOUGLAS
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS AND REGENERATION

Report Originating Officer: Franziska Lang (ph: 0208 356 8291)

Background Papers

The following documents have been relied upon in the preparation of this report:

Description of Document	Location	Date
MVM Panorama Planning System and PINS on-line case search	263 Mare Street, E8	May 09

MONTHLY APPEAL DECISION INFORMATION BULLETIN

SUMMARY INFORMATION FOR THE MONTH OF SEPTEMBER 2008

Statistics for all Planning and Enforcement Appeals

Planning (Including Listed Building, Conservation Area Consents and Adverts)		Enforcement	
Number of appeals received:	12	Number of appeals received:	2
Number of appeals withdrawn:	0	Number of appeals withdrawn:	0
Number of appeals decided:	9	Number of appeals decided:	3
• Dismissed	3	• Dismissed	0
• Allowed	6	• Allowed	0
• Split	0	• Split	3
Number of cost applications made	2	Number of cost applications made	0

Best Value Performance Indicator (BVPI) 204 Statistics

Number of appeals forming BVPI statistic: (Refer to note below for explanation)

	BVPI 204 September 2008 (S.78 Determined)	BVPI target 2008/2009	BVPI since 1 st April 2008
Number of Appeals Dismissed	2/7	62.0%	17/30 (56.67%)
Number of Appeals Allowed	5/7	38.0%	13/30 (43.33%)
Number of Appeals with Split Decision	0	Forms part of the 'Allowed' statistic above	0

Note:

Planning appeals for the purposes of the BVPI statistic includes appeals on planning applications where the Council has refused planning permission. It does not include planning appeals against conditions or non-determinations. The calculation also excludes all other application types of appeal, e.g. Advertisement Appeals, Enforcement Appeals and Lawful Development Certificate appeals. A partially allowed appeal must be counted as an allowed appeal (Extract from Best Value Performance Indicators by Audit Commission).

1. **Site Address: 31 Southwold Road, London E5 9PT**
Application and Appeal Reference: APP/U5360/A/08/2075671 & 2007/0774

Inspectors Ruling: DISMISSED

Development Description: Amendment to planning permission 2002/2184 involving retention of existing works (increased building height forming a third floor level to provide additional accommodation) and alterations to front and rear elevations including changes to finishing materials; removal of side roller shutter and the provision of obscure glazing to rear upper floor windows.

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1

Inspector Considerations and Key Issues: The effect of the proposed building on the character and appearance of the surrounding area and the effect on living conditions of occupiers of 1 Framlington Close with respect to privacy.

Brief Assessment: The Inspector considered that the proposed modifications would not alter the fundamental size of the existing unauthorised building works (see associated appeal APP/U5360/C/07/2036923), the asymmetrical roof being a particularly unattractive feature. The proposed external changes would not overcome the shortcomings of the underlying design or enable the building to integrate satisfactorily with its surroundings. For these reasons the appeal was dismissed.

Implications: No new implications.

2. **Site Address: 48 Milton Grove, London N16 8QY**
Application and Appeal Reference: APP/U5360/A/08/2069025 & 2007/3014

Inspectors Ruling: DISMISSED

Development Description: Roof extension

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1

Inspector Considerations and Key Issues: The effect of the proposal on the character and appearance of the surrounding area.

Brief Assessment: The Inspector considered that the height of the proposed extension would unacceptably disrupt the consistency of the roof line of the terrace. The additional floor would therefore appear as an incongruous and obtrusive addition to the prominent end of the terrace property. The Inspector concluded that the proposal would be harmful to the character and appearance of the area, and the appeal was dismissed.

Implications: No new implications.

3. **Site Address: 83 Winston Road, London N16 8LN**
Application and Appeal Reference: APP/U5360/A/08/2068865 & 2007/2322

Inspectors Ruling: ALLOWED

Development Description: Roof extension

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1, Draft SPD: Residential Extensions and Alterations

Inspector Considerations and Key Issues: The effect of the proposal on the character and

appearance of the surrounding area.

Brief Assessment: The Inspector considered that, although the SPD seeks to resist roof extensions that result in the loss of the original butterfly roof, other similar roof extensions were an existing feature in the area; and that the extension was sufficiently set back from the front of the property so as to justify an exception to the SPD requirements.

Implications: No new implications.

4. **Site Address: 102 Stoke Newington Road, London N16 7XBN**

Application and Appeal Reference: APP/U5360/A/08/2071075 & 2007/1466

Inspectors Ruling: ALLOWED

Development Description: Ground floor rear extension.

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: None quoted.

Inspector Considerations and Key Issues: The effect of the proposal on the character and appearance of the surrounding area.

Brief Assessment: The extension that is the subject of this appeal has already been constructed. The Inspector found that there is no established building line facing that part of Stoke Newington Road that lies in the vicinity of the appeal site. Although he acknowledged that the extension projected forward of both the neighbouring buildings, he did not consider that the addition was overly bulky as a result of its size or position. The appeal was allowed on the basis that there would be no harm to the character or appearance of the surrounding area.

Implications: No new implications.

5. **Site Address: 24 Lavers Road, London N16 0DT**

Application and Appeal Reference: APP/U5360/A/08/2068790 & 2007/2971

Inspectors Ruling: ALLOWED

Development Description: Roof extension to the rear.

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: None quoted

Inspector Considerations and Key Issues: The effect of the proposal on the character and appearance of the surrounding area.

Brief Assessment: The Inspector noted that because of its flat roof and the fact that it would cover the entire rear roof slope, the addition would be relatively unsympathetic in relation to the host building. However, he considered that it would not be out of keeping with the character and appearance of the area as both properties either side of the appeal site have very similar rear extensions. He considered that in this specific context the proposal would not appear obtrusive or incongruous.

Implications: No new implications.

6. **Site Address: 21 Allerton Road, London N16 5UJ**

Application and Appeal Reference: APP/U5360/A/08/2072174 & 2007/3221

Inspectors Ruling: ALLOWED

Development Description: Demolition of existing single storey rear extension and erection of a new single storey rear and side extension,

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1

Inspector Considerations and Key Issues: The effect of the proposal on the living conditions of the occupiers of 22 Allerton Road; and the effect on the character and appearance of the dwelling and the surrounding residential area.

Brief Assessment: The Inspector found that the new building would cut out little, if any, additional area of sky so there would be no significant loss daylight or sunlight. He therefore concluded that neighbours were not adversely affected. He further considered that the proposal would not be visible from the public domain and that it would sit comfortably with the rear elevation of the terrace in terms of its scale, massing and design features.

Implications: No new implications.

7 & 8 Site Address: 82-84 and 86-88 Holmleigh Road, London N16 5PY

**Application and Appeal Reference: 2004/0023/ENF & APP/U5360/C/08/2062899,
APP/U5360/C/08/2062901 and APP/U5360/C/08/2064118.**

Inspectors Ruling: SPLIT

Development Description: Appeal A: Without planning permission, (1) the erection of a single storey rear extension and (2) a lean-to extension at first floor level to the rear of the property at 82-84 Holmleigh Road; Appeal B: (1) the erection of a single storey rear extension, (2) railings enclosing the flat roof over the single storey rear extension and (3) a timber structure at first floor level over the single storey rear extension at 86-88 Holmleigh Road.

Type of Appeal: Public inquiry appeals against an enforcement notice served by the Council on 27 November 2007. Appeal A was made under Ground (a) – That planning permission should be granted for what is alleged in the notice; Ground (c) – That there is no breach in planning permission as a matter of fact; and Ground (f) – That the steps set out in the notice are excessive. Appeal B was made under Ground (a) – that planning permission should be granted for what is alleged in the notice; Ground (d) – That the alleged development is immune from enforcement action; Ground (f) – That the steps set out in the notice are excessive and Ground (g) – That the period for compliance is too short.

Key Policies/ Material Considerations: UDP Policy EQ1, SPG – Residential conversions, extensions and alterations, SPD – Residential extensions and alterations.

Inspector Considerations and Key Issues: In terms of the Ground (a) appeals, this is the effect of the extensions on the living conditions of neighbours and on the character and appearance of the surrounding area.

Brief Assessment: In terms of Appeal A, the Inspector considered that the single storey rear extension results in no material harm to the character and appearance of the area or on the living conditions of neighbours. Accordingly planning permission was granted for the extension. However, the appeal in relation to the lean-to extension at first floor level failed and planning permission for this element was denied. With respect to Appeal B, the Inspector considered that the appellant's evidence was sufficiently precise and unambiguous for her to conclude on the balance of probability that both the extension and the railings were substantially complete more than four years prior to the issue of the enforcement notice. As the appeal under Ground (d) was successful the other grounds did not need to be considered.

Implications: No new implications.

9, 10 & 11 Site Address: Crown & Manor Club, 1 Wiltshire Row, London N1 5TH

**Application and Appeal Reference: 2006/3139, 2007/2004 & 2008/0196 and
APP/U5360/A/07/2051913 (Appeal A), 2064494 (Appeal B) & 2070362 (Appeal
C)**

Inspectors Ruling: APPEAL 'A' DISMISSED, APPEALS 'B' AND 'C' ALLOWED

Development Description/Types of Appeal: Appeal A: Public inquiry appeal against Council's non-determination for outline planning permission for the re-provision of the Crown & Manor Club facilities and residential development above; Appeal B: Public inquiry appeal against the Council's refusal of planning permission for demolition of the existing building and the erection of a mixed use development comprising a part 1/ part 5/ part 6 storey building containing 84 residential units together with new club facilities and parking for 4 cars and 59 bicycles; Appeal C: Public inquiry appeal against Council's non-determination of an application for conservation area consent for the demolition of the buildings on the site.

Key Policies/ Material Considerations: UDP Policies EQ1, EQ12 and CS3; Hackney Draft Core Strategy; Hackney SPD – Planning Contributions; London Plan Policies 3A.9, 3A.10, 3A.18, 6A.4, 4B.1 and 4B.12; Mayor of London SPG – Affordable Housing.

Inspector Considerations and Key Issues: The Inspector looked at whether schemes A & B were of appropriate design, scale and character (particularly in terms of the Regent's Canal Conservation Area); and whether the offered acceptable proportions of affordable housing. He also looked at housing mix, residential amenity, transport implications and infrastructure contributions.

Brief Assessment: Firstly the Inspector considered that the existing club building has little relationship with the industrial heritage making up the character of the Conservation Area. In terms of Scheme A, he considered the height (eight stories) and design to be inappropriate and harmful to the character of the Conservation Area. However he raised no objection to the height and design of Scheme B; for a building of six stories. Turning to affordable housing, the Inspector accepted the financial limitations of the appellants in terms of the build cost of the scheme and that the financial gain from the scheme would allow retention and upgrading of the club's facilities. He dismissed the Council's assertions that the value of the club premises and new flats should be factored into this financial toolkit appraisal. The Inspector felt that the Council gave insufficient recognition to the club's role and contribution in serving the local community. The Inspector concluded that the schemes would enable the club's facilities to be brought up to date in line with UDP Policy CS3 which seeks to retain community facilities. He considered that given the community benefits the scheme circumstances warrant provision of affordable housing at substantially lower levels than the strategic targets set out in the London Plan. Turning to housing mix, the Inspector did not agree with the Council's rigid application of the London Mayor SPG standards. The Council also raised concerns regarding the provision of disabled parking for both the flats and the club. The Inspector imposed a condition requiring the provision of two on-site disabled parking spaces. The Inspector considered it unnecessary to impose a condition prohibiting future occupiers from applying for a parking permit. The Inspector did uphold the Council's request for an open space contribution as he recognised that the proposed 84 flats could be expected to generate a material additional need for leisure and open space facilities. However, the Inspector did not agree that an open space maintenance contribution met the tests of Circular 05/05. In conclusion, the Inspector dismissed Appeal A (due to inappropriate height & design) and allowed Appeals B & C subject to conditions. An application for costs was made by both parties. A partial award of costs was granted to the appellants. The costs application by the Council failed.

Implications: No new implications.

REPORT OF ASSISTANT DIRECTOR OF REGENERATION AND PLANNING		
PLANNING SUB-COMMITTEE	Classification INFORMATION	Enclosures
10 June 2009	Ward(s) Affected ALL	APPEAL SUMMARY October 2008

1. SUMMARY

Attached for Members' information is a report summarising all Planning Inspectorate appeal decisions received for the month of October 2008.

2. RECOMMENDATION

That the attached schedule be received for Members' information.



Signed..... Date: **1 June 2009**

STEVE DOUGLAS

INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS AND REGENERATION

Report Originating Officer: Franziska Lang (ph: 0208 356 8291)

Background Papers

The following documents have been relied upon in the preparation of this report:

Description of Document	Location	Date
MVM Panorama Planning System and PINS on-line case search	263 Mare Street, E8	October 08

MONTHLY APPEAL DECISION INFORMATION BULLETIN

SUMMARY INFORMATION FOR THE MONTH OF OCTOBER 2008

Statistics for all Planning and Enforcement Appeals

Planning (Including Listed Building, Conservation Area Consents and Adverts)		Enforcement	
Number of appeals received:	5	Number of appeals received:	2
Number of appeals withdrawn:	0	Number of appeals withdrawn:	0
Number of appeals decided:	7	Number of appeals decided:	1
• Dismissed	4	• Dismissed	1
• Allowed	3	• Allowed	0
• Split	0	• Split	0
Number of cost applications made	2	Number of cost applications made	0

Best Value Performance Indicator (BVPI) 204 Statistics

Number of appeals forming BVPI statistic: (Refer to note below for explanation)

	BVPI 204 October 2008 (S.78 Determined)	BVPI target 2008/2009	BVPI since 1 st April 2008
Number of Appeals Dismissed	4/5	62.0%	21/35 (60%)
Number of Appeals Allowed	1/5	38.0%	14/35 (40%)
Number of Appeals with Split Decision	0/5	Forms part of the 'Allowed' statistic above	0

Note:

Planning appeals for the purposes of the BVPI statistic includes appeals on planning applications where the Council has refused planning permission. It does not include planning appeals against conditions or non-determinations. The calculation also excludes all other application types of appeal, e.g. Advertisement Appeals, Enforcement Appeals and Lawful Development Certificate appeals. A partially allowed appeal must be counted as an allowed appeal (Extract from Best Value Performance Indicators by Audit Commission).

1. **Site Address:** 16 Lingwood Road, London E5 9BN
Application and Appeal Reference: 2008/0380 & APP/U5360/A/08/2073123

Inspectors Ruling: DISMISSED

Development Description: Loft conversion

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1

Inspector Considerations and Key Issues: The effect of the proposal on the character and appearance of the dwelling and the surrounding residential area.

Brief Assessment: The Inspector considered that the dormer would have a materially adverse effect on the character and appearance of the dwelling and the surrounding residential area contrary to Policy EQ1.

Implications: No new implications.

2. **Site Address:** 134 Lordship Road, London N16 0QL
Application and Appeal Reference: 2007/2251 & APP/U5360/A/08/2071311

Inspectors Ruling: ALLOWED

Development Description: rear dormer (loft conversion) to existing bedroom within roof space.

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1

Inspector Considerations and Key Issues: The effect of the extension on the character and appearance of the area.

Brief Assessment: Whilst the Inspector agreed with the Council that a dormer should generally not span the full width of a roof and should not extend to the roof ridge, he placed significant weight on the fact that there were dormers similar to that proposed on each of the three dwellings to the north-west and that such features are now a key element of the established character of the rear of the dwellings. The Inspector concluded that the proposed dormer would not look out of place and would not harm the character and appearance of the area.

Implications: No new implications.

3. **Site Address:** 3 Hackney Road, London E2 7NX
Application and Appeal Reference: 2007/1778 & APP/U5360/A/08/2071667

Inspectors Ruling: DISMISSED

Development Description: Change of use of ground floor from mini-cab office to mixed use mini-cab office and cold food take away (A1) to be open 24 hours, 7 days per week.

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policies EQ1 and EQ40.

Inspector Considerations and Key Issues: The effect of the proposal on the living conditions of nearby occupants due to noise and disturbance.

Brief Assessment: The Inspector considered that it is reasonable for the occupants of the appeal building and nearby residents to expect late night external conditions that do not prevent sleep. Whilst a degree of disturbance is understandable in the evening, during the middle of the night and the early hours of the morning, quieter conditions should be the norm. The Inspector held that the addition of a take-away activity would increase movements to and from the site; and could also attract drivers which would therefore generate additional traffic and further disturbance.

Implications: No new implications.

4. **Site Address:** 39 Amhurst Park, London N16 5DL

Application and Appeal Reference: 2007/1753 & APP/U5360/A/08/2070300

Inspectors Ruling: DISMISSED

Development Description: Erection of a 2-storey (basement and ground) three-bedroom house with off-street parking.

Type of Appeal: Written representations appeal against Council's refusal of planning permission.

Key Policies/ Material Considerations: UDP Policies EQ1 and Policy 4B.1 of the London Plan 2008.

Inspector Considerations and Key Issues: The effect of the proposal on the character and appearance of the area.

Brief Assessment: The Inspector found that the proposal would not accord with the character of either the Amhurst Park or Durley Road buildings. He further considered that the proposed dwelling would be an over-development of the site cramped within the street scene and with only a very small garden. The Inspector was not swayed by the needs of the appellant and the local community setting out that these were outweighed by the visual impact of the proposed dwelling.

Implications: No new implications.

5. **Site Address:** 216a- 218a Mare Street, London E8 3RD

Application and Appeal Reference: 2004/0327/ENF & APP/U5360/C/08/2078499

Inspectors Ruling: DISMISSED

Development Description: Without planning permission, the installation of new UPVC windows at first, second and third floor levels on the front elevation of the property.

Type of Appeal: An appeal against the Council's serving of an enforcement notice; appeal made under ground (g) - that the period of compliance set out in the notice is too short.

Key Policies/ Material Considerations: UDP Policies EQ1 and EQ40.

Inspector Considerations and Key Issues: Whether the period of compliance in the notice is reasonable in terms of the steps required to rectify the identified breach of planning control.

Brief Assessment: On the enforcement notice, the Council had imposed a period of two months to remove the UPVC windows. The Inspector accepted the appellant's argument that the works would require the erection of scaffolding and lead in times for the new windows prior to installation. The Inspector therefore varied the notice to allow for a six month period of compliance.

Implications: No new implications.

6. **Site Address:** 242-248 Kingsland Road and 50 Acton Mews, London E8 4DG

Application and Appeal Reference: 2007/2208 & APP/U5360/A/08/2072310

Inspectors Ruling: ALLOWED

Development Description: Demolition of existing buildings and erection of part six/ part seven storey building with basement to provide 2256sqm Use Class B1 floorspace and 58 residential units together with two parking spaces and landscaping.

Type of Appeal: Public inquiry appeal against the Council's failure to give a decision on the application within the prescribed time frames.

Key Policies/ Material Considerations: Circular 05/2005 – Planning Obligations, Circular 11/95 –

Conditions, PPG15 – Planning and the Historic Environment, Policy A4.11 of the London Plan, PPS1, PPS23.

Inspector Considerations and Key Issues: Whether it is possible to determine the appeal planning application without a concurrent application for conservation area consent.

Brief Assessment: This was a case where the Council decided not to determine a planning application as it was not accompanied by a concurrent application for conservation area consent. The latter was required to permit demolition of the existing buildings at the appeal site, which lies within a conservation area. The Inspector acknowledged that PPG15 states that it is 'generally preferable' if related applications for planning permission and conservation area consent are considered concurrently. However, even if a conservation area consent application had not been submitted with the planning application, it would not follow that the grant of planning permission meant that buildings could be demolished. Several other matters were discussed at the inquiry, including suitable planning obligations and conditions.

Implications: No new implications.

Costs application: Costs applications were made by both parties. The application by the Council failed, whereas the application by the appellants was allowed in part.

7. **Site Address:** 53b Carysfort Road, London N16 9AD

Application and Appeal Reference: 2007/1638 & APP/U5360/A/08/2068801

Inspectors Ruling: ALLOWED

Development Description: Conversion and alterations to existing building to create 290sqm of commercial floorspace (Use Class B1) and 9 self-contained flats (3 x one-bedroom, 3 x two-bedroom, 2 x three-bedroom and 1 x four-bedroom).

Type of Appeal: Hearing appeal against the Council's failure to give a decision on the application within the prescribed time frames.

Key Policies/ Material Considerations: London plan Policy 3B.1, SPD – Planning Contributions, UDP Policy EQ1, PPG13.

Inspector Considerations and Key Issues: The effect of the proposal on the provision of employment floorspace in the borough and on the living conditions of adjoining occupiers in Red Square and Indigo Mews with regard to overlooking.

Brief Assessment: The Inspector considered that there was a significant fall-back position in that the appeal premises were part of a permission given in 1999 for 114 new live work units that are now known as Red Square. That part of the permission relating to the appeal premises (8 live/work units) was not implemented, although the remainder was and the permission had therefore been given effect to. The proposal now at appeal involved the addition of a further storey. The employment space proposed would represent less than 30% of the entire floor area, whereas in the fallback position it would have amounted to 5% of the floor area. However the Inspector found that there was no policy base for the use of a ratio. The Inspector also took note that the provision of B1 floorspace in the fallback proposal was unenforceable as the 'work' area within each unit had not been defined on the approved plans for the 1999 permission. Accordingly the concluded that the appeal proposal was preferable in ensuring the relevant policy objectives were achieved. The inspector further concluded that the objections raised by neighbours in regard to overlooking and access/traffic issues were unfounded.

Implications: The fallback position in this case was a strong argument however it appears that the Council did not take full account of this.

Costs applications: The appellants applied for and were granted a partial award of costs on the basis that the Council had failed to take proper account of the fallback position as a material consideration.

8. **Site Address:** 168 & 170 Osbaldeston Road, London N16 6NJ

Application and Appeal Reference: 2007/2739 & APP/U5360/A/08/2072123

Inspectors Ruling: DISMISSED

Development Description: No 168 – Enlarging ground floor rear extension; erection of a first floor and second floor rear extension including a rear roof dormer; roof lights to front and rear roof slopes. No 170 – Erection of a ground, first and second floor rear extension including rear roof dormer; roof lights to front and rear roof slopes.

Type of Appeal: Hearing appeal against the Council's refusal of planning permission.

Key Policies/ Material Considerations: London Plan Policy 3A.17, PPS3, UDP Policy EQ1,

Inspector Considerations and Key Issues: Whether any harm to the subject properties, by reason of the bulk and scale of the extensions, is justified by the housing needs of the appellants.

Brief Assessment: The Inspector took into account the provisions of the London Plan and PPS3 which require the Council to take into account the diverse population needs of the borough when deciding individual planning applications. However, this needed to be balanced against other applicable policies such as UDP Policy EQ1. A decisive finding of the Inspector was that the proposal would not affect the street scene and that the alterations and extensions would be confined to the rear of the property. In addition, the rear of the properties had already seen some unsympathetic alterations, so the appellant argued that the proposal would result in an approved appearance. The Inspector negated the contention by the Council that the needs of the occupiers might be transitory, whereas the proposed works would become a permanent feature in the surrounding area. The Inspector concluded that this was a case where the needs of the appellants should be afforded considerable weight as there was no material harm in planning terms. However, the appeal was dismissed as, due to a number of inaccuracies, the proposed plans turned out to be unworkable.

Implications: No new implications.

REPORT OF ASSISTANT DIRECTOR OF REGENERATION AND PLANNING		
PLANNING SUB-COMMITTEE	Classification INFORMATION	Enclosures
10 June 2009	Ward(s) Affected ALL	APPEAL SUMMARY November 2008

1. SUMMARY

Attached for Members' information is a report summarising all Planning Inspectorate appeal decisions received for the month of November 2008.

2. RECOMMENDATION

That the attached schedule be received for Members' information.



Signed..... Date: 1 June 2009

STEVE DOUGLAS
INTERIM CORPORATE DIRECTOR, NEIGHBOURHOODS AND REGENERATION

Report Originating Officer: Franziska Lang (ph: 0208 356 8291)

Background Papers

The following documents have been relied upon in the preparation of this report:

Description of Document	Location	Date
MVM Panorama Planning System and PINS on-line case search	263 Mare Street, E8	May 2009

MONTHLY APPEAL DECISION INFORMATION BULLETIN

SUMMARY INFORMATION FOR THE MONTH OF NOVEMBER 2008

Statistics for all Planning and Enforcement Appeals

Planning (Including Listed Building, Conservation Area Consents and Adverts)		Enforcement	
Number of appeals received:	7	Number of appeals received:	7
Number of appeals withdrawn:	1	Number of appeals withdrawn:	1
Number of appeals decided:	11	Number of appeals decided:	2
• Dismissed	5	• Dismissed	2
• Allowed	6	• Allowed	0
• Split	0	• Split	0
Number of cost applications made	2	Number of cost applications made	1

Best Value Performance Indicator (BVPI) 204 Statistics

Number of appeals forming BVPI statistic: (Refer to note below for explanation)

	BVPI 204 November 2008 (S.78 Determined)	BVPI target 2008/2009	BVPI since 1 st April 2008
Number of Appeals Dismissed	6/9	66.7%	27/44 (61.4%)
Number of Appeals Allowed	3/9	33.3%	17/44 (38.6%)
Number of Appeals with Split Decision	0/9	Forms part of the 'Allowed' statistic above	

Note:

Planning appeals for the purposes of the BVPI statistic includes appeals on planning applications where the Council has refused planning permission. It does not include planning appeals against conditions or non-determinations. The calculation also excludes all other application types of appeal, e.g. Advertisement Appeals, Enforcement Appeals and Lawful Development Certificate appeals. A partially allowed appeal must be counted as an allowed appeal (Extract from Best Value Performance Indicators by Audit Commission).

1. **Site Address: 45-47 Amhurst Park, London N16 5DL**
Application and Appeal Reference: 2007/2141 and APP/U5360/A/08/2077105

Inspectors Ruling: DISMISSED

Development Description: Construction of eight 1-bed self-contained chalets in rear garden.

Type of Appeal: Written representations

Key Policies/ Material Considerations: UDP Policies EQ1, EQ31, EQ40, HO3 and HO15

Inspector Considerations and Key Issues: Effect of the development on the character and appearance of the area; effect on the living conditions of neighbours; effect on trees and wildlife.

Brief Assessment: The Inspector considered that the existing use at the property was akin to a hostel. He considered that the proposal would result in a cramped layout in the rear garden. However he did not consider that the outlook of neighbours would be harmed given that the chalets were of similar design to ordinary garden sheds. The Inspector was concerned about the noise and disturbance implications of the proposal given its density. The most significant harm the Inspector identified was in relation to the fact that a number of the proposed chalets would impinge on the root zones of some mature trees at the rear of the site. Accordingly the appeal was dismissed.

Implications: No new implications.

- 2 & 3 **Site Address: 492 Kingsland Road, London E8 4AE**
Application and Appeal Reference: Appeal A: 2007/2097 & APP/U5360/A/08/2073854;
Appeal B: 2007/0495/ENF & APP/U5360/C/08/2076006

Inspectors Ruling: BOTH APPEALS DISMISSED

Development Description & Type of Appeal: Appeal A: Written representations planning appeal against the refusal of the Council to grant planning permission for the installation of an Automated Teller Machine (ATM) retention of existing ATM to existing shop front); Appeal B: Written representations enforcement appeal against an enforcement notice served by the Council in relation to the installation of an ATM and surround panel within the existing Shopfront at ground floor level without planning permission.

Key Policies/ Material Considerations: UDP Policy ST8, EQ6, EQ12, EQ14 and EQ32

Inspector Considerations and Key Issues: Impact of proposal on character and appearance of the appeal site and the Kingsland Conservation Area

Brief Assessment: The Inspector set out that this was a very similar proposal at the same site to one that was subject to an earlier appeal in 2007. The Inspector in that earlier decision pointed out although there was a variety of shopfronts along this stretch of Kingsland Road the traditional form was for shopfronts to be glazed across their full width. The Inspector concluded in that earlier decision that the ATM would result in a marked reduction in glazed area and that the proposal would therefore fail to respect the patterns of buildings and would not preserve or enhance the character of the Conservation Area. The current appeal proposal replaced the glazed ATM surround with an opaque surround and the Inspector considered that this would reduce the glazed frontage still further. His conclusion was that the criticisms that applied to the earlier appeal applied with even greater force to the current appeals. Accordingly the appeals were dismissed and the enforcement notice was upheld.

Costs: The Council made an application costs on the basis that the appellants had ignored the findings of the previous appeal decision as a material consideration. This application was allowed.

Implications: No new implications.

- 4 & 5 **Site Address: 201-203 City Road, London EC1V 1JN**
Application and Appeal Reference: Appeal A: 2008/0990 & APP/U5360/A/08/2079587;

Inspectors Ruling: BOTH APPEALS ALLOWED

Development Description & Type of Appeal: Appeal A: Written representations planning appeal against Council's refusal of planning permission for change of use of ground and lower ground floors from B1 office to A3 restaurant; Appeal B: Written representations planning appeal against Council's refusal of planning permission for change of use of ground and lower ground floors from B1 office to D1(a) or (c) health or education.

Key Policies/ Material Considerations: UDP Policies EQ1, London Plan Policies 3B.1 and 3B.2

Inspector Considerations and Key Issues: Whether the proposed developments would harmfully conflict with and undermine the intentions of development plan policy concerning employment.

Brief Assessment: The Inspector did not understand why Policy EQ1 had been referred to in the reason for refusal as this policy relates to environmental quality and would not apply to a proposed change of use. The Inspector could not accord weight to the status of the appeal sites as a designated Defined Employment Area (DEA) as there were no longer any UDP policies which would inhibit changes of use such as the ones suggested. With reference to the quoted London Plan policies, the Inspector noted that these did not seek to retain floorspace exclusively for B1 use. The Council referred to the findings of the Atkins Employment Study in its statement as this recommends that the objectives of DEA's are likely to be carried forward into its Local Development Framework. The Inspector noted that the Atkins report states that 'the employment land policies in the adopted UDP require a significant degree of refinement'. He further noted that the report is simply part of the evidence base for future policy and does not constitute an instrument of policy that has been subject to consultation, scrutiny and formal adoptions. As such it carried limited weight. The Inspector noted that both proposals would in any event create employment and that a degree of diversification of opportunity for enterprise in the locality would seem a positive step. The inspector allowed the appeals subject to conditions.

Implications: No new implications

6. Site Address: 47 Stoke Newington Road, London N16 8BJ

Application and Appeal Reference: 2008/0623 & APP/U5360/A/08/2082050

Inspectors Ruling: ALLOWED

Development Description & Type of Appeal: Hearing planning appeal against the refusal of the Council to grant retrospective express advertisement consent for two 96 sheet 912m x 3m) externally illuminated advertisement display panels and a single 48 sheet (6m x 3m) externally illuminated panel.

Key Policies/ Material Considerations: Advertisement Regulations 2007

Inspector Considerations and Key Issues: Whether the proposal would have an adverse effect on public safety by distracting drivers.

Brief Assessment: As background, the Council had refused the application on the basis of objections received from Transport for London in relation to accident statistics at the intersection of Stoke Newington Road and Arcola Street. The Inspector considered that, although illuminated, the display would be static and that drivers would have adequate time to digest such information as part of their overall forward vision. It is noted that the exact details of TfL's objections, in the form of accident statistics for the Stoke Newington Road and Arcola Street. The Inspector noted that the number and type of accidents at the Arcola Street junction were not dissimilar to accidents further up Stoke Newington Road. Given the extensive sight lines in both directions, as well as a raised table at the junction mouth which slows traffic, the Inspector considered that this intersection was not particularly dangerous. He concluded that the proposal did not pose harm to public safety and therefore allowed the appeal.

Implications: It is noted that planning officers did not question the TfL objection. The appellant critiqued the Council for this. In rebuttal, the Council set out at the hearing that it was relying on the professional opinion of TfL officers; and that Council planning officers were not qualified to verify this information. This point was accepted by the Inspector.

7. Site Address: 35-39 Stoke Newington High Street, London N16 8DR

Application and Appeal Reference: 2007/2139 & APP/U5360/A/08/2072465

Inspectors Ruling: DISMISSED

Development Description & Type of Appeal: Written representations planning appeal against the Council's refusal to grant planning permission under Section 73 of the Town and Country Planning Act 1990 for the development of land without complying with the conditions subject to which a previous planning permission was granted; specifically Condition 15 of planning permission 2003/0584 which states: *The whole of the car parking accommodation hereby approved shall be provided before the occupation of any of the approved units, and retained permanently for the accommodation of vehicles for purposes incidental to the enjoyment of the residential accommodation.*

Key Policies/ Material Considerations: UDP Policies TR19, London Plan Policy 3C.22

Inspector Considerations and Key Issues: Whether there is a lack of demand for parking facilities from residents of the flats; and whether the proposal would result in the loss of three parking spaces intended for disabled persons; and finally, whether the use of the car parking area by local commercial and residential properties would create an intensification of the use of the access to the detriment of occupiers of the upstairs flats.

Brief Assessment: The appellants suggested that although the car parking spaces had been offered for lease to the tenants of the flats at commercially competitive rates none of the tenants took up the offer. However the Council pointed out that 15 of the tenants had obtained parking permits from the Council to park on local highways. The Inspector concluded that this suggested that the problem could have been the cost of the parking spaces rather than a lack of demand. He further considered that leasing the parking spaces to persons not living within the development would cause noise and disturbance to tenants. The Inspector stated that it would be contrary to the objective of local planning policies requiring that schemes take into account local circumstances when determining parking levels, but then to lower the standards at a later date. Accordingly the appeal was dismissed.

Implications: No new implications

8. Site Address: 133 Clissold Crescent, London N16 9AS

Application and Appeal Reference: 2007/2842 & APP/U5360/A/08/2078804

Inspectors Ruling: ALLOWED

Development Description & Type of Appeal: Written representations appeal against the Council's non-determination of a planning application for conversion of property into two self-contained flats (1 x one-bedroom and 1 x three-bedroom); erection of a single storey rear extension; alteration to rear window at first floor level to a french door with Juliette balcony and installation of two roof lights to rear roof.

Key Policies/ Material Considerations: UDP Policies HO12

Inspector Considerations and Key Issues: Whether the proposed developments would provide access to adequate outdoor amenity space

Brief Assessment: The Council's concern was that the occupants of the three-bedroom flat on the first floor should have access to the rear garden area and that the lack of such an amenity would have a detrimental impact upon living conditions. The Inspector considered that the rear garden

was small and would only have limited ability to provide a proper garden and adequate children's play space. However, due to the close proximity of Clissold Park, the Inspector considered that this would not create a significant detriment to living conditions. Accordingly the appeal was allowed.

Implications: No new implications

9. Site Address: 23 Cecilia Road, London E8 2EP

Application and Appeal Reference: 2006/0258/ENF & APP/U5360/C/08/2078074

Inspectors Ruling: DISMISSED

Development Description & Type of Appeal: Written representations enforcement appeal against an enforcement notice served by the Council in relation to the raising of hipped roof end of the property without planning permission.

Key Policies/ Material Considerations: UDP Policy EQ1

Inspector Considerations and Key Issues: The visual impact of raising the hipped roof on the street scene and the character and appearance of the St Marks Conservation Area.

Brief Assessment: The Inspector considered that given the symmetry of roof forms that used to exist at this prominent junction with gable ends to the north and shallow hips to the south, the steepened pitch roof at the appeal property appears seriously out of place and creates a discordant feature in the street scene. Since the enforcement notice was served the St Marks Conservation Area was adopted so the Inspector was bound to consider the impact of the altered roof on the character and appearance of the conservation area. He concluded that it would be harmful. Accordingly the enforcement notice was upheld and the appeal dismissed.

Implications: No new implications

10. Site Address: 26 Orsman Road, London N1 5QJ

Application and Appeal Reference: 2007/2437 & APP/U5360/A/08/2073199

Inspectors Ruling: ALLOWED

Development Description & Type of Appeal: Public inquiry appeal against the Council's refusal to grant planning permission for demolition of existing structures and erection of a five storey mixed use development to provide 690sm of Class B1 accommodation and 40 residential units.

Key Policies/ Material Considerations: UDP Policies EQ1, E2, E5; London Plan Policy 3B.4

Inspector Considerations and Key Issues: Whether the proposal would result in a net loss of employment floorspace and thereby undermine the protection of employment opportunities in the borough.

Brief Assessment: The site consists of a former haulage yard adjacent to the Regent's Canal with several garage buildings set around an open yard. The Council's argument was that there should be re-provision of the employment space equivalent to the entire existing site including the yard area. Turning to the applicable policy framework, the Inspector noted that the site was within the Kingsland Basin Defined Employment Area and that policies E2 and E5 of the UDP governing employment sites had not been saved. The Council presented the Inspector with the findings of the Atkins Employment Growth Options Study. This recommends that the appeal site be included within a Priority Employment Area. The Inspector noted that as the Atkins report does not constitute policy it carries little weight. The Council further outlined relevant policies of the emerging Local Development Framework including Core Strategy Preferred Policy Options 24 and 25. Again, as the PPO's were not adopted the Inspector could only give them limited weight. The Inspector also considered London Plan policy 3B.4 which sets out policy in relation to industrial locations. In conclusion the Inspector stated that there are no valid local policies which would answer the question of what exactly would constitute sufficient replacement employment floorspace. London Policy 3B.4 was simply a higher level policy that requires Boroughs to produce

their own local policies and did not therefore set detailed standards. As there was no policy that established whether open yards should be included within employment floor space calculations, the Inspector could not rule that the floorspace re-provision was inadequate. Indeed he concluded the scheme would greatly enhance and improve the current site, utilising a brown field site to generate employment and housing, including affordable housing. Accordingly the appeal was allowed subject to a number of conditions.

Costs: The appellant made an application for costs on the basis that the Council's reasons for refusal were imprecise and due to the Council withdrawing a number of the reasons for refusal at a late stage in the appeal proceedings. The application failed.

Implications: This decision highlights the fact that the Council currently has no adopted or saved policies which support the retention of employment floorspace on a 'no net loss' basis. The weight that could be given to the emerging LDF policies at the time of this inquiry was limited.

11. Site Address: Rear of 15-21 Arcola Street, London E8 2DJ

Application and Appeal Reference: 2007/1180 & APP/U5360/A/08/2067580

Inspectors Ruling: DISMISSED

Development Description & Type of Appeal: Hearing planning appeal against the Council's refusal of planning permission for the demolition of a single storey office building and the erection of a four storey live/work development.

Key Policies/ Material Considerations: UDP Policy EQ1; London Plan Policy 3B.1

Inspector Considerations and Key Issues: The effect of the proposal on employment floorspace provision in the borough; as well as the effect of the proposal on the living conditions of neighbours.

Brief Assessment: The Inspector noted that the site was not within a Defined Employment Area but that it was intended to become a Priority Employment Area as part of the proposed Core Strategy. The Inspector further noted that the findings of the Atkins Report regarding matters such as vacancy rates did not seem wholly in line with those of the London Office Policy Review. The Council pointed out the difficulties that can ensue from monitoring live/work units to ensure that the 'work' element of the use is not abandoned. The Inspector acknowledged that there can be difficulties with monitoring live/work units and noted that he had some concerns over the lack of division of the proposed floorspace of the units into living and working areas. However he considered that such concerns could be addressed via conditions, and provided such conditions were enforced the employment floorspace on the site would in fact increase. Accordingly the Inspector concluded that the proposal would not prejudice employment opportunities in the area. However at the hearing and subsequent site visit it was established that the proposed extension would be built just 1.5m from an adjoining building which had received planning permission but which had not yet been constructed. Two bedroom windows of the approved scheme would directly face the wall of the appeal building at a distance of just 1.5m. The Inspector concluded that the appeal scheme would have an unacceptable effect on these windows in terms of the living conditions of adjacent occupiers. On this basis the appeal was dismissed.

Costs: The appellant applied for costs on the basis that the Council had not properly considered the effects of the proposed development on the next door approved scheme. The Council's response was that the file had been lost and therefore it had not been possible to look at the plans to assess any impact. The application failed.

Implications: No new implications

12. Site Address: 16 Andre Street, London E8 2AA

Application and Appeal Reference: 2007/2583 & APP/U5360/A/08/2081939

Inspectors Ruling: DISMISSED

Development Description & Type of Appeal: Written representations planning appeal against the Council's refusal of retrospective planning permission for the continued use of the premises as a church.

Key Policies/ Material Considerations: UDP Policies EQ1, EQ40 and E3.

Inspector Considerations and Key Issues: The effect of the change of use on the supply of employment floorspace; and the implications for local resident's living conditions.

Brief Assessment: The Inspector accepted that the proposal would result in a loss of employment floor space as no marketing evidence was provided by the appellants to show that the property was no longer viable for employment uses. The Inspector did not accept the Council's argument that the proposal would have an adverse effect on residents along Amhurst Road due to noise and disturbance. He considered that conditions could be imposed to minimise any impact, such as restricted hours of use. However due to the loss of employment floorspace the appeal was dismissed.

Implications: No new implications

13. Site Address: 32 Shoreditch High Street, London E1 6PG

Application and Appeal Reference: 2008/1089 & APP/U5360/H/08/2083383

Inspectors Ruling: allowed

Development Description & Type of Appeal: Hearing advertisement appeal against the Council's refusal to grant express consent for an open weave mesh display.

Key Policies/ Material Considerations: Advertisement Regulations 2007

Inspector Considerations and Key Issues: The effect of the proposed display on the amenity of the area.

Brief Assessment: The Council noted its concern about the impact of the proposal on the adjacent Shoreditch High Street Conservation Area and the forecourt wall and gates of the Bishopsgate Goodsynd, which are listed buildings. The Inspector did not consider that the advertisement mesh would be harmful as it added visual interest and would only be in place for a limited period of one year. Accordingly the appeal was allowed.

Implications: The appellant was required to obtain separate permission from Transport for London for a structure over the highway. Earlier this year it emerged that TfL had rejected an application for the advertisement on the mesh. Accordingly in the end only plain mesh was erected.

Delegated Decisions

Dated 01/02/2009 to 31/05/2009

Total No. Applications: 574

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
BW (D) App No: 2008/0954 Registered: 06/05/2008 Address: 3 Gloucester Drive London N4 2LE	Conversion of existing ground floor flat and excavation of basement with rear extensions at basement and ground floor to create 2 self contained flats comprising (1 x 2 bed flat and 1 x 1 bed flat), together with the provision of new pedestrian gates onto Adolphus Road and entrance with glass canopy; creation of two terraces at first floor level with railings and alterations to first floor rear doors to terrace and the erection of a second floor rear extension with a roof terrace.	Decision Date: 09/04/09 Decision: Approved	Agent: SLLB Architects Ltd. Tel: 020 7372 2888 Officer: Noel Kelly	Applicant: Mr Shane Perkins Tel: 020 7372 2888
App No: 2008/1722 Registered: 07/14/2008 Address: 39 Portland Rise London N4 2PT	Existing use of the property as four self-contained flat.	Decision Date: 31/03/09 Decision: Approved	Agent: Bob Trimble Architects Tel: 020 8538 9303 Officer: Yousef Bahadur	Applicant: Mr Nicholas Maggiulli Tel:
App No: 2008/2018 Registered: 01/13/2009 Address: 420-424 Seven Sisters Road London N4 2LX	Demolition of existing buildings and erection of a six-storey building for use as a hostel (use class sui generis) with associated parking and refuse storage.	Decision Date: 02/04/09 Decision: Refused	Agent: Papa Architects Ltd Tel: 020 8348 8411 Officer: Rokos Frangos	Applicant: Lets Buy Limited Tel: 020 8482 5511

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2358 Registered: 10/02/2008 Address: 350-356 Seven Sisters Road London N4 2PG	Submission of details for the discharge of condition 2 (details and samples of external surfaces) of appeal decision App/U5360/A/00/1046491	Decision Date: 02/04/09 Decision: Approved	Agent: Mr Mandip S Tel: 0207 801 2147 Officer: John Kaimakamis	Applicant: TopClass Investments Ltd Tel:
App No: 2008/2804 Registered: 12/18/2008 Address: 372-374 Seven Sisters Road London N4 2PG	Erection of a side extension at first and second floor level to existing hotel to provide 4 additional bedrooms.	Decision Date: 06/02/09 Decision: Approved	Agent: ASW Ltd Tel: 0208 882 9127 Officer: Noel Kelly	Applicant: Mr Antonakis Chrysostomou Tel:
App No: 2008/2931 Registered: 12/11/2008 Address: 93 Blackstock Road London N4 2JW	Conversion of single dwelling house to create three self-contained flats (comprising 1 x 3 bedroom flat and 2 x 1 bedroom flats) together with the erection of a ground and first floor rear extension and alterations to the rear elevation including installation of patio doors, new windows and external stair case to rear patio/garden area	Decision Date: 11/05/09 Decision: Approved	Agent: Mr Collins Tel: 0208 440 5038 Officer: Ly Mach	Applicant: Mr & Mrs Lindsay Tel:
App No: 2008/3146 Registered: 01/13/2009 Address: 38 Gloucester Drive London N4 2LN	Excavation of front to provide for lightwell, new windows and conversion of basement to provide 1x 2 bedroom self contained flat	Decision Date: 19/02/09 Decision: Approved	Agent: MD Designs Tel: 01992630520 Officer: Ly Mach	Applicant: Mr Andrew Koumi Tel:
App No: 2009/0022 Registered: 01/22/2009 Address: 33 Blackstock Road London N4 2JF	Change of use of 1st to 3rd floors from ancillary office (B1) to residential (C3) and conversion to create 1x1 bedroom and 1 x 2 bedrooms flats with construction of rear dormer and first floor rear extension.	Decision Date: 17/03/09 Decision: Refused	Agent: ASBC (London) Ltd Tel: 020 7345 5166 Officer: Ly Mach	Applicant: Mr Vipinchandra P Patel Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0177 Registered: 02/23/2009 Address: Post Office Counters Ltd, Finsbury Park Post Office, 290 Seven Sisters Road London N4 2AB	Installation of an ATM to existing shop front.	Decision Date: 09/04/09 Decision: Approved	Agent: BP & H Services Ltd Tel: 0118 976 215 Officer: Megan Fletcher	Applicant: Post Office Ltd Tel:
App No: 2009/0299 Registered: 02/17/2009 Address: 48 Wilberforce Road, London, N4 2SR	Retention of property as 3 self-contained flats; alterations to existing rear extension to provide a new balcony with railings at first floor level , with associated french doors; erection of a first floor rear extension with balcony and railings above.	Decision Date: 02/04/09 Decision: Refused	Agent: Mr Alan Jeffreys Tel: 07795 486 755 Officer: Tyler Sharratt	Applicant: Mr Alan Jeffreys Tel: 07795 486 755
App No: 2009/0324 Registered: 02/20/2009 Address: Rear of 294-296 Seven Sisters Road London N4 2AA	Approval of details pursuant to condition 2 (position and screening of roof terraces) and condition 1 (gates and garage door details; elevational details of bin storage) attached to approval reference 2004/0786 dated 7th February 2008.	Decision Date: 06/04/09 Decision: Approved	Agent: Wallbank Associates Tel: 0207 700 2888 Officer: Ly Mach	Applicant: Wall Bank Associates Tel:
App No: 2009/0400 Registered: 03/19/2009 Address: 33 Portland Rise, London, N4 2PT	Conversion of basement to create 1 x 2 bed self contained flat and associated excavation.	Decision Date: 06/05/09 Decision: Approved	Agent: Mr Philip Spensley Tel: 07810790571 Officer: Noel Kelly	Applicant: Mr Philip Spensley Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0407 Erection of a single storey ground floor rear extension. **Decision Date:** 05/05/09 **Agent:** MS Laura Muner **Applicant:** Mr Francesco Lodolo
Registered: 03/16/2009 **Decision:** Approved **Tel:** **Tel:** 0207 690 3007
Address: (Flat 1) 24 Princess Crescent London N4 2HJ **Officer:** Evie Learman

App No: 2009/0496 Approval of details pursuant to condition 3 (details to be approved) of planning permission 2008/0200 dated 16/04/2008. **Decision Date:** 23/04/09 **Agent:** Stamatis Zografos **Applicant:** Stamatis Zografos
Registered: 03/10/2009 **Decision:** Approved **Tel:** **Tel:**
Address: Flat B Tremere, Alexandra Grove, London, N4 2LG **Officer:** Graham Callam

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App No: 2009/0737 Erection of a part one, part two storey rear extension to include a roof terrace at first floor level; alteration to enlarge existing windows at third storey level. **Decision Date:** 27/05/09 **Agent:** Ms Philippa Jones **Applicant:** Mrs Sau Li
Registered: 04/08/2009 **Decision:** Refused **Tel:** 0207 281 7595 **Tel:** 0207 226 6415
Address: 51 Blackstock Road London N4 2JF **Officer:** Graham Callam

CAZ

App No: 2007/3126 Approval of details pursuant to condition 5 (play equipment) attached to approval 2003/2287. **Decision Date:** 12/02/09 **Agent:** ECD Architects **Applicant:** ECD Architects
Registered: 02/01/2008 **Decision:** Approved **Tel:** 0207 939 7500 **Tel:**
Address: 67 - 87 George Downing Estate (off Cazenove Road & Alkham Road) Stoke Newington London N16 6BH **Officer:** Benjamin Dixon

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2007/3132 Registered: 12/17/2007 Address: 67 - 87 George Downing Estate (off Cazenove Road & Alkham Road) Stoke Newington London N16 6BH	Approval of details pursuant to condition 4 (boundary treatment) attached to approval 2003/2287.	Decision Date: 06/04/09 Decision: Approved	Agent: ECD Architects Tel: 0207 939 7500 Officer: Russell Smith	Applicant: ECD Architects Tel:
App No: 2008/2716 Registered: 01/08/2009 Address: 4c Oldhill Street London N16 6LB	Existing use of the basement as a self-contained flat.	Decision Date: 11/02/09 Decision: Refused	Agent: Sokatali Maljee Tel: 02088802626 Officer: Graham Callam	Applicant: Sokatali Maljee Tel: 02088802626
App No: 2008/2879 Registered: 01/13/2009 Address: 2 Stamford Hill London N16 6XZ	Erection of second floor and third floor rear and front extensions and change of use of upper floors from (B1) offices to residential (C3) providing 7 self-contained flats (comprising 5 x 1 bed flats and 2 x 3 bed flats)	Decision Date: 18/02/09 Decision: Refused	Agent: John Stebbing Architect Tel: 01284704546 Officer: Caroline Ozor	Applicant: Mr SBE Berger Tel:
App No: 2008/2905 Registered: 12/30/2008 Address: 1-20 Woodfield House Rossington Street Upper Clapton London E5 8SX	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 11/02/09 Decision: Approved	Agent: Sovereign Group Tel: Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3059 Registered: 12/29/2008 Address: 168 &170 Osbaldeston Road, LONDON N16 6NJ	Extension of ground, first and second floor rear extensions together with rear roof dormers and the installation of front and rear roof lights to the roof slopes.	Decision Date: 12/02/09 Decision: Approved	Agent: John Stebbing Architect Tel: 01284704546 Officer: Graham Callam	Applicant: Mr E Bindiger Tel:
App No: 2008/3105 Registered: 01/08/2009 Address: 83-129 Chardmore Road, London N16 6JB	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 11/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 5000
App No: 2009/0018 Registered: 01/27/2009 Address: 32 Alkham Road London N16 7AA	Retention of replacement of windows in the rear elevation with timber windows.	Decision Date: 23/03/09 Decision: UNCON	Agent: VANOS Architecture Tel: Officer: Graham Callam	Applicant: Mr D S Lohia Tel:
App No: 2009/0089 Registered: 01/21/2009 Address: 129 Kyverdale Road Stamford Hill London N16 6PS	Erection of a single storey ground floor rear extension.	Decision Date: 11/03/09 Decision: Approved	Agent: Mrs Judith Steiner Tel: 02088067405 Officer: Graham Callam	Applicant: Mrs Judith Steiner Tel: 02088067405
App No: 2009/0091 Registered: 02/09/2009 Address: 62 Durlston Road London E5	Details submitted pursuant to condition 1 (Noise report) of planning permission ref: 2007/2294 dated 1 November 2007.	Decision Date: 27/03/09 Decision: Refused	Agent: Charles Harris & Partners Tel: 0208 493 8886 Officer: Tyler Sharratt	Applicant: Charles Harris & Partners Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0265 Erection of a new front porch; erection of a single storey ground floor rear extension; erection of a first floor side extension; formation of new door openings in the side elevation with the erection of a side canopy.

Registered: 03/04/2009

Address: 38 Gilda Crescent London N16 6JP

Decision Date: 23/04/09

Decision: Refused

Agent: John Stebbing Architect **Applicant:** Mr Oscar Low

Tel: 01284704546 **Tel:**

Officer: Graham Callam

App No: 2009/0267 No.36 - Erection of a front porch; erection of a first floor side extension; erection of a front, rear and side roof extension.

Registered: 02/13/2009

Address: 36 & 38 Gilda Crescent London N16 6JP

Decision Date: 31/03/09

Decision: Refused

Agent: John Stebbing Architect **Applicant:** Mr Oscar Low

Tel: 01284704546 **Tel:**

Officer: Graham Callam

App No: 2009/0293 Erection of single storey rear extension to existing Dental Surgery (D1).

Registered: 02/11/2009

Address: Dental Surgery 77 Upper Clapton Road London E5 9BU

Decision Date: 02/04/09

Decision: Approved

Agent: Mistry Design **Applicant:** Dr. Sunil Dophia

Tel: 0208 864 8885 **Tel:** 0208 806 0106

Officer: Noel Kelly

App No: 2009/0318 Erection of a single storey ground floor rear extension.

Registered: 02/24/2009

Address: 52 Cazenove Road, London, N16 6BJ

Decision Date: 07/04/09

Decision: Refused

Agent: Mrs Calvin Grant **Applicant:** Mrs Kimat Singh

Tel: **Tel:**

Officer: Tyler Sharratt

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0410 Registered: 02/23/2009 Address: 45-49 Kyverdale Road London N16 7AB	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 8358
App No: 2009/0415 Registered: 02/23/2009 Address: 67-71 Darenth Road London N16 6ES	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hacknet Housing and Regeneration Tel: 0208 356 5000
App No: 2009/0428 Registered: 03/25/2009 Address: Clapton Library Northwold Road London E5 8RA	Discharge of condition 3 (details and samples of materials to be used on building, boundary walls and ground surfaces) and condition 4 (detailed drawings showing matters listed 1-6), of Planning Consent 2008/2525, granted 03/03/09.	Decision Date: 29/04/09 Decision: Approved	Agent: Shepheard Epstein Hunter. Tel: 0208 841 7500 Officer: Colin Leadbeatter	Applicant: Shepheard Epstein Hunter Tel: 0208 841 7500
App No: 2009/0439 Registered: 04/01/2009 Address: 21 Lynmouth Road London N16 6XL	Change of Use of ground floor workshop (B1) and first floor residential units to provide ground floor assembly hall and five classrooms at first floor level (D1 - Education).	Decision Date: 20/05/09 Decision: Approved	Agent: Midas Planning Tel: Officer: Noel Kelly	Applicant: Mr S Malji Tel:
App No: 2009/0493 Registered: 03/18/2009 Address: Clapton Library Northwold Road London E5 8RA	Discharge of Condition 3(joinery) 7(details) of Listed Building Consent 2008/2525.	Decision Date: 29/04/09 Decision: Approved	Agent: Shepheard Epstein Hunter Tel: 0207 841 7500 Officer: Colin Leadbeatter	Applicant: Shepheard Epstein Hunter Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0498 Retention of existing ground and first floor rear extensions.
Registered: 03/11/2009
Address: 39 Firsby Road London N16 6PX

Decision Date: 27/04/09
Decision: Approved

Agent: John Stebbing Architect **Applicant:** Mr M Leibovitz
Tel: 01284 704 546
Officer: Graham Callam

App No: 2009/0502 Erection of an additional storey above the existing two storey rear addition to No. 37 & No.39.
Registered: 03/05/2009
Address: 37 & 39 Firsby Road London N16 6PX

Decision Date: 27/04/09
Decision: Approved

Agent: John Stebbing Architect **Applicant:** Mr Y Lamda
Tel: 01284 704 546 **Tel:** 0208 806 4208
Officer: Graham Callam

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App No: 2009/0562 Retention of self-contained flat at basement level and access stairs to front lightwell; Replacement of block-work wall surrounding rear lightwell with obscure glazed balustrade.
Registered: 03/16/2009
Address: 17 Filey Avenue London N16 6JL

Decision Date: 05/05/09
Decision: Approved

Agent: Tal Arc Ltd. **Applicant:** Mr B. Gratt
Tel: 020 8349 4338 **Tel:**
Officer: Graham Callam

App No: 2009/0711 Proposed erection of a rear roof extension to the main roof slope and roof extensions to the existing two storey rear addition.
Registered: 04/07/2009
Address: 53 Darenth Road London N16 6ES

Decision Date: 27/05/09
Decision: Refused

Agent: Churley And Associates **Applicant:** Mrs G Gluck
Tel: 0208 518 5100 **Tel:** 0208 442 9574
Officer: Evie Learman

App No: 2009/0729 Erection of a two storey rear extension at basement and ground floor levels.
Registered: 04/02/2009
Address: 29A Alkham Road London N16 7AA

Decision Date: 26/05/09
Decision: Refused

Agent: Ali Fajr **Applicant:** Mr Munawar
Tel: 0208 279 5557 **Tel:**
Officer: Yousef Bahadur

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0775 Registered: 04/27/2009 Address: 67 - 87 George Downing Est Cazenove Road London N16 6BH	Application for discharge of Condition14(Landscape Management Plan) of planning permission 2003/2287	Decision Date: 29/05/09 Decision: Approved	Agent: ECD Architects Limited Tel: 020 7939 7500 Officer: Russell Smith	Applicant: ECD Architects Limited. Tel:
App No: 2008/1859 Registered: 09/11/2008 Address: 154 Albion Road London N16 9JS	Erection of a two storey with basement house and first floor roof terrace.	Decision Date: 24/02/09 Decision: Approved	Agent: Mark Guard Ltd Tel: 0207 380 1190 Officer: Bernard Haasbroek	Applicant: Mr & Mrs Barry and Lola Mcilheney and Tel:
App No: 2008/1860 Registered: 09/02/2008 Address: 154 Albion Road, London N16 9JS	Demolition of a single storey garage and the erection of a two storey with basement house with first floor roof terrace.	Decision Date: 24/02/09 Decision: Approved	Agent: Mark Guard ltd Tel: 0207 380 1190 Officer: Bernard Haasbroek	Applicant: Mr & Mrs Barry and Lola Mcilheney and Tel:
App No: 2008/2353 Registered: 09/22/2008 Address: 161 Stoke Newington Church Street London N16 0UH	Retention of a side boundary wall with two doors fronting Woodlea Road.	Decision Date: 31/03/09 Decision: Approved	Agent: Mr Alexander Ross Tel: Officer: Yousef Bahadur	Applicant: Mr Alexander Ross Tel:

CD

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<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2809 Registered: 12/10/2008 Address: 84A Milton Grove London N16 8QY	Creation of a front lightwell, erection of a ground floor rear extension and erection of a second floor extension to create an additional storey.	Decision Date: 04/02/09 Decision: Approved	Agent: Mark Horner, Chartered Architect Tel: 01580 713970 Officer: Graham Callam	Applicant: Mr Andrew Stylianou Tel: 08707 777205
App No: 2008/2837 Registered: 12/17/2008 Address: 122 Petherton Road, London N5 2RT	Change of use for the rear part of basement and ground floor from office (B1) to residential (C3), erection of a part single storey and part three storey rear extension and conversion to create 3x2 and 1x1 bed flats at rear and upper floors, together with alterations to the shop front and the rear elevation and associated landscaping.	Decision Date: 03/02/09 Decision: Approved	Agent: Norton Mayfield Architects LLP Tel: 0114 221 0223 Officer: Michael Garvey	Applicant: Parkdene Properties Ltd Tel:
App No: 2008/2841 Registered: 01/08/2009 Address: 8 Red Square Carysfort Road London N16 9AB	Existing use of the property as a self contained flat.	Decision Date: 11/02/09 Decision: Approved	Agent: Miss Melissa Pordage Tel: Officer: Graham Callam	Applicant: Miss Melissa Pordage Tel:
App No: 2008/2852 Registered: 12/10/2008 Address: 34 Lidfield Road, LONDON N16 9LX	Erection of a roof extension to provide an additional storey.	Decision Date: 16/03/09 Decision: Approved	Agent: Steve Moore Tel: 01202676783 Officer: Evie Learman	Applicant: Mr Patrick Dickie Tel:
App No: 2008/2891 Registered: 12/10/2008 Address: 115a Albion Road London N16 9PL	Erection of a single storey rear extension together with demolition of existing small brick built enclosure.	Decision Date: 31/03/09 Decision: Approved	Agent: APT Architecture Tel: 7726869772 Officer: Yousef Bahadur	Applicant: Mr Paul Lonergan Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/2965 Erection of a roof extension to create an additional
Registered: 12/22/2008 storey.
Address: 54 Harcombe Road
London
N16 0SA

Decision Date: 11/02/09
Decision: Approved

Agent: Randall Shaw
Billingham
Tel:
Officer: Graham Callam

Applicant: Ms Kim Randall
Tel: 72547472

App No: 2008/3033 Installation of new fascia board and open grille roller
shutter to shop front.
Registered: 03/11/2009
Address: 115 Stoke Newington
Church Street
London
N16 0UD

Decision Date: 05/05/09
Decision: Refused

Agent: Golden Dragon
Tel: 02072544682
Officer: Graham Callam

Applicant: Mr Moon Fai Wong
Tel: 02072544682

App No: 2008/3034 Listed building consent for installation of a new fascia
board and open grille roller shutter to shop front.
Registered: 03/11/2009
Address: 115 Stoke Newington
Church Street London
N16 0UD

Decision Date: 05/05/09
Decision: Refused

Agent: Golden Dragon
Tel: 02072544682
Officer: Graham Callam

Applicant: Mr Moon Fai Wong
Tel: 02072544682

App No: 2008/3062 Erection of a single storey ground floor rear extension;
alterations at ground floor level
Registered: 01/09/2009
Address: 95 Winston Road
London
N16 9LN

Decision Date: 24/02/09
Decision: Approved

Agent: Mr Jonathan Shattock
Tel: 020 8809 4424
Officer: Yousef Bahadur

Applicant: Mr David Smith
Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3089 Registered: 01/08/2009 Address: 25 Winston Road - London - N16 9LU	Erection of a single storey roof extension and installation of a window in the rear elevation at second floor level.	Decision Date: 11/02/09 Decision: Approved	Agent: KCA Architects Tel: 3360999 Officer: Graham Callam	Applicant: Mr Tracey Tel:
App No: 2008/3122 Registered: 01/29/2009 Address: 113 Stoke Newington Church Street London N16 0UD	Change of use from A1 to A3 at basement and ground floor levels with opening hours between 8am and 12:30pm Monday - Saturday, together with the installation of an extract flue to the rear.	Decision Date: 10/03/09 Decision: Refused	Agent: David Barnard Tel: 02082451583 Officer: Ly Mach	Applicant: Errol Adem Tel:
App No: 2008/3148 Registered: 02/11/2009 Address: 134 Petherton Road London N5 2RT	Use of vacant premises as A2 use with opening hours 8am to 7pm (Mon-Sat) and 9am to 1pm (Sundays).	Decision Date: 01/04/09 Decision: Approved	Agent: Holloway Iliffe & Mitchell Tel: 02392377800 Officer: Ly Mach	Applicant: Holloway Iliffe & Mitchell Tel: 02392377800
App No: 2008/3170 Registered: 01/30/2009 Address: 75 Kynaston Road London N16 0EB	Erection of a single storey ground floor rear extension and a mansard roof extension.	Decision Date: 19/03/09 Decision: Approved	Agent: Hurst Associates Tel: 01708-780714 Officer: Graham Callam	Applicant: Mr Israel Moss Tel:
App No: 2009/0001 Registered: 04/16/2009 Address: 27 Sandbrook Road, London, N16 0SH	Erection of a mansard roof extension.	Decision Date: 28/05/09 Decision: Approved	Agent: Hurst Associates Tel: 01708-780714 Officer: Evie Learman	Applicant: Mr Jason Arden Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0037 Registered: 01/20/2009 Address: 139 Stoke Newington Church Street, London, N16 0UH	Installation of a 'Halo' illuminated fascia sign and an externally illuminated projecting sign.	Decision Date: 05/03/09 Decision: Approved	Agent: Design LSM Tel: Officer: Megan Fletcher	Applicant: Mr Stephan Duplessis Tel: 0208 246 5361
App No: 2009/0044 Registered: 02/03/2009 Address: 53C Nevill Road, Stoke Newington London N16 8SW	Erection of a mansard roof extension including an inset rear roof terrace.	Decision Date: 26/03/09 Decision: Refused	Agent: Mark Hale Associates Tel: 01245 265 055 Officer: Graham Callam	Applicant: Mr Neai Purvis Tel: 0207 354 4170
App No: 2009/0132 Registered: 01/28/2009 Address: 6 Albion Parade London N16 9LD	Erection of a single storey rear extension at second floor level.	Decision Date: 17/03/09 Decision: Refused	Agent: Mr Michael Pennie Tel: Officer: Tyler Sharratt	Applicant: Mr Dave Dayes Tel:
App No: 2009/0143 Registered: 02/06/2009 Address: 110 Petherton Road London N5 2RT	Change of use of ground and basement floors from a shop (A1 retail use) to a 3 x bedroom self-contained flat including alterations to the existing shop frontage and reconfiguration of the rear of the building to provide access to the garden.	Decision Date: 19/03/09 Decision: Approved	Agent: Lipton Plant Architects Tel: 0207 288 1333 Officer: Ly Mach	Applicant: Lisa Napolitano Tel:
App No: 2009/0185 Registered: 02/04/2009 Address: 22 Oldfield Road, London, N16 0RS	Erection of a mansard roof extension and a single storey ground floor rear extension.	Decision Date: 23/03/09 Decision: Approved	Agent: Paul Archer Design Tel: 0207 251 6162 Officer: Yousef Bahadur	Applicant: Mr Paul Archer Tel: 0207 251 6162

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0249 Registered: 02/06/2009 Address: Stoke Newington School Clissold Road London N16 9EY	Submission of details pursuant to condition 11 (secure cycle parking) of planning permission ref. 2007/2939.	Decision Date: 09/04/09 Decision: Approved	Agent: Jestico & Whiles Tel: 0207 380 0382 Officer: Rokos Frangos	Applicant: Jestico & Whiles Tel: 0207 380 0382
App No: 2009/0257 Registered: 02/26/2009 Address: 110 Milton Grove, London N16 8QY	Erection of an additional floor at roof level.	Decision Date: 09/04/09 Decision: Approved	Agent: Carolyn Squire Diparch RIBA Tel: 0207 254 0624 Officer: Graham Callam	Applicant: Mr Huw Martha Leigh Tel:
App No: 2009/0263 Registered: 02/19/2009 Address: 5 Winston Road Stoke Newington London N16 9LU	Erection of a mansard roof.	Decision Date: 08/04/09 Decision: Approved	Agent: LBF Architects Tel: 02075362100 Officer: Evie Learman	Applicant: Mr Kevin Day Tel:
App No: 2009/0270 Registered: 02/11/2009 Address: 119 Stoke Newington Church Street London N16 0UD	Existing use of the ground floor and basement as class A3 use.	Decision Date: 31/03/09 Decision: Refused	Agent: Salt Evans LTD Tel: 0207 690 0330 Officer: Evie Learman	Applicant: Mrs Sonal Ved Tel: 020 7254 1741

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0290 Registered: 02/17/2009 Address: 56 Green Lanes London N16 9NH	Existing use of basement at No. 54 & 56 as part of restaurant (Class A3).	Decision Date: 06/04/09 Decision: Refused	Agent: Archipek Tel: Officer: Megan Fletcher	Applicant: Mr Cihan Cubuk Tel:
App No: 2009/0403 Registered: 02/23/2009 Address: 1-12 Athelstan House Londesborough Road London N16 8RW	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843850500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel:
App No: 2009/0486 Registered: 03/30/2009 Address: 84A Milton Grove London N16 8QY	Discharge of condition 1(modification to be approved) of planning permission ref: 2008/2809 dated 04/02/2009.	Decision Date: 20/05/09 Decision: Approved	Agent: Mark Horner, Chartered Architect Tel: 01580 713970 Officer: Graham Callam	Applicant: Mr Andrew Stylianou Tel: 08707 777205
App No: 2009/0540 Registered: 03/10/2009 Address: Flat 205A Stoke Newington Church Street London N16 9ES	works to sycamore in rear garden: reduced of all branches, left with main trunks.	Decision Date: 12/05/09 Decision: Approved	Agent: Alistair Taylor & Riccardo Llorente Tel: 020 7249 9094 Officer: Ginny Hemming	Applicant: Alistair Taylor & Riccardo Llorente Tel: 020 7249 9094
App No: 2009/0580 Registered: 03/26/2009 Address: Rear of 84 Milton Grove London N16 8QY	Erection of a pair of semi-detached, two storey plus basement, two bed houses.	Decision Date: 15/05/09 Decision: Refused	Agent: Barker Shorten Architects Tel: 020 7729 1077 Officer: Caroline Ozor	Applicant: Mr Spencer Simons Tel: 020 7033 0655

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0581	Erection of a mansard roof extension.	Decision Date: 06/05/09	Agent: Mr Lee Stone	Applicant: Ms Lidia Gwyther
Registered: 03/18/2009			Tel: 0208 506 1024	Tel: 0207 254 0816
Address: 14 Harcombe Road London N16 0SA		Decision: Approved	Officer: Graham Callam	

App No: 2009/0614	Erection of mansard roof.	Decision Date: 06/05/09	Agent: Mr Lee Stone	Applicant: Mr Ben Ryan
Registered: 04/07/2009			Tel: 0800 970 0787	Tel: 02072490129
Address: 12 Harcombe Road, Stoke Newington, London, N16 0SA		Decision: Approved	Officer: Graham Callam	

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App No: 2009/0662	Erection of a roof extension to create an additional storey together with enlargement of an existing single storey rear addition	Decision Date: 27/05/09	Agent: Philips Livings Ltd	Applicant: Mr K Sheedy
Registered: 04/15/2009			Tel: 01279 817 575	Tel:
Address: 20 Harcombe Road Stoke Newington London N16 0SA		Decision: Approved	Officer: Graham Callam	

App No: 2009/0716	Erection of a single storey ground floor side/rear extension.	Decision Date: 22/05/09	Agent: Colin Southgate	Applicant: Mr David Gaunt
Registered: 04/07/2009			Tel: 020 8508 1095	Tel:
Address: 79 Kynaston Road London N16 0EB		Decision: Refused	Officer: Evie Learman	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0718 Registered: 04/07/2009 Address: 79 Kynaston Road London N16 0EB	Erection of a mansard roof	Decision Date: 22/05/09 Decision: Approved	Agent: Colin Southgate Tel: 020 8508 1095 Officer: Evie Learman	Applicant: Mr David Gaunt Tel:
App No: 2009/0856 Registered: 04/24/2009 Address: 31 Harcombe Road London N16 0RX	Discharge of Condition 2 (materials) of planning permission ref: APP/U5360/A/07/2056484.	Decision Date: 12/05/09 Decision: Approved	Agent: Mass Architecture Tel: 020 7 275 9753 Officer: Tyler Sharratt	Applicant: Ms Rebecca Adams Tel:
App No: 2006/1353 Registered: 08/07/2006 Address: Rear of 10 Lower Clapton Road/17 Rowe Lane London E9 6EL	Approval of details pursuant to conditions 2 (samples/ details of materials to be used on the building including boundary walls and ground surfaces) and 3 (windows/ glazing bars/doors, zinc plank roof details, timber cladding and screens and sliding gates) of listed building consent 2004/1055 dated 23/03/2005.	Decision Date: 09/02/09 Decision: Approved	Agent: Marcus Lee Tel: 020 7354 2825 Officer: Michael Garvey	Applicant: Marcus Lee Tel: 020 7354 2825
App No: 2008/2180 Registered: 09/13/2008 Address: 27 Homerton High Street London E9 6JP	Change of use from restaurant (Class A3) to takeaway (Class A5) and extension of opening hours 11:00 - 01:00 hours Sunday to Friday and 11:00 - 02:00 on Saturdays.	Decision Date: 06/03/09 Decision: Approved	Agent: Enki Architectural Design Tel: Officer: Michael Garvey	Applicant: Mr Ahmet Akdogan Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2459 Registered: 12/10/2008 Address: Homerton University Hospital - Homerton Row - London - E9 6SR	Erection of a three storey extension (1346sqm) to create a perinatal unit with undercroft car parking (49 spaces) and linked walkways to the existing maternity unit at first floor.	Decision Date: 04/02/09 Decision: Approved	Agent: Broadway Malyan Tel: 01932 845 599 Officer: Russell Smith	Applicant: Homerton University Hospital NHS Trust Tel: 0208 510 7928
App No: 2008/2495 Registered: 10/30/2008 Address: 139-143 Homerton High Street London E9 6AS	Retention of roof over the rear yard of 139 -143 Homerton High Street with security shutters.	Decision Date: 31/03/09 Decision: UNCON	Agent: Mr Alex Baldwin Tel: 01449741227 Officer: Graham Callam	Applicant: Messrs Gandesha Tel:
App No: 2008/2712 Registered: 01/16/2009 Address: 263 Well Street London E9 6RG	Erection of new mansard roof extension, two storey rear extension, installation of new shop front and conversion of the upper floors to form 2 self-contained flats (1x1 bed flat and a studio flat) along with rear balcony at first floor.	Decision Date: 23/02/09 Decision: Refused	Agent: Hurst Associates Tel: 01708 780714 Officer: Colin Leadbeatter	Applicant: Mr JASON CATO Tel:
App No: 2008/2810 Registered: 01/16/2009 Address: 153 Glyn Road London E5 0JT	Conversion of a single dwelling house to create 2 self-contained residential units (comprising 1x3 bedroom maisonette and 1x2 bedroom masionette) together with the erection of a second floor mansard roof extension and alteration to the side elevation and front boundary treatment.	Decision Date: 09/03/09 Decision: Refused	Agent: Mr David West Tel: 0208 558 8558 Officer: Michael Garvey	Applicant: Mr Paul Callaghan Tel:
App No: 2008/2873 Registered: 12/12/2008 Address: 3 Sutton Place London E9 6EH	Alterations including the erection of a single storey rear extension at lower ground floor level.	Decision Date: 03/02/09 Decision: Approved	Agent: Ms Marta Nowicka Tel: 02072501172 Officer: Graham Callam	Applicant: Mr Peter Peri Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/2888	Internal and external alterations including the erection of a single storey rear extension at lower ground floor level and reconfiguration of internal layout.	Decision Date: 03/02/09	Agent: Ms Marta Nowicka	Applicant: Mr Peter Peri
Registered: 12/12/2008		Decision: Approved	Tel: 02072501172	Tel:
Address: 3 Sutton Place London E9 6EH			Officer: Graham Callam	

App No: 2008/2958	Approval of details pursuant to condition 8 (details of door) of planning permission 2007/1449 dated 31/7/07.	Decision Date: 09/02/09	Agent: KCA Architects Ltd	Applicant: L B Hackney
Registered: 12/18/2008		Decision: Approved	Tel: 0207 336 0999	Tel: 0208 356 3000
Address: 280 Mare Street London E8 1EA			Officer: Evie Learman	

App No: 2008/2999	Submission of details pursuant to condition 3 (materials) condition 4 (details of doors and windows, boundary walls and refuse store), condition 6 (landscaping) Condition 8 (arboricultural method statement), condition 11 (archaeological study), condition 13 (dustbin enclosures) and condition 14 (details of green roofs and cycle spaces) attached to planning reference 2007/2641 approved 29/10/2008.Mr David Cox	Decision Date: 27/03/09	Agent: PKS Architects	Applicant: Mr Lee Wood
Registered: 02/04/2009		Decision: Approved	Tel: 02074244800	Tel: 01992535118
Address: 23-25 Sutton Place London E9 6EH			Officer: Noel Kelly	

App No: 2008/3118	Discharge of condition 1 (remedial works) pursuant to planning application ref: 2008/2113 dated 01/12/2008.	Decision Date: 13/02/09	Agent: Eight Acres	Applicant: Eight Acres
Registered: 01/07/2009		Decision: Approved	Tel:	Tel:
Address: 2 Median Road London E5 0PL			Officer: Evie Learman	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3154 Registered: 02/27/2009 Address: 133-141 Morning Lane, London E9 6LH	The erection of a 4-storey mixed use development comprising three (B1) units (174m2) at ground level and 8 residential units on upper levels comprising of 2x1, 2x2, 3x3 and 1x4 bedroom flats together with terraces and green roof.	Decision Date: 22/04/09 Decision: Refused	Agent: John Duane Architects Tel: 020 8525 9223 Officer: David Thompson	Applicant: DEG Services LTD Tel:
App No: 2009/0002 Registered: 01/13/2009 Address: 21 Homerton High Street London E9 6JP	Conversion of roof top maisonette to provide 2 x 1 bedroom self-contained flats.	Decision Date: 23/02/09 Decision: Approved	Agent: Ayo & Ayo Architects Tel: 07957 184947 Officer: David Thompson	Applicant: Tiuta Plc Tel:
App No: 2009/0076 Registered: 02/06/2009 Address: 5-13 Morning Lane London E9 6ND	Conversion of 3 retail units, and 1x A3 (restaurant) and 1xTakeaway unit (hot food takeaway) and change of use to 2 x large retail (A1 use) units, with ancillary shop accommodation at first floor level, alterations to shopfront and erection of an external staircase with balcony.	Decision Date: 14/05/09 Decision: Approved	Agent: John Duane Architects Tel: 07768953664 Officer: Michael Garvey	Applicant: E. Fox Ltd Tel:
App No: 2009/0078 Registered: 01/22/2009 Address: 107-117 Morning Lane London E9 6LH	4 Storey mixed use development to provide 4X Office Units on the ground floor (B1 Use) Two X 1 bed Units, Four x 2 Bed Units, Two x 3 bed Units and one x 4 bed unit with Balconies on the upper floors along with a green roof Terrace.	Decision Date: 12/03/09 Decision: Refused	Agent: John Duane Architects Tel: 07768 953 664 Officer: Michael Garvey	Applicant: DEG Services Ltd Tel:
App No: 2009/0253 Registered: 03/31/2009 Address: 140-142 Morning Lane London E9 6JD	Erection of two storey plus habitable roof to provide 2 retail units (Class A1) opening hours 08:00 - 20:00 Monday to Sunday at ground floor and 1 x 2 bed flat and 1 x 3 bed flat.	Decision Date: 14/05/09 Decision: Refused	Agent: Mr B Flanagan Tel: 01953 423 296 Officer: Michael Garvey	Applicant: Mr Singh Tel:

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details**

App No: 2009/0337	Retention of first floor rear extension and works to the Dunlace Road elevation; retention of second floor rear balustrade and access door relating to the use of the flat roof as a terrace	Decision Date: 06/05/09	Agent: Eight Acres	Applicant: Mr Mushaq Mohammad
Registered: 03/16/2009			Tel:	Tel:
Address: 34 Chatsworth Road London E5 0LP		Decision: Refused	Officer: Tyler Sharratt	
App No: 2009/0398	Change of use of ground floor from B1 to A1/A2 including minor external Alterations.	Decision Date: 29/04/09	Agent: GPAD - Ltd	Applicant: Datagrove Ltd
Registered: 03/04/2009			Tel: 0207 833 022	Tel:
Address: 1 Baltic Place Kingsland Road London N1 5AQ		Decision: Approved	Officer: Colin Leadbeatter	
App No: 2009/0399	Details of dustbin enclosures required by condition 5 of planning permission ref: 2006/1355 for change of use of part of the ground floor from Class A1 (Retail) to use class A2 (Financial and Professional Services) and subdivision of the remaining A1 floor space.	Decision Date: 09/04/09	Agent: Planning Potential	Applicant: Better
Registered: 03/19/2009			Tel: 0207 357 8000	Tel: 0207 357 8000
Address: Clarence House 2-4 Clarence Road London E5 5HR		Decision: Refused	Officer: David Thompson	
App No: 2009/0401	Retention of shop front to ground floor premises A2 (Financial and Professional Services) Unit 1.	Decision Date: 02/04/09	Agent: Planning Potential	Applicant: Better
Registered: 02/25/2009			Tel: 0207 357 8000	Tel: 0207 357 8000
Address: Clarence House 2-4 Clarence Road London E5 5HR		Decision: Approved	Officer: Michael Garvey	
App No: 2009/0420	Approval of details pursuant to condition 2 (details of proposed floor plan at first floor level) and condition 3 (materials) of planning permission ref 2008/0845 dated 27/05/2008	Decision Date: 15/04/09	Agent: Eclipse GB Ltd	Applicant: Mr Glenn Hopkins
Registered: 02/25/2009			Tel: 07710 514 506	Tel: 07710 514 506
Address: 221 Well Street London E9 6RG		Decision: Approved	Officer: Evie Learman	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0423 Registered: 02/23/2009 Address: 44 Clarence Mews London E5 8HL	Existing use of the property as a church (Class D1)	Decision Date: 15/04/09 Decision: Approved	Agent: Cherubim & Seraphim Church of Zion Tel: 0208 245 2850 Officer: Yousef Bahadur	Applicant: Cherubim & Seraphim Church of Tel:
App No: 2009/0447 Registered: 03/11/2009 Address: 11-19 Clarence Mews London E5 8HB	Removal of condition 4 (dustbin enclosures) and 5 (archaeological report) pursuant to planning permission ref. 2003/1904 granted 21/11/2003	Decision Date: 04/05/09 Decision: Refused	Agent: Al.Rasheed Dauda Architect Tel: 020 8257 8305 Officer: Graham Callam	Applicant: Clarence Estate Tel: 020 8257 8305
App No: 2009/0572 Registered: 03/13/2009 Address: 7 Clifden Road London E5 0LL	Conversion of a single dwelling house to create 2 self-contained flats, comprising 1x 3 bed flat and 1x1 bed flat, together with the erection of a single storey rear extension and associated alterations including the creation of front lightwell with railings and installation of new windows to the front, basement and side elevation and railings to enlarged rear lightwell.	Decision Date: 08/05/09 Decision: Approved	Agent: Unique Property Services Tel: 07985 505 338 Officer: Caroline Ozor	Applicant: Unique Property Services Tel: 07985 505 338
App No: 2009/0727 Registered: 04/02/2009 Address: St Pauls Church, Chelmer Road London E9 6AY	Remove existing roof tiles and lead; add battens and re-roof in tiles to match.	Decision Date: 26/05/09 Decision: Approved	Agent: Murray John Architects Tel: 020 7727 7551 Officer: Graham Callam	Applicant: Revd Bernard Akakpo Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2007/2803 Registered: 12/04/2008 Address: 11- 23 Downham Road London N1 5AA	Submission of details pursuant to condition 13 (implementation of recommendations of ecological appraisal) of planning permission ref: 2006/3381	Decision Date: 12/02/09 Decision: Approved	Agent: Yurky Cross Chartered Architects Tel: 020 7267 0481 Officer: Ian Bailey	Applicant: Yurky Cross Chartered Architects Tel: 020 7267 0481
App No: 2008/1846 Registered: 07/25/2008 Address: 2 Mill Row London N1 5RL	Demolition of existing dwelling and erection of 3 two bed town houses. Two stories at front, 3 stories at rear.	Decision Date: 13/05/09 Decision: Approved	Agent: . Tel: Officer: Noel Kelly	Applicant: Mr Spencer Martin Tel: 020 7729 7046
App No: 2008/2373 Registered: 10/10/2008 Address: 519-523 Kingsland Road London E8 4AR	Erection of infill third storey extension to form two x one-bedroom flats and the erection of a two storey rear extension to create a one bedroom single dwellinghouse.	Decision Date: 31/03/09 Decision: Approved	Agent: Kennedy Twaddle Architectural Design Tel: 0207 249 8995 Officer: Colin Leadbeatter	Applicant: Mr J Bellman Tel:
App No: 2008/2418 Registered: 09/26/2008 Address: 14-18 Southgate Road London N1 3JE	Details submitted pursuant to condition 9 (perforated Grille) of planning permission 2007/2396 dated 22 November 2007.	Decision Date: 05/02/09 Decision: UNCON	Agent: CgMs Tel: 0207 583 6767 Officer: David Thompson	Applicant: Tesco Store Limited Tel: 0207 583 6767
App No: 2008/2423 Registered: 10/30/2008 Address: 2 Mill Row London N1 5RL	Demolition of the existing dwelling.	Decision Date: 13/05/09 Decision: Approved	Agent: Mr Spencer Martin Tel: 77297046 Officer: Noel Kelly	Applicant: Mr Spencer Martin Tel: 77297046

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2570 Registered: 10/22/2008 Address: 8 Southgate Grove London N1 5BT	Erection of a single-storey ground floor rear extension, installation of a roof light, new door and a gate on the east elevation.	Decision Date: 31/03/09 Decision: Approved	Agent: Nissen Adams LLP Tel: 0207 633 0000 Officer: Yousef Bahadur	Applicant: Mr Jon O'Sullivan Tel:
App No: 2008/2812 Registered: 09/01/2009 Address: 15 Southgate Grove LONDON N1 5BP	Installation of New front gate to existing front boundary wall; installation of security grill to front elevation lower ground floor window.	Decision Date: 12/02/09 Decision: Approved	Agent: Tel: Officer: Megan Fletcher	Applicant: Mr Timothy Sholer Tel:
App No: 2008/2903 Registered: 12/30/2008 Address: 112 Culford Road, LONDON N1 4HN	Erection of lower ground floor rear extension.	Decision Date: 11/02/09 Decision: Approved	Agent: Easyplan limited Tel: 01926623117 Officer: Graham Callam	Applicant: Mr S Atureliya Tel:
App No: 2008/2910 Registered: 01/08/2009 Address: Land adjacent to 37 Enfield Road London N1 5ER	Erection of a four storey, two bedroom house with an integral garage and a roof terrace at the side of 37 Enfield Road.	Decision Date: 31/03/09 Decision: Approved	Agent: Azhar Architecture Tel: 02073578703 Officer: Colin Leadbeatter	Applicant: Mr Amar Hussain Tel: 02072414485
App No: 2008/3011 Registered: 12/12/2008 Address: 46 Ufton Road, London N1 5BX	Alterations to the rear windows at basement level and renewal of rear boundary fence.	Decision Date: 02/02/09 Decision: Approved	Agent: Peter Brades Architects Tel: 020 7226 3884 Officer: Evie Learman	Applicant: Dawn Blackwell, John Harris Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3038 Erection of two storey building to provide 4 B1 Units (business use)/B8 (storage and distribution use) units on land rear of 58-64 Southgate Road, alterations to existing access between 62 and 64, change of use of 58 Southgate Road from offices (B1) to dwelling house (C3 use) and erection of 2 storey building at 58A and 60A Southgate Road to provide 2 bedroom dwelling house.

Registered: 12/23/2008

Address: Rear of 58-64 & 58, 58A & 60A Southgate Road London N1 3JF

Decision Date: 13/05/09

Decision: Approved

Agent: Firstplan

Tel: 0207 031 8214

Officer: Michael Garvey

Applicant: Mr Edward Benyon

Tel:

App No: 2008/3048 Erection of a single storey ground floor rear extension, alteration and enlargement to rear first floor window.

Registered: 01/12/2009

Address: 92 Culford Road London N1 4HN

Decision Date: 02/03/09

Decision: Approved

Agent: Emulsion Architecture Ltd

Tel: 02078334533

Officer: Yousef Bahadur

Applicant: Mr Alister Mackie

Tel: 07802 849 363

App No: 2008/3082 Erection of a single storey side extension at first floor level.

Registered: 12/22/2008

Address: 64 Downham Road, London N1 5BG

Decision Date: 10/02/09

Decision: Approved

Agent: Mr John Downs

Tel: 01647 440 690

Officer: Evie Learman

Applicant: Ms Ellen Butler

Tel: 0207 254 1898

App No: 2008/3088 Erection of a two storey outbuilding (basement and ground floor levels) at the end of the rear garden

Registered: 01/08/2009

Address: 15 Buckingham Road London N1 4DG

Decision Date: 10/02/09

Decision: Approved

Agent: Steven Donald Architects Ltd

Tel: 02074900665

Officer: Graham Callam

Applicant: Mr and Mrs S.E. Donald

Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3092 Registered: 12/23/2008 Address: Rear of 58-64 & 58, 58A & 60A Southgate Road London N1 3JF	Demolition of existing workshops to rear of 58-64 Southgate Road, demolition of existing link buildings at 58A and 60A Southgate Road.	Decision Date: 20/02/09 Decision: Approved	Agent: Firstplan Tel: 0207 031 8214 Officer: Michael Garvey	Applicant: Mr Edward Benyon Tel:
App No: 2009/0011 Registered: 01/12/2009 Address: 144 Culford Road London N1 4WU	Works to trees in rear garden: - Eucalyptus: fell & and within 18 months of the felling replace with Acer platanoides 'Crimson Sentry' (Norway Maple) or Prunus cerasifera 'Nigra' (Black-leaved Plum). - Fig: Crown reduce by 30% .	Decision Date: 13/02/09 Decision: Approved	Agent: Treecare Tel: 02089931443 Officer: Nick Jacobs	Applicant: Mr David Breen Tel:
App No: 2009/0064 Registered: 01/19/2009 Address: 162 Southgate Road London N1 3HX	Fell Leyland Cypress in rear garden.	Decision Date: 18/02/09 Decision: Approved	Agent: Larkhall Park Depot Tel: 020 7720 1555 Officer: Nick Jacobs	Applicant: Jamie Doward Tel:
App No: 2009/0070 Registered: 01/29/2009 Address: 23-28 Penn Street London N1 5DL	Change of use of basement from B1(office) to B8 (storage or distribution).	Decision Date: 10/03/09 Decision: Approved	Agent: Twenty Design Management Tel: 01622 832 202 Officer: Colin Leadbeatter	Applicant: Steinhoff Uk Group Properties Ltd Tel:
App No: 2009/0093 Registered: 03/04/2009 Address: 16A Southgate Grove London N1 5BT	Details pursuant to condition 1 (detailed drawings of modifications to approved scheme) condition 2 (details of dustbin enclosures) and condition 3 (samples of materials) of planning permission ref: 2008/2382.	Decision Date: 08/04/09 Decision: Approved	Agent: Stephen Donald Architects Ltd Tel: 0207 490 0665 Officer: Colin Leadbeatter	Applicant: Powys Lane Property Co Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0200 Registered: 02/13/2009 Address: 54a Downham Road, London, N1 5AS	Part demolition and rebuilt and part refurbishment of part ground floor and part first floor extension; including demolition of existing side extension at first floor level, with the installation of new timber windows at first floor level to the front, side and rear elevations; installation of two new front entrance doors.	Decision Date: 31/03/09 Decision: Refused	Agent: Firstplan Tel: 020 7031 8235 Officer: Yousef Bahadur	Applicant: Mr Edward Benyon Tel: 020 7249 3690
App No: 2009/0207 Registered: 02/05/2009 Address: 70 - 76 De Beauvoir Crescent - London - N1	Submission of details pursuant to condition 15 (detailed design of the De Beauvoir Crescent elevations at ground floors and the upper set back floors) of application reference 2006/1105	Decision Date: 20/02/09 Decision: Approved	Agent: PTEa. Tel: 0207 336 7777 Officer: Russell Smith	Applicant: PTEA Tel: 0207 336 7777
App No: 2009/0291 Registered: 03/13/2009 Address: Rosemary Works School 1 Branch Place London N1 5PM	Replacement of existing flat roof to assembly hall and 1st floor classrooms with green sedum roof.	Decision Date: 04/05/09 Decision: Approved	Agent: Rosemary Works School Tel: 02077393950 Officer: David Thompson	Applicant: Miss Kate Jennings Tel:
App No: 2009/0292 Registered: 02/11/2009 Address: 33 Northchurch Road London N1 4EB	Approval of details pursuant to condition 3 (method statement), condition 4 (Balustrade) and condition 5 (materials) of planning permission 2006/2345 dated 10.11.2006	Decision Date: 03/04/09 Decision: Approved	Agent: Johal Regan Chartered Surveyors Tel: Officer: Tyler Sharratt	Applicant: John Hewett Tel:
App No: 2009/0296 Registered: 02/25/2009 Address: 156 Culford Road London N1 4HU	Reversion of the property to a single dwelling; erection of a single storey extension at first floor level; installation of new doors to existing ground floor rear additions and cladding of access stair.	Decision Date: 14/04/09 Decision: Approved	Agent: MPS Architects Tel: Officer: Graham Callam	Applicant: Mr. Roger James Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0307 Alterations to include the installation of a windows to replace existing garage door to the front elevation; installation of two folding wooden patio doors to the rear at ground floor level (replacing existing door and windows); internal ground floor alterations.

Registered: 02/13/2009

Address: 59 Northchurch Road,
London N1 4EE

Decision Date: 03/04/09

Decision: Approved

Agent: Mr Monica Collett

Tel: 0207 684 4632

Officer: Yousef Bahadur

Applicant: Mrs Monica Collett

Tel: 0207 684 4632

App No: 2009/0309 Alterations including the installation of a window to replace existing garage door to front elevation; installation of two folding wooden patio doors to the rear at ground floor level (replacing existing door and windows) ; internal ground floor alterations.

Registered: 02/13/2009

Address: 59 Northchurch Road,
London N1 4EE

Decision Date: 03/04/09

Decision: Approved

Agent: Mr Ashley Collett

Tel: 0207 684 4632

Officer: Yousef Bahadur

Applicant: Mr Ashley Collett

Tel: 0207 684 4632

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App No: 2009/0323 Works to lime in front garden : Crown reduce by 30% and lift to 5m, thin by 20%.

Registered: 03/20/2009

Address: 43 Ardleigh Road,
London N1

Decision Date: 12/05/09

Decision: Approved

Agent: Hamish Lodge

Tel:

Officer: Ginny Hemming

Applicant: Hamish Lodge

Tel:

App No: 2009/0376 Erection of a single storey rear extension along with the addition of a new side window to the existing building, alterations to the side entrance door, removal of existing front boundary wall and erection of replacement iron railings, erection of new bin store in front garden and replacement of existing link wall in side garden between No 69 and No 71 De Beauvoir Road (as an amendment to previously approved 2008/2711).

Registered: 03/04/2009

Address: 69 De Beauvoir Road
London N1 5AU

Decision Date: 28/04/09

Decision: Refused

Agent: Firstplan

Tel: 0207 031 8210

Officer: Noel Kelly

Applicant: The Englefield Estate
Trust Corporation

Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0481 Registered: 03/18/2009 Address: 120 De Beauvoir Road London N1 4DJ	Installation of new folding doors to rear elevation at lower ground floor level; installation of two roof lights to the single storey rear addition; installation of a fixed glazed panel to the side elevation at ground floor level.	Decision Date: 07/05/09 Decision: Approved	Agent: KB Architecture & Design Tel: 0207 683 0034 Officer: Yousef Bahadur	Applicant: Mr NickTims Tel: 0207 249 8669
App No: 2009/0632 Registered: 04/09/2009 Address: 23 De Beauvoir Square London N1 4LE	Raise rear basement window lintel.	Decision Date: 26/05/09 Decision: Approved	Agent: Mr Douglas Stewart Tel: 020 7251 6446 Officer: Evie Learman	Applicant: Ms Rebecca Warren Tel: 020 725
App No: 2009/0638 Registered: 03/23/2009 Address: 117 Culford Road London N1 4HT	Extension of existing single storey garage and installation of a new window on the front elevation to provide a habitable room.	Decision Date: 12/05/09 Decision: Approved	Agent: Deepak Parmar Tel: 0208 969 9223 Officer: Graham Callam	Applicant: Mr Simon Hildesley Tel:
App No: 2009/0695 Registered: 04/01/2009 Address: 1-35 Oberon House Arden Estate London N1 5JH	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 20/05/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 020 8356 5000
App No: 2009/0911 Registered: 04/27/2009 Address: 70 - 76 De Beauvoir Crescent London N1 5SB	Discharge of Condition 24(lightning) of planning permission 2006/1105	Decision Date: 28/04/09 Decision: Approved	Agent: PTEa Tel: 0207 336 7777 Officer: Russell Smith	Applicant: PTEa Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

DN

App No: 2008/0056	Removal of roof and mezzanine floor: increase height by about 1.7m and reinstate architectural features.	Decision Date: 18/05/09	Agent: Graham Miles-Dip Arch RIBA Architects	Applicant: Mr & Mrs J Friedman
Registered: 02/21/2008	Replace mezzanine floor and create part width additional floor	Decision: Approved	Tel: 020 8659 9949	Tel:
Address: 3 Richmond Road - London - E8 3HY	Create 9 apartments - 1 x 4 bed, 2 x 3 bed, 4 x 2 bed and 2 x 1 bed. Retention of Church & commercial unit.		Officer: Paul Roberts	

App No: 2008/1411	Submission of detail pursuant to condition 8 (hard and soft landscaping scheme) of planning permission ref: 2007/0360	Decision Date: 20/02/09	Agent: Waugh Thistleton Limited	Applicant: Waugh Thistleton Limited
Registered: 06/13/2008		Decision: Approved	Tel: 0207 613 5727	Tel:
Address: 15 Ramsgate Street - London - E8 2NA			Officer: Gillian Nicks	

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App No: 2008/1412	Submission of details pursuant to condition 4 (details of boundary walls, enclosures & screening) of planning permission ref: 2007/0360	Decision Date: 02/03/09	Agent: Waugh Thistleton Limited.	Applicant: Waugh Thistleton Limited
Registered: 11/05/2008		Decision: Approved	Tel: 0207 613 5727	Tel:
Address: 15 Ramsgate Street London E8 2NA			Officer: John Kaimakamis	

App No: 2008/1481	Erection of 2 storey rear extension and new mansard roof to create 3 flats (comprising 2 x studio, 1 x 2 bed flats).	Decision Date: 20/02/09	Agent: Mr Singh	Applicant: Mrs Patel
Registered: 06/26/2008		Decision: Refused	Tel:	Tel:
Address: 356 Queensbridge Road London E8 3AR			Officer: Ly Mach	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/1790 Registered: 12/23/2008 Address: 47-49 Kingsland High Street London E8 2JS	Erection of part single storey, part two storey and part four storey extensions; the creation of roof terraces at first floor level; external alterations, including the installation of replacement double glazed windows to front and rear elevation; and a new shopfront to No. 47 and change of use of upper floors of No. 47 from storage to create 3 self-contained flats (3 x 2 bed flats) and the provision of 1 x studio flat along with additional rooms to existing flats at No. 49.	Decision Date: 16/02/09 Decision: Approved	Agent: Saloria Architects Tel: 451 Officer: Michael Garvey	Applicant: Mr Anand Shah Tel: 254
App No: 2008/2462 Registered: 02/06/2009 Address: Unit 1 Kingsland Shopping Centre Dalston Cross London E8 2LX.	Change of use of part of Unit 1 from retail (use class A1) to hot food take away (use class A5) with opening hours 09:00 to 23:00 on any day, together with the installation of a new shopfront and extract duct.	Decision Date: 18/03/09 Decision: Refused	Agent: Criterion Capital Limited Tel: 020 7432 2444 Officer: Noel Kelly	Applicant: Mr Tel:
App No: 2008/2515 Registered: 11/28/2008 Address: 7 Dalston Lane London E8 3DF	Change of use of basement storage to provide beauty salon and alterations to the shopfront, conversion of upper floors to form 1 x 1 bed with a study and 1 x 2 bed flat with rear terraces, together with the erection of a first and second floor rear extension, front and rear roof extension and solar panel .	Decision Date: 10/02/09 Decision: Approved	Agent: Scabal Tel: 0207 033 8788 Officer: Michael Garvey	Applicant: Properties One Ltd Tel: 0207 254 7762
App No: 2008/2603 Registered: 10/29/2008 Address: 91 & 93 Kingsland High Street London E8 2PB	Erection of two, two-storey one-bedroom mews houses.	Decision Date: 09/03/09 Decision: Approved	Agent: Progetti Architecture Tel: 020 7482 5996 Officer: Ly Mach	Applicant: Mr John Davis, Grocola PLC Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2679 Registered: 01/22/2009 Address: 38 Cecilia Road, LONDON E8 2ER	Conversion of property to provide 1 x 1-bed flat at basement level and 1 x 3-bed maisonette at ground and upper floors, including erection of part single, part two storey rear extension, and erection of rear roof extension	Decision Date: 16/03/09 Decision: Approved	Agent: the-design-team.co.uk Ltd. Tel: 01206298773 Officer: Megan Fletcher	Applicant: Ms Anne-Marie Johnston Tel:
App No: 2008/2751 Registered: 01/29/2009 Address: 45 Kingsland High Street London E8 2LB	Change of use of ground floor retail premises (A1 use class) to A3 use (restaurants) involving use of part of first floor as a kitchen, bathroom and hoist room and use of basement for ancillary storage purposes	Decision Date: 09/03/09 Decision: Refused	Agent: Arena Architects Ltd Tel: 020 8555 7722 Officer: David Thompson	Applicant: Mr G S Aujla Tel: 813 1929
App No: 2008/2880 Registered: 01/07/2009 Address: 1A Wilton Way Rear of 42 Parkholme Road E8 3EE	Approval of details pursuant to condition 2 (External materials), Condition 3(Boundary walls and means of enclosure) and condition 4 (Dustbin enclosure) attached to deemed planning and conservation area consents. Appeal reference APP/45360/E/03/11237 and APP/45360/E/03/1123776 dated 25th Nov 2003.	Decision Date: 16/02/09 Decision: Approved	Agent: Lisa Shell Architects Tel: 0207 275 7773 Officer: Caroline Ozor	Applicant: Lisa Shell Architects Tel:
App No: 2008/2913 Registered: 12/11/2008 Address: 15 Ramsgate Street London E8 2NA	Submission of details pursuant to condition 6 (materials) of planning permission ref 2007/0360	Decision Date: 03/03/09 Decision: Approved	Agent: Waugh Thistleton Limited. Tel: 0207 613 5727 Officer: John Kaimakamis	Applicant: Waugh Thistleton Limited Tel:
App No: 2008/2945 Registered: 01/08/2009 Address: 41 Parkholme Road London E8 3AG	Erection of a single storey ground floor rear extension.	Decision Date: 02/03/09 Decision: Approved	Agent: glassbox.co.uk Limited Tel: 233000 Officer: Graham Callam	Applicant: Mr Tony Medley Tel: 233000

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3121
Registered: 02/10/2009
Address: 584 Kingsland Road
 London E8 4AH

Change of use of the basement and ground floor from A1 to A3 use including installation of extract flue to rear elevation.

Decision Date: 24/03/09
Decision: Refused

Agent: Ken Judge & Associates Ltd
Tel: 01245 225577
Officer: Noel Kelly

Applicant: Mr H Bhatti
Tel:

App No: 2008/3132
Registered: 01/15/2009
Address: Massie House 1 Massie Road London E8 1BY

Fell cupressus in rear garden.

Decision Date: 02/02/09
Decision: Approved

Agent: Fletchers Trees LTD
Tel: 0845 769 7695
Officer: Nick Jacobs

Applicant: Fletchers Trees LTD
Tel:

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App No: 2008/3178
Registered: 01/13/2009
Address: 504-506 Kingsland Road
 London E8 4AE

Conversion of first floor 2 x bedroom flat to provide 2 studio flats.

Decision Date: 06/02/09
Decision: Approved

Agent: Norton Mayfield Architects LLP
Tel: 0114 221 0223
Officer: Ly Mach

Applicant: Mr Posen
Tel:

App No: 2009/0010
Registered: 01/20/2009
Address: 13 Elrington Road,
 London, E8 3BJ

Conversion of property from five flats to a single dwelling house.

Decision Date: 03/03/09
Decision: Approved

Agent: RCKa
Tel: 0207 060 1930
Officer: Yousef Bahadur

Applicant: Miss Helen Stokes
Tel: 0207 060 1930

App No: 2009/0019
Registered: 03/04/2009
Address: 98 Dalston Lane London
 E8 1NG

Retention of conversion into 4 self-contained flats (comprising 1x1 bed flat, 2x2 bed flats and 1x4 bed flat), together with part single storey and part two storey rear extension; and alterations to roof and to rear dormer roof extension.

Decision Date: 27/04/09
Decision: Refused

Agent: Michael Williams Planning
Tel: 01628 780780
Officer: Michael Garvey

Applicant: Tudor Homes Ltd
Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0097 Variation of condition 1 (hours of use) of Planning
Registered: 02/10/2009 Permission Ref:2006/3426 to extend hours of permitted
Address: 17B Stoke Newington use from 09:00 Hours to 12 Midnight to 09:00 Hours to
Road London N16 8BH 03:00 Hours.

Decision Date: 14/05/09
Decision: Approved

Agent: Archipek **Applicant:** Mr Yasar Akin
Tel: **Tel:**
Officer: Michael Garvey

App No: 2009/0194 Conversion of existing dwelling house to provide 1 x
Registered: 01/29/2009 one bed flat, 2 x 2 bed flats, and 1 x 3 bed flat together
Address: 75 Ridley Road London with erection of 2 storey rear extension (basement and
E8 2NP ground floor) and an additional storey to form a four
storey building with basement and lightwell and
provision of new main entrance at side of building
(amended description).

Decision Date: 20/03/09
Decision: Refused

Agent: Xeva Design Concepts **Applicant:** Mr Irfan
Tel: 0208 924 1441 **Tel:**
Officer: Ly Mach

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App No: 2009/0201 Variation of condition 3 (Hours) of planning permission
Registered: 02/09/2009 ref: North/474/pp/FP from 12:00 p.m. to 05:00 am
Address: Gap wine bar, Monday to Saturday and 12:00 pm to 2:00 Sundays and
58 Stoke Newington Bank Holidays.
Road,
London,
N16 7BX

Decision Date: 23/03/09
Decision: Refused

Agent: Mr Hikmet Ozkutan **Applicant:** Mr Hikmet Ozkutan
Tel: **Tel:**
Officer: Yousef Bahadur

App No: 2009/0211 Erection of a single storey rear extension at lower
Registered: 02/04/2009 ground floor level.

Decision Date: 24/03/09
Decision: Approved

Agent: Architect Your Home **Applicant:** Mr Mark Smout
Hackney
Tel: 020 7249 1004 **Tel:** 07740 853354
Officer: Megan Fletcher

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0314 Registered: 02/19/2009 Address: Rear of 102-104 Kingsland High Street London E8 2NS	Erection of 3 storey building to rear of site fronting Birbeck Mews to form 5 Self contained flats comprising 1 x studio, 2 x 1 bed, 1 x 2 bed and 1 x 3 bed flats with Juliet balconies to the front elevation, and the creation of a new vehicular access to the rear for servicing of the shop unit at 102-104 Kingsland High Street.	Decision Date: 03/04/09 Decision: Refused	Agent: New Age Consult Tel: 01708 750 011 Officer: Ly Mach	Applicant: Mrs Rita Marwaha Tel:
App No: 2009/0338 Registered: 03/18/2009 Address: 34 Amhurst Road, London, E8 1JN	Existing use of property as 5 self-contained flats	Decision Date: 07/05/09 Decision: Refused	Agent: Planning and Project Management Services Tel: 0208 4584973 Officer: Yousef Bahadur	Applicant: City and Town Group Ltd Tel:
App No: 2009/0371 Registered: 04/08/2009 Address: unit 3-6 Miller's Terrace Miller House London E8 2DP	Change of use of Social Club (SUI Generis Use) to bar (A4 Use - Drinking Establishments) with opening hours of 17:00 to 00:00 Monday-Friday, 17:00 to 03:00 on Saturday and 17:00 to 00:00 on Sundays and Bank Holidays.	Decision Date: 20/05/09 Decision: Refused	Agent: Archipek Tel: Officer: Noel Kelly	Applicant: Mr Huseyin Ulger Tel:
App No: 2009/0396 Registered: 02/23/2009 Address: 16 Cecilia Road, London E8 2EP	Erection of rear roof extension: alterations including installation of new front door, replacement of first floor windows to front and rear with timber, sash windows; alteration to rear first floor window: installation of a conservation-style roof light to front roof slope.	Decision Date: 09/04/09 Decision: Approved	Agent: A J Architects Tel: 8446 6797 Officer: Evie Learman	Applicant: Ms S Penney Tel: 0207 224 1266
App No: 2009/0408 Registered: 02/20/2009 Address: 52 Arcola Street London E8	Erection of glazed canopy to include 2 internally illuminated projecting signs and 1 fascia sign.	Decision Date: 14/04/09 Decision: Approved	Agent: Robert Savage & Associates Tel: 020 7433 3561 Officer: Evie Learman	Applicant: Metropole College Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0416 Registered: 03/05/2009 Address: 72 Kingsland High Street London E8 2NS	Installation of rear staircase and balustrade to existing first floor terrace.	Decision Date: 27/04/09 Decision: Refused	Agent: Mr Munawar Hussain Tel: 02086774443 Officer: Evie Learman	Applicant: Mr Ghazanfar Mahmood Tel:
App No: 2009/0434 Registered: 02/25/2009 Address: 1-19 Kingsland Green London E8 2JZ	Extension at roof level with covered walkway and conversion of loft space to provide 2 x 1 bed flats, together with roof terrace.	Decision Date: 16/04/09 Decision: Approved	Agent: John Barry Tel: 020 8440 8966 Officer: Michael Garvey	Applicant: Aurient Investments Ltd Tel:
App No: 2009/0454 Registered: 03/06/2009 Address: 13 Elrington Road London E8 3BJ	Conversion of property from five flats to a single dwelling house; erection of a single storey ground floor rear extension; alteration to rear first floor window.	Decision Date: 22/04/09 Decision: Approved	Agent: RCKa Tel: Officer: Yousef Bahadur	Applicant: Miss Helen Stokes Tel: 0207 060 1930
App No: 2009/0525 Registered: 03/11/2009 Address: 101 Shacklewell Road London N16 7RW	Erection of a single storey extension to the rear (fronting Scoble Place).	Decision Date: 01/05/09 Decision: Approved	Agent: Jolenevi Limited Tel: 020 7739 1547 Officer: Evie Learman	Applicant: Jolenevi Limited Tel: 020 7739 1547
App No: 2009/0549 Registered: 03/11/2009 Address: 38 - 50 Arcola Street London - E8 2DJ	Submission of details pursuant to condition 15 (Renewable Energy Details) of planning permission 2006/3061 dated 20/03/2007.	Decision Date: 28/04/09 Decision: Approved	Agent: Lazenby Associates Architects Tel: 020 7566 0028 Officer: Ian Bailey	Applicant: Mr Mark Davis Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0583 Registered: 03/23/2009 Address: 106 - 108 Kingsland High Street - London - E8 2NS	Erection of first floor extension and change of use of first floor from B1 office to 2 x 2 bed flats.	Decision Date: 07/05/09 Decision: Refused	Agent: Mr Editho Albores Tel: 01708 750 011 Officer: Noel Kelly	Applicant: Mrs Rita Marwaha Tel:
App No: 2009/0633 Registered: 03/24/2009 Address: 13 Elrington Road London E8 3BJ	Proposed erection of ground floor rear extension.	Decision Date: 12/05/09 Decision: Refused	Agent: Rcka Tel: 0207 060 1930 Officer: Yousef Bahadur	Applicant: Ms Helen Stokes Tel:
App No: 2009/0657 Registered: 03/25/2009 Address: 41 Parkholme Road London E8 3AG	Details submitted pursuant to discharge of conditions 3 (materials) and 4 (protection of trees) of planning permission 2008/2945 granted 02/03/09	Decision Date: 12/05/09 Decision: Approved	Agent: glassbox.co.uk Limited Tel: 233000 Officer: Graham Callam	Applicant: Mr Tony Medley Tel: 233000
App No: 2009/0659 Registered: 03/26/2009 Address: 140-142 Kingsland High Street London E8 2NS	Change of use of ground floor shop (A1 use) to part A3(Restaurant) part A5(Hot food take away) and erection of extraction flue to the rear elevation	Decision Date: 13/05/09 Decision: Refused	Agent: Archipek Tel: Officer: David Thompson	Applicant: Mr A Fadil Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2755 Registered: 01/08/2009 Address: 311 Mare Street, London E8 1EJ	Retention of a shop front with level access.	Decision Date: 13/02/09 Decision: UNCON	Agent: Technical Design Consultants Tel: 01737 370084 Officer: Yousef Bahadur	Applicant: Tafs Food Ltd Tel: 0208 988 0654
App No: 2008/2756 Registered: 01/09/2009 Address: 311 Mare Street, London E8 1EJ	Modification of existing fascia sign (to remove internal illumination), installation of external spotlights, and installation of externally illuminated projecting box sign.	Decision Date: 13/02/09 Decision: Approved	Agent: Technical Design Consultants Tel: 01737 370084 Officer: Yousef Bahadur	Applicant: Tafs Food Ltd Tel: 0208 988 0654
App No: 2008/2760 Registered: 12/15/2008 Address: 14 Clarence Road, London E5 8HB	Details submitted pursuant to condition 3 (front elevation), condition 5 (dustbin enclosure) of planning permission 2003/0691 dated 17th March 2004.	Decision Date: 09/02/09 Decision: Approved	Agent: AL Rasheed Dauda Architect Tel: 0208 257 8305 Officer: Tyler Sharratt	Applicant: AL Rasheed Dauda Architect Tel:
App No: 2008/3129 Registered: 01/12/2009 Address: 9A Anton Street, London E8 2AD	Existing use of the property as a car repair workshop.	Decision Date: 21/04/09 Decision: Approved	Agent: A Mouldsdale Tel: Officer: Yousef Bahadur	Applicant: A Mouldsdale Tel:
App No: 2008/3134 Registered: 01/08/2009 Address: 8 Montague Road London E8 2HW	Rear garden: sycamore; crown reduce and thin height and spread by 25 - 30%; remove basal growth and ivy.	Decision Date: 02/02/09 Decision: Approved	Agent: Ms Jo Lamb and Mr Bernard Saltmarsh Tel: 02072495820 Officer: Nick Jacobs	Applicant: Ms Jo Lamb and Mr Bernard Saltmarsh. Tel: 02072495820

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3139 Registered: 01/09/2009 Address: 386-388 Mare Street, London E8 1HR	Installation of an internally illuminated fascia sign and an internally illuminated projecting sign.	Decision Date: 17/02/09 Decision: Approved	Agent: Wood & Wood Signs LTD Tel: 01392 261 809 Officer: Evie Learman	Applicant: Boots Properties Ltd Tel: 0115 950 6111
App No: 2008/3188 Registered: 01/12/2009 Address: Hackney Customer Service Centre Hillman Street London E8 1DY	Submission of details pursuant to condition 11 (attainment of BREEAM 'excellent' rating) of application ref. 2007/0238.	Decision Date: 08/04/09 Decision: Approved	Agent: Hopkins Architects Tel: 0207 724 1751 Officer: Rokos Frangos	Applicant: Hopkins Architects Tel:
App No: 2009/0005 Registered: 01/07/2009 Address: Junction of Andre Street and Downs Park Road London E8 2HZ	Prior notification for the erection of a 10m high telecommunications antennae and ancillary equipment cabinets.	Decision Date: 20/02/09 Decision: Refused	Agent: PHA Communications Limited Tel: 01582833256 Officer: Graham Callam	Applicant: Orange PCS Limited Tel:
App No: 2009/0012 Registered: 01/29/2009 Address: 60 Greenwood Road London E8 1AB	Erection of a single storey rear extension at lower ground floor level, creation of balcony, at first floor level together with the replacement of existing window with French doors and installation of a new stair leading to the rear garden, excavation of front garden to create a light well, reinstate windows to rear.	Decision Date: 24/03/09 Decision: Approved	Agent: Mr Matthias Hoene Tel: 02072758335 Officer: Yousef Bahadur	Applicant: Mr Matthias Hoene Tel: 02072758335

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0017 Registered: 01/29/2009 Address: 370 Mare Street London E8 1HR	Approval of details pursuant to Condition 4(external materials) attached to approval reference: 2005/2812 dated 16 March 2003.	Decision Date: 05/03/09 Decision: Approved	Agent: Derrick Flatt Consultancy Ltd Tel: 078139241223 Officer: Colin Leadbeatter	Applicant: Mr Natubhai Patel Tel: 02089858148
App No: 2009/0083 Registered: 01/22/2009 Address: 76A Downs Park Road London E8 2HZ	Reduce crown back to previous points and remove epicormic growth.	Decision Date: 09/03/09 Decision: Approved	Agent: Ashmore Arboricultural Services Tel: 020 7359 3600 Officer: Nick Jacobs	Applicant: Ashmore Arboricultural Tel:
App No: 2009/0239 Registered: 04/06/2009 Address: 432 - 434 Spurstowe Road London E8 1NB	Erection of single storey lean-to extension on the Poulton Close elevation and erection of new fencing.	Decision Date: 14/05/09 Decision: Approved	Agent: Mr Steve Taylor Tel: Officer: Michael Garvey	Applicant: Network Rail Infrastructure Ltd Tel:
App No: 2009/0274 Registered: 03/24/2009 Address: 51A Wilton Way, London, E8 1BG	Installation of a satellite dish.	Decision Date: 12/05/09 Decision: Refused	Agent: Aragon Planning T2 Ltd Tel: 01234 360655 Officer: Yousef Bahadur	Applicant: SIS (William Hill) Tel: 01234 360655

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0409 Registered: 02/23/2009 Address: 2-18 Malpas Road Aspland Estate London E8 1NA	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 5000
App No: 2009/0541 Registered: 03/11/2009 Address: 331 Mare Street / 239-257 Graham Road London E8	Change of use of ground floor retail premises (A1 Use) as an estate agents office (A2 Use - Financial and Professional Services)	Decision Date: 29/04/09 Decision: Approved	Agent: CMA Planning Tel: 0207 749B 7686 Officer: David Thompson	Applicant: CMA Planning. Tel:
App No: 2009/0547 Registered: 03/12/2009 Address: 126 Forest Road London E8 3BH	Erection of single storey rear/side extension at ground floor level.	Decision Date: 05/05/09 Decision: Approved	Agent: Clements Design Tel: Officer: Yousef Bahadur	Applicant: Mr Jean-Paul Van Cauwelaert Tel:
App No: 2009/0605 Registered: 03/23/2009 Address: 30 and 32 Amhurst Road London E8 1JN	Erection of a mansard roof extension at 30 and 32 Amhurst Road to provide 3 self-contained flats (2x1 bed and 1x2 bed) at No.30 Amhurst Road and 1 self-contained flat (1 x1 bed) at No.32 Amhurst Road.	Decision Date: 12/05/09 Decision: Approved	Agent: Simplicity Design UK Tel: 07894387370 Officer: Michael Garvey	Applicant: Mr Peter Charalambous Tel: 0208 985 2126
App No: 2009/0731 Registered: 04/08/2009 Address: 359 - 363 Mare Street London E8 1HY	Installation of a new shop front.	Decision Date: 26/05/09 Decision: Approved	Agent: Mrs Janet Steer Tel: 01612144370 Officer: Yousef Bahadur	Applicant: Mcdonalds Restaurants Ltd Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0732 Registered: 04/07/2009 Address: 359-363 Mare Street, London, E8 1HY	Installation of an externally illuminated fascia sign and 1 x internally illuminated projecting sign.	Decision Date: 26/05/09 Decision: Approved	Agent: Mrs Janet Steer Tel: 01612144370 Officer: Yousef Bahadur	Applicant: Mcdonalds Restaurants Ltd Tel:

HACKCK

App No: 2008/0413 Registered: 12/02/2008 Address: 305 Mare Street, Hackney, London E8 1EJ	Retention of air-conditioning duct work and condenser units on the flat roof to the rear at first floor level.	Decision Date: 31/03/09 Decision: Approved	Agent: Currie & Brown Tel: 0207 710 3673 Officer: Yousef Bahadur	Applicant: Mr Vilay Patel Tel:
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App No: 2008/2642 Registered: 01/08/2009 Address: 160-162 Graham Road London E8 1BS	Replace existing windows and doors with new UPVC windows and doors.	Decision Date: 11/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850500 ext 27 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 020 8356 5000
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App No: 2008/2943 Registered: 01/08/2009 Address: 364 Mare Street London E8 1HR	Installation of windows to the rear at ground and first floor levels, together with the installation of a rear staircase.	Decision Date: 02/03/09 Decision: Approved	Agent: Goldroyce Design Ltd Tel: 0208 464 5535 Officer: Graham Callam	Applicant: Tamer Salahi Tel: 02082918367
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<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0042 Registered: 01/15/2009 Address: 33 Kenmure Yard Kenmure Road London E8 1JY	Crown reduction by 30% of Sycamore in Kenmure Yard.	Decision Date: 20/02/09 Decision: Approved	Agent: Able Tree Services Tel: 0208 524 2271 Officer: Nick Jacobs	Applicant: Southern Housing Tel:
App No: 2009/0464 Registered: 03/31/2009 Address: 297 Mare Street London E8 1EJ	Change of use of part of the basement from A1 to a minicab office (SUI Generis) along with a new shopfront at ground floor level.	Decision Date: 19/05/09 Decision: Approved	Agent: Archipek Tel: Officer: Colin Leadbeatter	Applicant: Mr Ali Uzun Tel:
App No: 2007/2531 Registered: 10/19/2007 Address: 19 & 19A Goulton Road, London E5	Demolition of existing single-storey building at 19A Goulton Road and erection of part 4 storey, part 3 storey and part 2 storey building; erection of second and third floor extension at 19 Goulton Road connected to new building at 19A Goulton Road to provide mixed use development comprising two B1 units at ground floor level with provision of 9 self-contained flats above (comprising 2 x 3 bed flats, 3 x 2 bed flats and 4 x 1 bed flats).	Decision Date: 06/02/09 Decision: Approved	Agent: Brook Murray Architects Tel: 020 7739 9955 Officer: Michael Garvey	Applicant: Kempton Investments Ltd Tel: 0208 442 8262
App No: 2008/1531 Registered: 06/17/2008 Address: 99-103 Clarence Road London E5 8EE	Approval of details pursuant to condition 8 (windows and staircase modifications) attached to approval reference 2006/0792.	Decision Date: 09/02/09 Decision: Approved	Agent: Nata Lee Tel: 07956 654 888 Officer: Michael Garvey	Applicant: Nata Lee Tel: 07956 654 888

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H0CKD

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2008/2197

Existing use of the property as 4 self-contained flats.

**Decision
Date:** 31/03/09**Agent:** Mr Yakov Levy**Applicant:** Mr Pinchas
Schreiber**Registered:** 09/03/2008**Decision:** Approved**Tel:** 020 8442 7795**Tel:** 020 8802 0943**Address:** 61 Reighton Road
London
E5 8SQ**Officer:** Evie Learman**App No:** 2008/2375Retention of a single-storey outbuilding at the end of
the rear garden.**Decision
Date:** 31/03/09**Agent:****Applicant:** Miss Abbygail Field
& Mr Christopher**Registered:** 11/11/2008**Decision:** Approved**Tel:****Tel:** 020 8442 4124**Address:** Garden Flat
47A Maury Road
Stoke Newington
London
N16 7BP**Officer:** Evie Learman**App No:** 2008/2775Alterations to dormer windows in rear roof slopes of
third floor of block of flats.**Decision
Date:** 13/02/09**Agent:** D I P Systems Ltd**Applicant:** Mr Lakhbir Heer**Registered:** 12/23/2008**Decision:** Approved**Tel:** 01322 552 170**Tel:****Address:** 31-35 Reighton Road
London E5 8SQ**Officer:** Michael Garvey**App No:** 2008/2813Installation of an illuminated fascia sign and an
internally projecting box sign.**Decision
Date:** 31/03/09**Agent:** Mrs Patel**Applicant:** Mrs Patel**Registered:** 12/08/2008**Decision:** Approved**Tel:** 0786354421**Tel:****Address:** 29 Muir Road, London
E5 8JX**Officer:** Yousef Bahadur

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2859 Registered: 02/16/2009 Address: 94 Northwold Road London N16 7DS	Change of use of the ground floor from A2 (Betting office) to A5 (hot food take-away) together with installation of an external extract flue at rear and alteration to rear elevation.	Decision Date: 01/04/09 Decision: Refused	Agent: Mr Umair Waheed Tel: 02074195990 Officer: Noel Kelly	Applicant: Mamodo Rafil Ussenbai Tel: 02088068677
App No: 2008/2893 Registered: 01/07/2009 Address: 39 Alconbury Road - London N16	Proposed use of the dwelling house as a care home.	Decision Date: 09/02/09 Decision: Approved	Agent: Jonathan Lawlor Architects Tel: 0207 419 2177 Officer: Evie Learman	Applicant: Cascade Care Ltd. Tel: 0208 885 1000
App No: 2008/2904 Registered: 01/08/2009 Address: 8 Queensdown Road London E5 8NN	Erection of a rear roof extension and installation of 2 roof lights on the front roof slope.	Decision Date: 11/02/09 Decision: Approved	Agent: Ripley Design Tel: 01634 300889 Officer: Yousef Bahadur	Applicant: Mr Philip Hurd Tel:
App No: 2008/2907 Registered: 01/08/2009 Address: 1-6 Maury House, Maury Road, Hackney Downs N16 7BS	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 11/02/09 Decision: Approved	Agent: Sovereign Group Limited Tel: Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 8358
App No: 2008/2911 Registered: 01/16/2009 Address: 85 Evering Road London N16 7SJ	Change of use of the ground floor laundrette (Sui Generis) to residential (C3) and conversion to create one 2 bedroom flat, together with alterations to the shopfront and rear elevation.	Decision Date: 09/03/09 Decision: Refused	Agent: Midas Planning Tel: 07890562875 Officer: Ly Mach	Applicant: Mr David Benedikt Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/2925 Replacement of existing windows and doors with new UPVC windows and doors. **Decision Date:** 11/02/09 **Agent:** Sovereign Group Limited **Applicant:** Hackney Housing Regeneration
Registered: 01/07/2009
Address: 2-16 Maury Road London N16 7BB **Decision:** Approved **Tel:**
Officer: Yousef Bahadur

App No: 2008/2928 Replacement of existing windows and doors with new UPVC windows and doors. **Decision Date:** 11/02/09 **Agent:** Sovereign Group Limited **Applicant:** Hackney Housing Regeneration
Registered: 01/07/2009
Address: 19 - 25 Walsingham Road - London - E5 8NE **Decision:** Approved **Tel:**
Officer: Yousef Bahadur

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App No: 2008/2930 Replacement of existing windows and doors with new UPVC windows and doors. **Decision Date:** 11/02/09 **Agent:** Sovereign Group Limited **Applicant:** Hackney Housing Regeneration
Registered: 01/07/2009
Address: 1-9 Elm House Brooke Road London N16 7RH **Decision:** Approved **Tel:**
Officer: Yousef Bahadur

App No: 2008/2988 Installation of roller shutter enclosure to the front with metal roof. **Decision Date:** 25/03/09 **Agent:** Mr Hidayet Donmez **Applicant:** Mr Hidayet Donmez
Registered: 02/03/2009
Address: 155 Lower Clapton Road London E5 8EQ **Decision:** Refused **Tel:**
Officer: Graham Callam

App No: 2008/3080 Erection of a rear roof extension, installation of 1 no. roof light to rear roof slope and 4 no. roof lights to front roof slope. **Decision Date:** 24/02/09 **Agent:** Rita Shergold **Applicant:** Mr David Wild
Registered: 01/12/2009
Address: 173 Evering Road London N16 7BH **Decision:** Approved **Tel:** 01932 579969 **Tel:** 0207 502 2001
Officer: Evie Learman

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3124 Prior approval for demolition of residential block. **Decision**
Registered: 01/07/2009 **Date:** 13/02/09 **Agent:** Hackney Housing Asset Management **Applicant:** Hackney Housing Asset Management
Address: Ottoway Court Landfield **Decision:** DNR **Tel:** 020 8356 2971 **Tel:**
Est Rendlesham Road **Officer:** Graham Callam
London E5 8QL

App No: 2008/3141 Alterations including the erection of a rear external staircase at first floor level leading to the rear garden. **Decision**
Registered: 01/09/2009 **Date:** 17/02/09 **Agent:** Keeran Designs Limited **Applicant:** Mr Maurice Hatchinson
Address: 105B Brooke Road **Decision:** Approved **Tel:** 02085316000 **Tel:** 02084424739
London **Officer:** Graham Callam
N16 7RJ

App No: 2008/3152 Change of use of office (B1 use class) to Nail/Pedicure parlour (Sui Generis Use). **Decision**
Registered: 01/09/2009 **Date:** 17/02/09 **Agent:** Bone Wells Associates **Applicant:** Yens Nails
Address: 109 Downs Road London **Decision:** Refused **Tel:** 01225 313 369 **Tel:**
E5 8DS **Officer:** Noel Kelly

App No: 2009/0360 Erection of a single storey ground floor rear extension. **Decision**
Registered: 02/23/2009 **Date:** 14/04/09 **Agent:** Apropos Tectonic **Applicant:** Ms Columbine Saunders
Address: 169 Evering Road, **Decision:** Approved **Tel:** 0161 34 28242 **Tel:** 0207 5021643
London, **Officer:** Graham Callam
N16 7BH

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0412 Registered: 02/23/2009 Address: 1-8 Oakfield Lodge 37 Kenninghall Road London E5 8BT	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hacknet Housing and Regeneration Tel: 0208 356 5000
App No: 2009/0451 Registered: 03/30/2009 Address: 40 - 48 Evering Road London N16 7SR	Erection of railings to the front of 40-48 Evering Road.	Decision Date: 19/05/09 Decision: Approved	Agent: Mr Adam Florio Tel: 07771 667 771 Officer: Tyler Sharratt	Applicant: Mr Adam Florio Tel: 07771 667 771
App No: 2009/0494 Registered: 03/04/2009 Address: 55 Norcott Road London N16 7EJ	Proposed replacement of existing timber windows and doors with new UPVC windows and doors.	Decision Date: 23/04/09 Decision: Approved	Agent: Baily Garner LLP Tel: 020 8294 1000 Officer: Yousef Bahadur	Applicant: Peabody Trust Tel: 020 7021 4000
App No: 2009/0519 Registered: 04/08/2009 Address: 207 Evering Road London E5 8AL	Erection of a part one, part two storey rear extension at ground and first floor levels.	Decision Date: 20/05/09 Decision: Refused	Agent: Midas Planning Tel: 07890 562 875 Officer: Graham Callam	Applicant: Mr A Riaz Tel:
App No: 2009/0566 Registered: 03/17/2009 Address: 6 Hilltop Daycare Nursery Ottaway Street London E5 8PX	Erection of a single storey grand floor extension to the side, erection of a single storey extension at first floor level, installation of new window to south elevation.	Decision Date: 05/05/09 Decision: Approved	Agent: Cazenove Architects Tel: 0208 525 5520 Officer: Yousef Bahadur	Applicant: Mrs Hafizah Patel Tel: 0208 986 2006

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0594 Erection of a first floor extension to the two residential units at the rear of 211 Lower Clapton Road (amended scheme). **Decision Date:** 08/05/09 **Agent:** Bashkal & Associates **Applicant:** Mr Temel Alp
Registered: 03/18/2009
Address: Rear of 211 Lower Clapton Road, London, E5 8EG **Decision:** Refused **Tel:** 020 8884 1169 **Tel:** 07904196672
Officer: Evie Learman

App No: 2009/0621 Retention of Studio unit at ground floor level; alterations to front elevation. **Decision Date:** 27/05/09 **Agent:** Mr Steve Georgion **Applicant:** Mr S Georgiou
Registered: 04/16/2009
Address: 120 Clarence Road Clapton London E5 8JA **Decision:** Refused **Tel:** **Tel:** 020 8368 2592
Officer: Yousef Bahadur

App No: 2007/1961 Submission of details pursuant to condition 4 (replacement windows to match existing) of planning application 2007/0186 **Decision Date:** 18/02/09 **Agent:** Rivington Street Studio Architecture **Applicant:** Rivington Street Studio Architecture
Registered: 08/16/2007
Address: Queensbridge School and PDC Queensbridge Road London E8 4ET **Decision:** Approved **Tel:** 0207 729 8945 **Tel:** 0207 729 8945
Officer: Rokos Frangos

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2007/2297 Registered: 09/14/2007 Address: Queensbridge School and PDC Queensbridge Road London E8 4ET	Submission of details pursuant to Condition 7 (Landscaping permission dated 22nd May 2007 (ref: 2007/0186).	Decision Date: 18/02/09 Decision: Approved	Agent: Rivington Street Studio Architecture Tel: 0207 739 8945 Officer: Rokos Frangos	Applicant: Rivington Street Studio Architecture Tel:
App No: 2007/2978 Registered: 03/06/2008 Address: 21 Glassworks Studios, Blasing Place, London, E2 8AB	Existing use of the unit as a self contained flat.	Decision Date: 31/03/09 Decision: Approved	Agent: Nicholas Whitaker Tel: 0207 704 2300 Officer: Yousef Bahadur	Applicant: Nicholas Whitaker Tel:
App No: 2008/0552 Registered: 12/15/2008 Address: 103 - 106 Shoreditch High Street - London - E1 6JN	Submission of details pursuant to condition 3 (materials) of planning permission 2007/0600 dated 07/08/2008.	Decision Date: 15/05/09 Decision: Approved	Agent: Architecturing Masterplanning Design Tel: 0208 942 8942 Officer: Steve Fraser-Lim	Applicant: Architecturing Masterplanning Tel:
App No: 2008/0556 Registered: 03/12/2008 Address: 63-65 Hackney Road London E2 7NX	Erection of two-storey rear extension and roof extension to provide five flats (two studios, two one-bedroom and one two-bedroom units) above existing shop.	Decision Date: 06/02/09 Decision: Approved	Agent: Mrs Minal Patel Tel: 0207 394 2232 Officer: Dean Wooding	Applicant: Mr A Moore Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/1233	Erection of 7 storey building to provide 206sqm office floorspace and eight residential units (5 x 1, 2 x 5 and 1 x 4) on first to seventh floors together with formation of roof terrace and balconies.	Decision Date: 10/02/09	Agent: Stephen Davy Peter Smith Architects	Applicant: Pepperpot Properties Executive Pensions
Registered: 07/21/2008		Decision: Refused	Tel: 020 7739 2020	Tel: 020 7739 2020
Address: 115 Curtain Road London EC2A 3A			Officer: Colin Leadbeatter	

App No: 2008/1515	Existing use of the ground floor as a night club	Decision Date: 31/03/09	Agent: Mr Kemp	Applicant: Mr John Evans
Registered: 06/16/2008		Decision: Refused	Tel: 0207 421 1720	Tel:
Address: 431-434 Kingsland Viaduct & 1-3 Cottons Gardens London E2 8DA			Officer: Yousef Bahadur	

App No: 2008/1976	Continued use as café/restaurant (class A3) and monthly meeting centre for Bali Nyonga Cultural Group UK (class D1). Opening hours 09:00-23:00 hours Monday to Saturday.	Decision Date: 31/03/09	Agent: Ms Rose Y. Njinimbot	Applicant: Ms Rose Y. Njinimbot
Registered: 10/02/2008		Decision: Refused	Tel: 020 7249 2142	Tel: 020 7249 2142
Address: Ground Floor 218 Scriven Court Haggerston Road London E8 4HT			Officer: Bernard Haasbroek	

App No: 2008/2041	Erection of first and second floor rear extension and mansard roof extension to provide 3 x 1 bed units.	Decision Date: 06/04/09	Agent: Sheeley & Associates	Applicant: Mrs Maureen Skingle
Registered: 10/08/2008		Decision: Approved	Tel: 020 8508 2001	Tel:
Address: 279 Hackney Road London E2 8NA			Officer: Michael Garvey	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2200 Registered: 12/18/2008 Address: The Geffrye Museum Kingsland Road London E2 8EA	Installation of 4 external CCTV security cameras and associated lights and piers on the rear and side elevations of the museum (Listed Building Consent).	Decision Date: 09/02/09 Decision: Approved	Agent: Hok International Ltd Tel: 020 7636 2006 Officer: David Thompson	Applicant: Mr David Dewing Tel: 020 7739 9893
App No: 2008/2652 Registered: 12/04/2008 Address: 28-30 Hoxton Square, London N1 6NN	Installation of a 'halo' illuminated fascia sign.	Decision Date: 31/03/09 Decision: Approved	Agent: Pongees Ltd Tel: Officer: Tyler Sharratt	Applicant: Pongees Ltd Tel:
App No: 2008/2718 Registered: 11/06/2008 Address: Flat 11, Glassworks Studios, 2 Basing Place, London E2 8AD	Existing use of the unit as a self-contained flat.	Decision Date: 31/03/09 Decision: Approved	Agent: Mr Ray Welsh Tel: 0207 237 0091 Officer: Graham Callam	Applicant: Mr Robert Mclean Tel:
App No: 2008/2735 Registered: 12/18/2008 Address: 28 Kingsland Road London E2 8DA	Retention of change of use of first floor office to a 1 x bedroom self-contained flat.	Decision Date: 06/02/09 Decision: Refused	Agent: Saloria Architects Tel: 02084517833 Officer: David Thompson	Applicant: Saloria Architects Tel:
App No: 2008/2851 Registered: 12/12/2008 Address: 66 Clifton Street London EC2A 4HB	Erection of two storey extension at roof level, together with roof terrace to form 2 bed flat, change of use live/work to B1 at first floor and new glazed roof.	Decision Date: 18/02/09 Decision: Approved	Agent: Pitman Tozer architects Tel: 020 75247534 Officer: Michael Garvey	Applicant: Mr John Ketteley Tel: 0162 - 178 374

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2946 Registered: 01/13/2009 Address: 8-10 New North Place London EC2A 4JA	Erection of two storey extension at first floor to provide 4 flats comprising 2 X 2 bed flats and 2 X 1 bed flats together with external alterations.	Decision Date: 04/03/09 Decision: Approved	Agent: Brooks Murray Architects Tel: 02077399955 Officer: Michael Garvey	Applicant: Ms Stephanie Brooks Tel: 02077399955
App No: 2008/2957 Registered: 12/11/2008 Address: 103-106 Shoreditch High Street, London E1 6JN	Submission of details pursuant to condition 4 (Facing Brick) of planning permission 2007/0600 dated 07/08/2008	Decision Date: 15/05/09 Decision: Approved	Agent: Architecturing Masterplanning Design Tel: Officer: Steve Fraser-Lim	Applicant: Architecturing Masterplanning Tel: 0208 942 8942
App No: 2008/2959 Registered: 12/11/2008 Address: 103-106 Shoreditch High Street, London E1 6JN	Submission of details pursuant to condition 5 (ground surface treatment) of planning permission 2007/0600 dated 07/08/2008	Decision Date: 15/05/09 Decision: Approved	Agent: Architecturing Masterplanning Design Tel: Officer: Steve Fraser-Lim	Applicant: Architecturing Masterplanning Tel: 0208 942 8942
App No: 2008/2960 Registered: 12/12/2008 Address: 103 - 106 Shoreditch High Street - London - E1 6JN	Submission of details pursuant to condition 12 (method statement for removal & reuse of tiled work) of planning permission 2007/0600 dated 07/08/2008.	Decision Date: 12/02/09 Decision: Approved	Agent: Architecturing Masterplanning Design Tel: Officer: John Kaimakamis	Applicant: Architecturing Masterplanning Tel: 0208 942 8942
App No: 2008/2961 Registered: 12/12/2008 Address: 103 - 106 Shoreditch High Street - London - E1 6JN	Submission of details pursuant to condition 6 (detailed drawings/full particulars) of planning permission 2007/0600 dated 07/08/2008.	Decision Date: 15/05/09 Decision: Approved	Agent: Architecturing Masterplanning Design Tel: Officer: Steve Fraser-Lim	Applicant: Architecturing Masterplanning Tel: 0208 942 8942

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/2962 Submission of details pursuant to condition 8 (shop front details) of planning permission 2007/0600 dated 07/08/2008. **Decision Date:** 15/05/09 **Agent:** Architecturing Masterplanning Design **Applicant:** Architecturing Masterplanning
Registered: 12/12/2008
Address: 103 - 106 Shoreditch High Street - London - E1 6JN **Decision:** Approved **Tel:** **Tel:** 0208 942 8942
Officer: Steve Fraser-Lim

App No: 2008/2963 Submission of details pursuant to Condition 9 (roof plant enclosures of planning permission 2007/0600 dated 07/08/2008. **Decision Date:** 20/02/09 **Agent:** Architecturing Masterplanning Design **Applicant:** Architecturing Masterplanning
Registered: 12/09/2008
Address: 103-106 Shoreditch High Street London E1 6JN **Decision:** Approved **Tel:** **Tel:** 0208 942 8942
Officer: John Kaimakamis

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App No: 2008/2964 Submission of details pursuant to Condition 10(details of dustbin enclosures) of planning permission 2007/0699 dated 07/08/2008. **Decision Date:** 12/02/09 **Agent:** Architecturing Masterplanning Design **Applicant:** Architecturing Masterplanning
Registered: 12/10/2008
Address: 103-106 Shoreditch High Street London E1 6JN **Decision:** Approved **Tel:** **Tel:** 0208 942 8942
Officer: John Kaimakamis

App No: 2008/3015 Installation of two new air conditioning units at roof level to replace existing units. **Decision Date:** 02/02/09 **Agent:** WPPM LTD **Applicant:** Mr Saul Springett
Registered: 12/15/2008
Address: 12 Appold Street London EC2A 2A **Decision:** Approved **Tel:** 01932753203 **Tel:** 02076238872
Officer: Graham Callam

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3020 Registered: 12/12/2008 Address: 103 - 106 Shoreditch High Street - London - E1 6JN	Submission of details pursuant to condition 15 (reuse of street lamps) of planning permission 2007/0600 dated 07/08/2008.	Decision Date: 12/02/09 Decision: Approved	Agent: Architecturing Masterplanning Design Tel: Officer: John Kaimakamis	Applicant: Architecturing Masterplanning Tel: 0208 942 8942
App No: 2008/3032 Registered: 12/16/2008 Address: 60 Great Eastern Street LONDON EC2A 3QR	Alterations and extension of existing terrace at roof level to include new access stair, and glazed balustrading.	Decision Date: 06/02/09 Decision: Approved	Agent: Paolo Cossu Architects Tel: 02073676820 Officer: Megan Fletcher	Applicant: Mr Simon Farley Tel:
App No: 2008/3067 Registered: 01/09/2009 Address: 63 Drysdale Street, London N1 6ND	Existing use of the property as a self contained flat.	Decision Date: 11/02/09 Decision: Approved	Agent: Mercury Planning Tel: 0207 237 0091 Officer: Graham Callam	Applicant: Mr Alexander Savic Tel:
App No: 2008/3069 Registered: 01/09/2009 Address: Hoxton Hall Theatre 130 Hoxton Street London N1 6SH	Renewal of floor (boards) in the ground floor room of the 1910 extension in Stewart Hall.	Decision Date: 09/02/09 Decision: Approved	Agent: TFT Consultants Tel: 02079287998 Officer: David Thompson	Applicant: Ms Hayley White Tel: 02076840060
App No: 2008/3084 Registered: 12/18/2008 Address: The Geffrye Museum Kingsland Road London E2 8EA	Installation of 4 external CCTV security cameras and associated lights and piers on the rear and side elevations of the museum.	Decision Date: 10/02/09 Decision: Approved	Agent: Hok International Ltd Tel: 020 7636 2006 Officer: David Thompson	Applicant: Mr David Dewing Tel: 020 7739 9893

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2008/3109

Existing use of the property as a self contained flat.

**Decision
Date:** 11/02/09**Agent:** CMA Planning Ltd**Applicant:** Paul Street
Investments**Registered:** 01/09/2009**Tel:** 0207 749 7686**Tel:****Address:** Unit 1
20 Clere Street
London
EC2A 4JL**Decision:** Approved**Officer:** Yousef Bahadur**App No:** 2008/3110

Existing use of the property as a self contained flat.

**Decision
Date:** 11/02/09**Agent:** CMA Planning Ltd**Applicant:** Paul Street
Investments**Registered:** 01/09/2009**Tel:** 0207 749 7686**Tel:****Address:** Unit 2
20 Clere Street
London
EC2A 4JL**Decision:** Approved**Officer:** Yousef Bahadur**App No:** 2008/3120Change of use to rehearsal/recording studio with hours
of operation from 09:00 to 00:00 (midnight) Mondays
to Saturdays and 10:00 to 18:00 on Sundays.**Decision
Date:** 26/03/09**Agent:** Mr Sidney Andrelino**Applicant:** Mr Sidney Andrelino**Registered:** 02/09/2009**Tel:** 07859858775**Tel:****Address:** Arch 357
Laburnum Street
London
E2 8BB**Decision:** Refused**Officer:** David Thompson**App No:** 2008/3126Change of use and conversion of two x bedroom live
work unit to two x 2 bedroom self-contained flats and
use of part of third floor as an office (B1 use class).**Decision
Date:** 13/02/09**Agent:** C2 Architects**Applicant:** Mr N Orosz**Registered:** 01/09/2009**Tel:** 0207 480 6464**Tel:****Address:** 126 Shoreditch High
Street London E1 6JE**Decision:** Approved**Officer:** Colin Leadbeatter

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3127	Change of use and conversion of two x bedroom live work unit to 2 x two bedroom self-contained flats and use of part of third floor as an office (B1 use class).	Decision Date: 13/02/09	Agent: C2 Architects	Applicant: Mr N Orosz
Registered: 01/09/2009		Decision: Approved	Tel: 0207 480 6464	Tel:
Address: 126 Shoreditch High Street London E1 6JE			Officer: Colin Leadbeatter	
App No: 2008/3140	Existing use of property as a self-contained flat.	Decision Date: 17/02/09	Agent: Mr Kevin McGeough	Applicant: Mr Philip Kenyon
Registered: 01/08/2009		Decision: Approved	Tel: 0207 378 9801	Tel: 0845 213 3495
Address: Unit 701, 7 Garden Walk London EC2A 3EW			Officer: Graham Callam	
App No: 2008/3171	Samples of materials to be used on the external surfaces of the building required by condition 3 of planning permission ref: 2008/1612.	Decision Date: 18/02/09	Agent: David Ford Architects	Applicant: Mr Jim Armstrong
Registered: 01/07/2009		Decision: Approved	Tel: 0207 407 6488	Tel:
Address: Laburnum Street London E2 8BA			Officer: Colin Leadbeatter	
App No: 2009/0041	Replacement of existing windows to the front and rear elevations with powder coated aluminium windows.	Decision Date: 09/03/09	Agent: Nisus Interiors Ltd	Applicant: Redstone PLC
Registered: 01/22/2009		Decision: Refused	Tel: 0870 458 9242	Tel:
Address: Redstone House, 80 Great Eastern Street London EC2A 3RS			Officer: Evie Learman	
App No: 2009/0054	Erection of an additional floor at third floor level to provide a self-contained unit; erection of a single storey rear extension at second floor level.	Decision Date: 09/03/09	Agent: Bashkal & Associates	Applicant: Mr I Hassan
Registered: 01/14/2009		Decision: Approved	Tel: 020 8884 1169	Tel:
Address: 149 Hackney Road London E2 8JL			Officer: Evie Learman	

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0060	Prior approval for the installation of a 10m telecommunications antennae and ancillary equipment cabinets.	Decision Date: 11/03/09	Agent: Rennison Consultants	Applicant: Rennison Consultants
Registered: 01/30/2009				
Address: Pavement outside 116 - 118, Shoreditch High Street, London, E1 6JE				
App No: 2009/0074	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 10/03/09	Agent: Ashford Commercial Ltd	Applicant: Hackney Housing Regeneration
Registered: 01/20/2009				
Address: 1-85 Follingham Court Drysdale Street London N1 6LU				
App No: 2009/0103	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09	Agent: DP9	Applicant: Middlewater Trading and Investment Ltd
Registered: 01/23/2009				
Address: Building 11, Unit 4A Long Street Hackney, London E2 8HN				
App No: 2009/0105	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09	Agent: DP9	Applicant: Middlewater Trading and Investment Ltd
Registered: 01/23/2009				
Address: Building 1, Unit 3, Long Street London E2 8HN				

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0107 Registered: 01/23/2009 Address: Building 13, Unit 4, Long Street, Hackney, London E2 8HN	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09 Decision: Approved	Agent: DP9 Tel: 0207 004 1721 Officer: Evie Learman	Applicant: Middlewater Trading and Investment Ltd Tel:
App No: 2009/0108 Registered: 01/23/2009 Address: Building 13, Unit 7A, 13 Long Street, Hackney, London E2 8HN	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09 Decision: Approved	Agent: DP9 Tel: 02070041721 Officer: Evie Learman	Applicant: Middlewater Trading and Investment Ltd Tel:
App No: 2009/0109 Registered: 01/26/2009 Address: Building 9, Unit 8, Long Street, London, E2 8HN	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09 Decision: Approved	Agent: DP9 Tel: 02070041721 Officer: Evie Learman	Applicant: Middlewater Trading and Investment Ltd Tel:
App No: 2009/0110 Registered: 01/23/2009 Address: Building 9, Unit 5, Long Street, London E2 8HN	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09 Decision: Approved	Agent: DP9 Tel: 0207 004 1721 Officer: Evie Learman	Applicant: Middlewater Trading and Investment Ltd Tel: 0207 004 1721
App No: 2009/0111 Registered: 01/26/2009 Address: Building 13, Unit 8, Long Street, Hackney, London, E2 8HN	Existing use of the unit as a self-contained flat.	Decision Date: 13/03/09 Decision: Approved	Agent: DP9 Tel: 0207 004 1721 Officer: Evie Learman	Applicant: Middlewater Trading and Investment Ltd Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2009/0112

Existing use of the unit as a self-contained flat.

**Decision
Date:** 13/03/09**Agent:** DP9**Applicant:** Middlewater Trading
and Investment Ltd**Registered:** 01/26/2009**Tel:** 0207 004 1721**Tel:****Address:** Unit 8
11 Long Street
Hackney
E2 8HN**Decision:** Approved**Officer:** Evie Learman**App No:** 2009/0113

Existing use of the unit as a self-contained flat.

**Decision
Date:** 13/03/09**Agent:** DP9**Applicant:** Middlewater Trading
and Investment Ltd**Registered:** 01/26/2009**Tel:** 0207 004 1721**Tel:****Address:** Building 11, Unit 4, Long
Street, Hackney, London
E2 8HN**Decision:** Approved**Officer:** Evie Learman**App No:** 2009/0114

Existing use of the unit as a self-contained flat.

**Decision
Date:** 13/03/09**Agent:** DP9**Applicant:** Middlewater Trading
and Investment Ltd**Registered:** 01/23/2009**Tel:** 0207 004 1721**Tel:****Address:** Building 1, Unit 4, Long
Street, Hackney London
E2 8HN**Decision:** Approved**Officer:** Evie Learman**App No:** 2009/0119

Installation of new shop front.

**Decision
Date:** 09/04/09**Agent:** Daniel Gardener**Applicant:** Daniel Gardiner**Registered:** 02/18/2009**Tel:** 01462 452 558**Tel:****Address:** 140 Shoreditch High
Street, London E1 6JE**Decision:** Approved**Officer:** Evie Learman

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0128 Registered: 01/28/2009 Address: 6 Yorkton Street London E2 8NH	Listed Building Consent for the erection of a single storey building at roof level.	Decision Date: 19/03/09 Decision: Approved	Agent: Cox Bulleid Architect Tel: 02077290805 Officer: Colin Leadbeatter	Applicant: Peter Riley Tel: 02077490940
App No: 2009/0129 Registered: 03/16/2009 Address: 105 Worship Street London EC2A 2DG	Retention of works: Alteration to shop front involving the installation of new access door.	Decision Date: 01/05/09 Decision: UNCON	Agent: Bashkal & Associates Tel: 020 8884 1169 Officer: Evie Learman	Applicant: City Cafe Tel:
App No: 2009/0131 Registered: 01/28/2009 Address: 6 Yorkton Street London E2 8NH	Single storey extension at roof level to create a roof top timber clad pavilion on the existing roof terrace.	Decision Date: 19/03/09 Decision: Approved	Agent: Cox Bulleid Architect Tel: 02077290805 Officer: Colin Leadbeatter	Applicant: Peter Riley Tel: 02077490940
App No: 2009/0142 Registered: 01/26/2009 Address: 141-143 Shoreditch High Street, London EC2	Installation of new entrance doors.	Decision Date: 18/03/09 Decision: Approved	Agent: Mr Robert Gillard Tel: Officer: Graham Callam	Applicant: Ablethiro Tel:
App No: 2009/0215 Registered: 03/04/2009 Address: 110 Curtain Road London EC2A 3AH	Change of use of ground floor and basement levels from B1 (Office) to A1 (Retail), with a proposed new side entrance with wheelchair lift and associated internal alterations.	Decision Date: 06/04/09 Decision: Refused	Agent: Henshall Trading Inc Tel: Officer: Colin Leadbeatter	Applicant: Henshall Trading Inc Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0231 Registered: 02/04/2009 Address: 57 Great Eastern Street, London, EC2A 3Q	Retention of non-illuminated projecting banner advertisement.	Decision Date: 25/03/09 Decision: Refused	Agent: Planning Potential Tel: 0207 357 8000 Officer: Yousef Bahadur	Applicant: Pret A Manger Tel: 0207 357 8000
App No: 2009/0234 Registered: 02/23/2009 Address: 79-85 Hackney Road London E2 8ET	Submission of details pursuant to Conditions 3 and 4 (materials and details) of planning permission 2006/0280	Decision Date: 22/04/09 Decision: Approved	Agent: Duggan Morris Architects Ltd Tel: 0207 549 1780 Officer: Ian Bailey	Applicant: Duggan Morris Architects Ltd Tel: 0207 549 1780
App No: 2009/0244 Registered: 02/23/2009 Address: 87-91 Hackney Road London E2 8ET	Submission of details pursuant to Conditions 2 and 3 (materials and details) of planning permission 2004/0738	Decision Date: 22/04/09 Decision: Approved	Agent: Duggan Morris Architects Ltd Tel: 0207 549 1780 Officer: Ian Bailey	Applicant: Duggan Morris Architects Ltd Tel:
App No: 2009/0258 Registered: 02/06/2009 Address: 25 Phipp Street London EC2A 4NP	Samples of materials required by Condition (6) of planning permission ref: 2005/0735.	Decision Date: 25/03/09 Decision: Approved	Agent: CmGs Limited Tel: 0207 583 6767 Officer: Colin Leadbeatter	Applicant: CmGs Limited Tel:
App No: 2009/0262 Registered: 02/16/2009 Address: 105a Great Eastern Street London EC2A 3JD	Erection of a single storey extension at roof level, and a two storey rear extension at first and second floor levels in connection with the conversion of upper floors into 2 residential flats (1 x 1 bed, 1 x 2 bed flat) including a rear third storey roof terrace.	Decision Date: 28/05/09 Decision: Approved	Agent: Mr John Hackshaw Tel: 0041 2133336 Officer: Colin Leadbeatter	Applicant: Mr John Hackshaw Tel: 0041 2133336

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0277 Submission of details pursuant to condition 4 (soundproofing) 7 (refuse storage) planning permission 2004/0738.

Registered: 02/24/2009

Address: 87 - 91 Hackney Road
London E2 8ET

Decision Date: 29/04/09

Decision: Approved

Agent: Regal Homes

Tel: 02073287171

Officer: Ian Bailey

Applicant: Regal Homes.

Tel:

App No: 2009/0282 Variation in time limit for submission of details of proposed Materials, Street Furniture and Lighting (condition 1) and of details of proposed Wheelchair Access to Public Square (condition 6), pursuant to permission ref: 2007/1397 for demolition of existing buildings and structures and erection of a decking structure covering to provide new publicly accessible open space involving hard and soft landscaping and all necessary enabling works. Application under section 73 of Town & Country Planning Act 1990.

Registered: 02/24/2009

Address: Land Fronting Worship Street
Norton Folgate
London - EC2A 3B

Decision Date: 19/03/09

Decision: Approved

Agent: DP9.

Tel: 0207 004 1700

Officer: Ron Madell

Applicant: DP9

Tel: 0207 004 1700

App No: 2009/0286 Submission of details pursuant to Condition 5 (ground surface treatment), 7 (external elevation details), 9 (landscaping), 13 (roof plant), 14 (contamination site investigation), 15 (environmental plan) of planning application reference 2006/0280.

Registered: 02/23/2009

Address: 79-85 Hackney Road
London,
E2 8EU

Decision Date: 29/05/09

Decision: Approved

Agent: Regal Homes

Tel: 0207 328 7171

Officer: Ian Bailey

Applicant: Regal Homes

Tel:

App No: 2009/0301 Rendering of rear elevation together with the blocking up of existing fireplace openings.

Registered: 02/13/2009

Address: 10 Pitfield Street,
London,
N1 6HA

Decision Date: 02/04/09

Decision: Refused

Agent: lawtonduffy

Tel: 07768 838 208

Officer: Evie Learman

Applicant: Mr Haleem Kherallah

Tel: 020 7724 0919

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0304 Registered: 02/18/2009 Address: 1-20 Singer Street and 111 Great Eastern Street London EC2A 4BQ	Removal of condition 2 (restriction on user) attached to planning permission reference J.8812 (TP/85953/GR/JNA) dated 22nd December 1975.	Decision Date: 07/04/09 Decision: Approved	Agent: Abrahams Dresden LLP Tel: 020 7251 3663 Officer: Colin Leadbeatter	Applicant: Mr Paul Shinwell Tel:
App No: 2009/0366 Registered: 02/20/2009 Address: 107 Great Eastern Street London EC2A 3JD	Prior Approval for the installation of a public payphone box on the pavement.	Decision Date: 09/04/09 Decision: DNR	Agent: Mr Philip Pearson Tel: 01827 55987 Officer: Tyler Sharratt	Applicant: Mr Philip Pearson Tel: 01827 55987
App No: 2009/0367 Registered: 02/20/2009 Address: 335 Old Street London EC1V 9LL	Prior Approval for the installation of a public payphone box on the pavement.	Decision Date: 09/04/09 Decision: Refused	Agent: Mr Philip Pearson Tel: 01827 55987 Officer: Tyler Sharratt	Applicant: Mr Philip Pearson Tel: 01827 55987
App No: 2009/0368 Registered: 02/20/2009 Address: 233 Shoreditch High Street, London E1 6PJ	Prior Approval for the installation of a public payphone box on the pavement.	Decision Date: 09/04/09 Decision: Refused	Agent: Mr Philip Pearson Tel: 01827 55987 Officer: Tyler Sharratt	Applicant: Mr Philip Pearson Tel: 01827 55987
App No: 2009/0369 Registered: 02/20/2009 Address: 151 Curtain Road London EC2A 3QL	Prior Approval for the installation of a public payphone box on the pavement.	Decision Date: 09/04/09 Decision: Refused	Agent: Mr Philip Pearson Tel: 01827 55987 Officer: Tyler Sharratt	Applicant: Mr Philip Pearson Tel: 01827 55987

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0370 Registered: 02/18/2009 Address: 275 Old Street London EC1V 9LN	Prior approval for the installation of a public payphone box on the pavement.	Decision Date: 09/04/09 Decision: DNR	Agent: Mr Philip Pearson Tel: 01827 55987 Officer: Evie Learman	Applicant: Mr Philip Pearson Tel: 01827 55987
App No: 2009/0411 Registered: 02/20/2009 Address: Outside Number 21, Shoreditch High Street London E1 6PN	Prior approval for the installation of a telecommunications antennae and ancillary equipment cabinets.	Decision Date: 09/04/09 Decision: Refused	Agent: PHA Communications LTD Tel: 01582 833 256 Officer: Evie Learman	Applicant: Orange PCS Ltd Tel:
App No: 2009/0435 Registered: 02/27/2009 Address: 25 - 27 Curtain Road London EC2A 3L	Demolition of the existing building and construction of a seven storey replacement building to provide 480 sq mtrs of B1 office space at basement ground and first floor levels and 9 self contained residential (C3) flats on the upper floors (comprising of 3 x 3 bedroom flats, 4 x 2 bedroom flats and 2 x 1 bedroom flats) with a rear second floor roof terrace and front and rear sixth floor roof terraces.	Decision Date: 16/04/09 Decision: Refused	Agent: GML Architects Ltd. Tel: 0207 490 4299 Officer: Colin Leadbeatter	Applicant: S. Openheimer LTD Tel: 0207 490 4299
App No: 2009/0436 Registered: 02/27/2009 Address: 25 - 27 Curtain Road London EC2A 3L	Demolition of the existing building.	Decision Date: 16/04/09 Decision: Refused	Agent: GML Architects Ltd. Tel: 0207 490 4299 Officer: Colin Leadbeatter	Applicant: S. Openheimer LTD Tel: 0207 490 4299

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0468 Registered: 02/27/2009 Address: Spread Eagle PH 3 Kingsland Road London E2 8AA	Installation of 3 roller shutters to the front elevation.	Decision Date: 20/04/09 Decision: Approved	Agent: Mr Glen Lake Tel: 0208 520 5939 Officer: Tyler Sharratt	Applicant: Ms Madalena Jesus Tel: 0207 729 7186
App No: 2009/0484 Registered: 03/02/2009 Address: 151 Hackney Road London E2 8JL	Details of dustbin and recycling enclosures required by condition 3 of Planning Permission ref:2008/0585.	Decision Date: 22/04/09 Decision: Approved	Agent: Bashkal & Associates Tel: 020 8884 1169 Officer: Michael Garvey	Applicant: Mr Temel Alp Tel: 07904196672
App No: 2009/0510 Registered: 03/05/2009 Address: Tea Building 56 Shoreditch High Street London E1 6JJ	Alterations at ground floor level to include new entrance doors and windows to the south elevation and west elevation.	Decision Date: 27/04/09 Decision: Approved	Agent: Richard Hillebron Tel: 020 7600 3669 Officer: Yousef Bahadur	Applicant: Derwent Valley London Limited Tel: 020 7659 3017
App No: 2009/0539 Registered: 03/11/2009 Address: 50 Lee Street London E8 4DY	Submission of details pursuant to condition 3 (external, materials including glazing), condition 4 (facing brick), condition 5 (materials at building, boundary, walls & ground surfaces) and condition 6 (ground surface treatment) of planning permission ref: 2005/2656.	Decision Date: 22/04/09 Decision: Approved	Agent: B P M Architects. Tel: 020 7487 4432 Officer: Ian Bailey	Applicant: B P M Architects Tel: 020 7487 4432
App No: 2009/0556 Registered: 03/12/2009 Address: 123 Shoreditch High Street London E1 6JE	Erection of awnings to the Shoreditch High Street elevation.	Decision Date: 04/05/09 Decision: Approved	Agent: Mr Shane Kenny Tel: Officer: Graham Callam	Applicant: Mr Richard coomet Tel:

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details****App No:** 2009/0571

Retention of works: Alterations to shop front involving the installation of a new access door; internal alterations.

Decision Date: 01/05/09**Agent:** Bashkal & Associates**Applicant:** City Cafe**Registered:** 03/16/2009**Address:** 105 Worship Street
London
EC2A 2DG**Decision:** Approved**Tel:** 020 8884 1169**Tel:****Officer:** Evie Learman**App No:** 2009/0609

Replacement of existing softwood windows with UPVC windows.

Decision Date: 12/05/09**Agent:** Ashford Commercial Ltd**Applicant:** Hackney Housing Regeneration**Registered:** 03/20/2009**Address:** 1-35 Follingham Court
Drysedale Street London
N1 6LU**Decision:** Refused**Tel:** 01692 500 432**Tel:** 020 8356 5000**Officer:** Yousef Bahadur**App No:** 2009/0612

Replacement of softwood windows with UPVC Windows.

Decision Date: 11/05/09**Agent:** Ashford Commercial Ltd**Applicant:** Hackney Housing Regeneration**Registered:** 03/23/2009**Address:** 36-85 Follingham Court
Drysedale Street
London N1 6LU**Decision:** Refused**Tel:** 01692 500 432**Tel:****Officer:** Yousef Bahadur**App No:** 2009/0690

Existing use of the upper floors as three self-contained residential units.

Decision Date: 21/05/09**Agent:** Willingale Associates**Applicant:** Mr Guy Zisser**Registered:** 03/27/2009**Address:** 42 Great Eastern Street
London
EC2A 3EP**Decision:** Approved**Tel:** 0207 490 5506**Tel:** 0207 443 5035**Officer:** Graham Callam**App No:** 2009/0710

Change of use of existing retail unit (A1) to a café (A3)/Bar (A4) with opening hours of 07:00 - 00:00 Monday to Friday 07:00 - 02:00 on Saturday and 07:00 - 23:00 on Sunday and Bank Holidays.

Decision Date: 22/05/09**Agent:** Archipek**Applicant:** Mr Adnan Pisiren**Registered:** 04/15/2009**Address:** 132 Kingsland Road
london E2 8DP**Decision:** Refused**Tel:****Tel:****Officer:** Noel Kelly

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0739 Registered: 04/08/2009 Address: 79 -85 Hackney Road London E2 8EU	Submission of r details pursuant to condition 16 (noise level assessment), 17 (PPG24 assessment) and 18 (internal noise levels) of planning permission 2006/0280 dated 24 June 2006	Decision Date: 29/04/09 Decision: Approved	Agent: Regal Homes Tel: Officer: Ian Bailey	Applicant: Regal Homes. Tel:
App No: 2009/0740 Registered: 04/07/2009 Address: 87-91 Hackney Road London E2 8ET	Submission of details pursuant to Condition 5 (noise report) of planning permission 2004/0738 dated 12th October 2006	Decision Date: 28/04/09 Decision: Approved	Agent: Regal Homes Tel: 020 7490 4299 Officer: Ian Bailey	Applicant: Regal Homes. Tel: 02073287171
App No: 2009/0746 Registered: 04/16/2009 Address: Arches 477-478 36 Batemans Row London EC2A	Temporary change of use from B8 to retail (Class A1) and community use (Class D1) until 31/10/2011.	Decision Date: 26/05/09 Decision: Approved	Agent: CMA Planning Tel: 020 7749 7686 Officer: Noel Kelly	Applicant: Nike UK Ltd Tel:
App No: 2009/0757 Registered: 04/09/2009 Address: Arches 477-478 36 Batemans Row London EC2A	Section 73 Application for the removal of Condition N° 6 (No retail sales) relating to previously approved planning application Ref. 2008/2050	Decision Date: 26/05/09 Decision: Approved	Agent: CMA Planning Tel: 020 7749 7686 Officer: Noel Kelly	Applicant: Nike UK Ltd Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2124 Registered: 08/19/2008 Address: Eagle House Land bounded by 159-189 City Road Britannia Walk Ebenezer Street & Westland Place London N1 7EH	Submission of details pursuant to condition 23 (renewable energy measures) of planning permission ref: 2006/0201.	Decision Date: 06/02/09 Decision: Approved	Agent: DP9 Tel: 0207 758 9600 Officer: Adam Flynn	Applicant: Morley Pooled Pensions Ltd & Tel: 0207 758 9600
App No: 2008/2586 Registered: 12/04/2008 Address: Regents Vocational College Nile Street London N1 7RD	Development of a single storey modular building to provide a nursery classroom.	Decision Date: 03/04/09 Decision: Approved	Agent: Mr Bhojani Tel: 0207 812 2357 Officer: David Thompson Agent: Mr Bhojani Tel: 0207 812 2357	Applicant: Julie Jones Tel:
App No: 2008/2811 Registered: 12/18/2008 Address: 1-57 Nevitt House Cranston Estate New North Road London N1 6TD	Installation of new balcony railings; new refuse store enclosure and three new canopy over entrance doors.	Decision Date: 05/03/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Mr Lionel Dezoysa Tel:
App No: 2008/2881 Registered: 01/29/2009 Address: 43 Pitfield Street London N1 6DA	Retrospective application for the erection of second and third floor extension to provide two additional offices (B1) and change of use of third floor flat (C3) to office (B1).	Decision Date: 12/03/09 Decision: Refused	Agent: Midas Planning Tel: 07890562875 Officer: Colin Leadbeatter	Applicant: Sai Ventures Ltd Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2883 Registered: 02/12/2009 Address: 105 Shepherdess Walk, London N1 7QD	Retention of a balcony at rear ground floor level with steps to the rear garden, new window and proposed raising of side boundary wall.	Decision Date: 02/04/09 Decision: Refused	Agent: Mr Robert Olins Tel: 01594 834 660 Officer: Evie Learman	Applicant: Mr Robert Olins Tel:
App No: 2008/2896 Registered: 01/08/2009 Address: 50-60 Wharf Road London N1 7EW	Installation of public art installation at the site.	Decision Date: 24/02/09 Decision: Approved	Agent: Plan Projects Ltd Tel: 0207 739 3007 Officer: Graham Callam	Applicant: Mr John Hindle Tel: 01322 665 522
App No: 2008/2932 Registered: 12/18/2008 Address: St Monicas RC Primary School, Hoxton Square, N1 6NT	Erection of a two storey stairwell extension and a single storey walkway extension at first floor level to the northern elevation of the main block	Decision Date: 06/02/09 Decision: Approved	Agent: The David Rackam Partnership Tel: 01245 381 500 Officer: Megan Fletcher	Applicant: R C Primary School Tel:
App No: 2008/3004 Registered: 01/07/2009 Address: Shoreditch Activity Centre Mintern Street London N1 5EF	Renewal of external surfaces of building including existing roof coverings and fascias and replacement of doors and windows.	Decision Date: 02/02/09 Decision: Approved	Agent: Ingleton Wood Tel: 02076804400 Officer: Colin Leadbeatter	Applicant: Ms Sharon Louth Tel: 020 8820 7481
App No: 2008/3179 Registered: 01/23/2009 Address: 227 - 227C City Road Windsor Terrace London EC1V 1JT	Submission of details pursuant to condition 18 (Wheel Washing Facilities) of planning permission 2005/0272	Decision Date: 02/04/09 Decision: Approved	Agent: The Tooley & Foster Partnership Tel: 020 8504 9711 Officer: Ian Bailey	Applicant: The Tooley & Foster Partnership. Tel:

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details**

App No: 2009/0003
Registered: 03/03/2009
Address: Eagle House Land bounded by 159-189 City Road
 Britannia Walk Ebenezer Street & Westland Place
 London N1 7EH

Submission of details pursuant to condition 2 (materials) of planning permission 2006/0201.

Decision Date: 15/05/09
Decision: Approved

Agent: Hunters
Tel: 0208 237 8200
Officer: Ian Bailey

Applicant: Hunters.
Tel: 0208 237 8200

App No: 2009/0068
Registered: 02/06/2009
Address: 205-207 City Road
 London EC1V 1JN

Change of use of part of fourth floor from B1 to D1

Decision Date: 23/03/09
Decision: Approved

Agent: Murdoch Associates
Tel: 01279 503 616
Officer: Michael Garvey

Applicant: Land & Equity Holdings Ltd
Tel:

App No: 2009/0183
Registered: 02/25/2009
Address: 141B Hoxton Street,
 London N1 6QG

Retention of new white UPVC windows and doors.

Decision Date: 14/04/09
Decision: UNCON

Agent: Mr Anthony O Akinrele
Tel:
Officer: Yousef Bahadur

Applicant: Mrs Fatima Yakubu
Tel:

App No: 2009/0247
Registered: 02/10/2009
Address: 59 Pitfield Street London
 N1 6BU

Change of use of ground floor and basement premises from A1 (Retail) Use to mixed A3 (Restaurant) / A5 (Hot food take away) use.

Decision Date: 26/03/09
Decision: Approved

Agent: Lawton Duffy
Tel: 01628 530 611
Officer: David Thompson

Applicant: Mr Haleem Kherallah
Tel: 020 7724 0919

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0305 Registered: 02/18/2009 Address: 1-44 Crondall Court St Johns Estate N1 6TZ	Replacement of existing windows with UPVC windows.	Decision Date: 03/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 02072417652
App No: 2009/0306 Registered: 02/17/2009 Address: 29-40, Micawber Court, Windsor Terrace, London, N1 7TG	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 03/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 020 7241 7652
App No: 2009/0308 Registered: 02/17/2009 Address: 1-12 Micawber Court Hackney London N1 7TH	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 03/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 02072417652
App No: 2009/0311 Registered: 02/19/2009 Address: 1-20, Kinder House, Cranston Estate, London, N1 5EJ	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 03/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 020 7241 7652

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0313 Registered: 02/19/2009 Address: 41-52, Micawber Court, Windsor Terrace, London, N1 7TG	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 03/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 020 7241 7652
App No: 2009/0332 Registered: 02/17/2009 Address: 409 Union Wharf, 23-25 Wenlock Road, N1 7SZ	Existing use of property as a self contained flat .	Decision Date: 06/04/09 Decision: Approved	Agent: Mr Solve Sundsbo Tel: 0207 739 5155 Officer: Graham Callam	Applicant: Mr Solve Sundsbo Tel:
App No: 2009/0344 Registered: 02/18/2009 Address: 1-24 Daniell House, Cranston Estate, London, N1 5EH	Replacement of existing windows with UPVC windows.	Decision Date: 08/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 2608
App No: 2009/0345 Registered: 02/18/2009 Address: 200-242 Crondall Street, Arden Estate, London N1 6JQ	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 08/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0207 241 7652
App No: 2009/0347 Registered: 02/18/2009 Address: 1-60 Hathaway House, London N1 6QE	Replacement of existing windows with UPVC windows.	Decision Date: 08/04/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0207 241 7652

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0351	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 08/04/09	Agent: Ashford Commercial Ltd	Applicant: Hackney Housing Regeneration
Registered: 02/18/2009			Tel: 01692 500 432	Tel: 0207 241 7652
Address: 1-50 Marshall House, Cranston Estate London N1 5EH		Decision: Approved	Officer: Yousef Bahadur	

App No: 2009/0457	Change of use of part of ground floor to allow uses within classes A1 (retail), A2 (financial/professional services), D1 (non-residential institutions) and D2 (assembly and leisure) in addition to the B1 use that the space was originally approved with (as per planning permission ref: 2007/0987).	Decision Date: 20/04/09	Agent: Savills	Applicant: JG Shoreditch LLP
Registered: 03/04/2009			Tel: 0207 353 0202	Tel:
Address: 100 East Road London N1 6AA		Decision: Approved	Officer: Rokos Frangos	

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App No: 2009/0501	Change of use of first floor from live/work (sui generis) to office (B1).	Decision Date: 29/04/09	Agent: DRDArchitecture Ltd.	Applicant: Mr Daniel Rodriguez-Dupont
Registered: 03/10/2009			Tel: 0207 388 1058	Tel: 0207 388 1058
Address: 13 Westland Place London N1 7LP		Decision: Approved	Officer: Colin Leadbeatter	

App No: 2009/0559	Retention of an externally illuminated signage panel fronting regents Canal.	Decision Date: 04/05/09	Agent: The London Planning Practice	Applicant: Access Self Storage
Registered: 03/12/2009			Tel: 020 7557 9994	Tel: 020 7557 9994
Address: 48 - 48A Eagle Wharf Road London N1 7ED		Decision: Approved	Officer: Evie Learman	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0685 Registered: 04/01/2009 Address: 1-35 Falstaff House Arden Estate London N1 6PP	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 20/05/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 5000
App No: 2009/0687 Registered: 04/01/2009 Address: 1-60 Hathaway House Arden Estate, London N1 6QE	Replacement of existing private and communal balcony/walkway balustrade with new balustrade.	Decision Date: 20/05/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0207 356 5000
App No: 2009/0688 Registered: 04/07/2009 Address: 1-10 Charmian House Arden Estate London N1 6QA	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 20/05/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 020 8356 5000
App No: 2009/0689 Registered: 04/07/2009 Address: 1-25 Juliet House, Arden Estate, London, N1 6PL	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 20/05/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0207 356 5000
App No: 2009/0694 Registered: 04/02/2009 Address: 1-12 Bianca House, Arden Estate, London, N1 6PS	Replacement of existing windows and doors with new windows and doors.	Decision Date: 20/05/09 Decision: Approved	Agent: Ashford Commercial Ltd Tel: 01692 500 432 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 02083565000

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****KP**

App No: 2008/1159	Existing use of property as two self-contained flats.	Decision Date: 31/03/09	Agent: Hartleys Projects Ltd	Applicant: Mr H Hussain
Registered: 05/22/2008			Tel: 020 7704 8272	Tel:
Address: 184 Millfields Road London E5 0AR		Decision: Refused	Officer: Evie Learman	
App No: 2008/2528	Submission of details pursuant to conditions 7 and 8 (contaminated land) of planning permission ref: 2007/0963	Decision Date: 12/03/09	Agent: Capita Symonds Ltd.	Applicant: Capita Symonds Ltd
Registered: 10/20/2008			Tel: 020 7870 9300	Tel:
Address: Millfields Waste Transfer Station Millfields Road - Clapton London E5 0AR		Decision: Approved	Officer: Ian Bailey	
App No: 2008/2752	Submission of details pursuant to Condition 5 (landscaping) of planning permission 2004/2185	Decision Date: 28/04/09	Agent: Robinson Kenning & Gallagher	Applicant: Sanctuary Housing Association
Registered: 04/23/2009			Tel: 0208 684 8125	Tel:
Address: Site Between No 10 And Electric Sub Station Kingsmead Way London E9 5QG		Decision: Approved	Officer: Ian Bailey	
App No: 2008/3003	Replacement of existing windows and doors with UPVC replacement and felt covering roof to be renewed with new felt covering at Clapton Park Day Nursery.	Decision Date: 02/02/09	Agent: Ingleton Wood	Applicant: Ms Sharon Louth
Registered: 12/19/2008			Tel: 02076804400	Tel: 020 8820 7481
Address: 161 Daubeney Road London E5 0EP		Decision: Approved	Officer: Noel Kelly	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3046 Registered: 12/18/2008 Address: 45 Lockhurst Street London E5 0AP	Conversion of single dwelling house to create two self-contained flats comprising 1x3 bed flat and 1x2 bed flat together with the provision of refuse facilities to the front of the premises.	Decision Date: 04/02/09 Decision: Approved	Agent: Bostall Architectural Services Tel: 01322 557 566 Officer: Noel Kelly	Applicant: Evering Investments Ltd Tel:
App No: 2008/3155 Registered: 01/07/2009 Address: 26-32 Adley Street London E5 0DY	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 17/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Megan Fletcher	Applicant: Hackney Housing Regeneration Tel: 02083565000
App No: 2008/3156 Registered: 01/12/2009 Address: 2-8 Adley Street, London, E5 0DY	Replacement of existing windows and doors with new UPVC windows and doors	Decision Date: 17/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Megan Fletcher	Applicant: Hackney Housing Regeneration Tel: 02083565000
App No: 2008/3157 Registered: 01/09/2009 Address: 10-16 Adley Street, London, E5 0DY	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 17/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Megan Fletcher	Applicant: Hackney Housing Regeneration Tel: 02083565000
App No: 2008/3158 Registered: 01/07/2009 Address: 17-23 Adley Street, London, E5 0DY	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 17/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Megan Fletcher	Applicant: Hackney Housing Regeneration Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3160
Registered: 01/09/2009
Address: 18-24 Adley Street,
 London, E5 0DY

Replacement of existing windows and doors with new UPVC windows and doors.

Decision Date: 17/02/09
Decision: Approved

Agent: Piper Double Glazing Limited
Tel: 01843 850 500
Officer: Megan Fletcher

Applicant: Hackney Housing Regeneration
Tel: 02083565000

App No: 2009/0026
Registered: 01/28/2009
Address: St Jude R.C. Church,
 76 Blurton Road,
 London
 E5 0NH

Erection of access ramp from street level to upper ground floor level along the eastern side elevation.

Decision Date: 18/03/09
Decision: Refused

Agent: John Crown
Tel: 023 92 421370
Officer: Graham Callam

Applicant: Westminster Roman Catholic Trustee
Tel: 0208 525 1929

App No: 2009/0090
Registered: 01/23/2009
Address: 183 Homerton High
 Street London E9 6BB

Retention of excavated basement to dwelling house to provide a separate 1 x bedroom self-contained flat with lightwell.

Decision Date: 19/03/09
Decision: Refused

Agent: USE Architects
Tel: 0208 986 8111
Officer: David Thompson

Applicant: Ms Aurelia Timco
Tel: 0208 986 8111

App No: 2009/0390
Registered: 03/16/2009
Address: 187 Homerton High
 Street

Change of use of dwellinghouse to Nursery, opening hours 07:30 to 18:30 Monday to Friday, and erection of rear dormer.

Decision Date: 05/05/09
Decision: Refused

Agent: Ayo & Ayo Architects
Tel: 07957 184947
Officer: Michael Garvey

Applicant: Yemi Moradeyo
Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0461 Registered: 04/07/2009 Address: Unit A 96 Glyn Road London E5 0JD	Change of use of part rear basement and ground floor shop to residential (C3) and reconfiguration of existing flat to create 2 x 3 bed flats, together with the creation of rear basement lightwell, erection of first floor rear extension and single storey side extension, alterations to the ground floor shop front and side and rear elevations.	Decision Date: 26/05/09 Decision: Refused	Agent: Peter Hutchinson Architect Tel: 01795 531 787 Officer: Noel Kelly	Applicant: Mr R Patel Tel:
App No: 2009/0666 Registered: 04/01/2009 Address: Hackney Marsh Adventure Playground Kingsmead Way London E9 5PP	Redevelopment to provide new single storey children's activity centre on same site involving new landscaping and sensory garden	Decision Date: 14/05/09 Decision: Approved	Agent: Portakabin Limited Tel: 01904 681 908 Officer: David Thompson	Applicant: The Learning Trust Tel:
App No: 2009/0673 Registered: 03/26/2009 Address: 40 Lockhurst Street London E5 0AP	Erection of external staircase from first floor level to rear garden; alteration of window to door at first floor level.	Decision Date: 15/05/09 Decision: Approved	Agent: Ms Jaquetta May Tel: 0208 533 7639 Officer: Yousef Bahadur	Applicant: Ms Jaquetta May Tel: 0208 533 7639
App No: 2009/0770 Registered: 08/04/2009 Address: 9A Kingsmead Way London E9 5QG	Sample of materials required by condition 3 of planning permission ref: 2008/1373	Decision Date: 29/05/09 Decision: Approved	Agent: Matthew Lloyd Architects LLP. Tel: 0207613 1934 Officer: David Thompson	Applicant: Matthew Lloyd Architects LLP Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2007/0531 Registered: 03/26/2007 Address: Latham's Yard, Mount Pleasant Hill	Submission of details of a sustainable travel plan pursuant to clause 4.1.2 of the section 106 legal agreement attached to planning permission 2006/2195	Decision Date: 12/03/09 Decision: Approved	Agent: GeraldEve Tel: 020 7333 6292 Officer: Paul Robinson	Applicant: Gerald Eve Tel:
App No: 2008/0297 Registered: 02/15/2008 Address: Lathams Yard - Mount Pleasant Hill - Clapton E5	Submission of details pursuant to condition 4 (Material finishes, construction details, refuse and recycling strategy) of planning permission ref: 2005/1756	Decision Date: 10/02/09 Decision: Approved	Agent: George Wimpey East London Ltd Tel: 01277 236 800 Officer: Anthony Traub	Applicant: George Wimpey East London Ltd Tel:
App No: 2008/1730 Registered: 01/07/2009 Address: 44 Fletching Road London E5 9QP	Conversion of a single dwelling house to create 2 self-contained flats (comprising 1 x 3 bed flat and 1 x 2 bed flat) together with alterations to the rear elevation.	Decision Date: 17/02/09 Decision: Approved	Agent: MZA Associates Ltd Tel: 0844 500 50 50 Officer: Noel Kelly	Applicant: Mr Vesamia Tel:
App No: 2008/2275 Registered: 10/02/2008 Address: Riverside House Leaside Road London E5 9LU	Submission of details pursuant to Condition 2 (materials) of planning permission reference 2006/2800	Decision Date: 28/04/09 Decision: Approved	Agent: RHWL Architects. Tel: 02073797900 Officer: Russell Smith	Applicant: RHWL Architects Tel: 02073797900
App No: 2008/2378 Registered: 01/12/2009 Address: 110 Millfields Road, London E5 0SD	Change of use of ground floor to a studio flat and alterations to the front elevation at ground floor level.	Decision Date: 03/03/09 Decision: Refused	Agent: Mr Ola Fayehun Tel: Officer: Evie Learman	Applicant: Mr Earnest Rayford Uylett Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2008/2583

Amendments to planning permission 2002/2184 involving changes to the exterior of the building.

Decision Date: 13/02/09**Agent:** Mr Michael Wallis**Applicant:** Mr A Patel**Registered:** 12/23/2008**Tel:** 0208 360 3335**Tel:****Address:** 31 Southwold Road
London E5 9PT**Decision:** Refused**Officer:** David Thompson**App No:** 2008/2596

Removal of existing unauthorised roof extension on the rear roof slope and erection of a new dormer roof extension.

Decision Date: 10/03/09**Agent:** Emanuel & Associates**Applicant:** Mr Clive Coleman**Registered:** 01/15/2009**Tel:** 07956 831 521**Tel:****Address:** First Floor Flat , 40
Cotesbach Road London
E8**Decision:** Approved**Officer:** Yousef Bahadur**App No:** 2008/2908

Replacement of existing windows and doors with UPVC windows and doors.

Decision Date: 11/02/09**Agent:** Sovereign Group
Limited**Applicant:** Hackney Housing
Regeneration**Registered:** 01/08/2009**Tel:****Tel:** 0208 356 8358**Address:** 18-34 Almack Road,
Leabridge, London E5
0RL**Decision:** Approved**Officer:** Yousef Bahadur**App No:** 2008/2909

Replacement of existing windows and doors with new UPVC windows and doors.

Decision Date: 11/02/09**Agent:** Sovereign Group LH**Applicant:** Hackney Housing
Regeneration**Registered:** 01/08/2009**Tel:****Tel:****Address:** 85-91 Elderfield Road
Leabridge
E5 0LE**Decision:** Approved**Officer:** Yousef Bahadur

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2936 Registered: 12/17/2008 Address: 39 Chatsworth Road, Hackney London E5	Erection of a single storey rear extension.	Decision Date: 09/02/09 Decision: Approved	Agent: M.R. Planning Tel: Officer: Yousef Bahadur	Applicant: Mr Ghulam Mustafa Tel: 02089858391
App No: 2008/2991 Registered: 01/08/2009 Address: 58 Newick Road London E5 ORR	Conversion of lower ground into a one-bedroom flat, together with excavation of the front garden to form a lightwell and removal of a door and staircase to the rear	Decision Date: 18/02/09 Decision: Approved	Agent: Gauld Architecture Tel: 0207 278 4588 Officer: Yousef Bahadur	Applicant: Mr John Keown Tel: 0208 985 9144
App No: 2008/3052 Registered: 12/19/2008 Address: 90 Chatsworth Road London E5 OLS	Part conversion of existing premises to create three self-contained flats (comprising 3x2 bed flats) together with the erection of a first floor rear extension, provision of a roof extension to allow for the provision of a third floor, alterations to the existing shop layout and installation of new windows and rooflights to front and rear elevations.	Decision Date: 04/02/09 Decision: Refused	Agent: Mr John Domench Tel: Officer: Noel Kelly	Applicant: Mrs B Ali Tel:
App No: 2008/3101 Registered: 01/16/2009 Address: 39 Blurton Road London E5 ONL	Retention of the use of the single dwellings as a House in Multiple Occupation (HMO) consisting of 7 bed sitting room with kitchen and shared bathroom/wc.	Decision Date: 10/03/09 Decision: Approved	Agent: Mr Kamran Naseem Tel: 020 8554 0500 Officer: Noel Kelly	Applicant: Mr Kamran Naseem Tel: 020 8554 0500
App No: 2009/0045 Registered: 01/23/2009 Address: Lathams Yard, Mount Pleasant Hill, Clapton E5 9NF	Submission of details pursuant to part condition 4 (construction details, materials and finishes) of planning application reference 2005/1756 dated 13/10/2005.	Decision Date: 09/04/09 Decision: Approved	Agent: George Wimpey East London Ltd Tel: 01277 236 800 Officer: Anthony Traub	Applicant: George Wimpey East London Ltd. Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0048 Registered: 01/23/2009 Address: Lathams Yard, Mount Pleasant Hill, Clapton E5 9NF	Submission of details pursuant to part condition 4 (construction details, materials and finishes) of planning application reference 2005/1758 dated 19/10/2005.	Decision Date: 14/04/09 Decision: Approved	Agent: George Wimpey East London Ltd Tel: 01277 236 800 Officer: Anthony Traub	Applicant: George Wimpey East London Ltd. Tel:
App No: 2009/0127 Registered: 03/02/2009 Address: Units 10-13 Theydon Road Upper Clapton London E5 9BQ	Erection of 2.4m high metal railing fencing with associated pedestrian access gates and sliding gates across existing vehicle crossovers and enlargement of existing Refuse store area to provide Air Conditioning Plant.	Decision Date: 09/04/09 Decision: Approved	Agent: J S Designs (London) Ltd Tel: 01322 286 506 Officer: Noel Kelly	Applicant: Pleasant Hill Properties Ltd Tel:
App No: 2009/0210 Registered: 03/06/2009 Address: 72 Median Road, London, E5 0PN	Alterations to boundary wall along Glenarm Road to the rear of No. 72 Median Road	Decision Date: 29/04/09 Decision: Approved	Agent: Mr Samuel Moore Tel: 295 524 436 Officer: Evie Learman	Applicant: Mr Samuel Moore Tel: 295 524 436
App No: 2009/0254 Registered: 02/11/2009 Address: 15A Urban Hive, Theydon Road, London, E5 9BQ	Retention of 1 x internally illuminated fascia sign and 1x internally illuminated projecting sign.	Decision Date: 27/03/09 Decision: Approved	Agent: Sign Specialists Ltd Tel: 01527 504 276 Officer: Megan Fletcher	Applicant: Assura Pharmacy Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0255 Registered: 02/18/2009 Address: 148 Lower Clapton Road London E5 0GT	Approval of details pursuant to Condition 4(Details of new windows and doors, details of brickwork, bond and pointing) Condition 5(Dustbin and recycling enclosures) attached to approval (reference 2008/2024).	Decision Date: 09/04/09 Decision: Approved	Agent: Michael Sierens Associates Tel: 020 8520 2008 Officer: Michael Garvey	Applicant: Bert Garrod Ltd Tel:
App No: 2009/0256 Registered: 03/11/2009 Address: 148 Lower Clapton Road London E5 0GT	Approval of Details pursuant to condition 3 (External Materials) attached to approval reference 2008/2024.	Decision Date: 22/04/09 Decision: Approved	Agent: Michael Sierens Associates Tel: 020 8520 2008 Officer: Michael Garvey	Applicant: Bert Garrod Ltd Tel:
App No: 2009/0264 Registered: 03/25/2009 Address: 4A Mildenhall Road London E5 0RU	Conversion of single dwelling house to create 3 self-contained flats comprising 1 x 3 bed flat, 1 x 2 bed flat and 1 x 1 bed flat together with the erection of a rear roof extension and new windows and doors to the front and rear elevations.	Decision Date: 12/05/09 Decision: Refused	Agent: Mr Sascha Thorpe Tel: 020 7503 1776 Officer: Colin Leadbeatter	Applicant: Mr Ahmed Mukhtar Tel:
App No: 2009/0280 Registered: 03/17/2009 Address: 82 Powerscroft Road London E5 0PP	Proposed erection of a single storey rear extension.	Decision Date: 06/05/09 Decision: Approved	Agent: Mr Steven Fitzwilliam Tel: Officer: Graham Callam	Applicant: Steven Ben Cater Tel:
App No: 2009/0319 Registered: 02/19/2009 Address: 1 Cornthwaite Road London E5 0RS	Erection of 2 x 3 bedroom semi-detached dwellinghouses at basement and ground floor level together with associated lightwells, external terrace, bin storage areas and bike storage areas.	Decision Date: 07/04/09 Decision: Approved	Agent: John Stebbing Architect Ltd Tel: 01284 704546 Officer: Ly Mach	Applicant: Mr Michael Patel Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0346 Registered: 03/02/2009 Address: Rushmore Primary School Elderfield Road E5 0LE	Removal of condition 6 (timber treatment details and maintenance schedule) of planning permission ref. 2008/0285.	Decision Date: 20/04/09 Decision: Approved	Agent: The Facility Architects Tel: 020 7740 3214 Officer: Rokos Frangos	Applicant: Anna Susianta Tel:
App No: 2009/0406 Registered: 03/04/2009 Address: 71 Chatsworth Road London E5 0LH	Variation of condition 2 (hours of opening) of planning permission reference TP/91312/GL, to allow hours of operation 08:00 to 03:00 hours Monday to Saturday and 08:00 to 01:00 hours on Sunday for the existing take away premises.	Decision Date: 28/04/09 Decision: Refused	Agent: Adam Sofi Solicitors Tel: 0208 318 4345 Officer: Caroline Ozor	Applicant: Mr Huseyin Ozmen Tel:
App No: 2009/0414 Registered: 03/23/2009 Address: 142 Leabridge Road London E5 0RB	Change of use of part ground floor from Office (B1) to play group Accommodation (D1) and associated enclosure of outdoor play area with opening hours of 8.45 am to 3.30pm Monday to Friday.	Decision Date: 12/05/09 Decision: Refused	Agent: Happitime Play group Tel: 0208 533 1036 Officer: Colin Leadbeatter	Applicant: Happitime Play group Tel:
App No: 2009/0478 Registered: 03/13/2009 Address: 90 Chatsworth Road Hackney London England E5 0LS	Conversion of the upper floors to create 2 self-contained flats (comprising 1 x 2 bed and 1 x 1 bed) together with the erection of a first floor rear extension and a third floor mansard roof extension; conversion of basement to provide store rooms for the existing ground floor shop with associated alterations to the rear and side elevations including the installation of new windows.	Decision Date: 05/05/09 Decision: Approved	Agent: Discount Plans Tel: Officer: Noel Kelly	Applicant: Mrs Ali Mahwood Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2009/0500

Proposed replacement of existing timber windows and doors with new UPVC windows and doors.

**Decision
Date:** 23/04/09**Agent:** Peabody
Trust-Development**Applicant:** Bailey Garner LLP**Registered:** 03/04/2009**Decision:** Approved**Tel:** 020 8294 1000**Tel:****Address:** 65 Cleveleys Road
London E5 9JW**Officer:** Yousef Bahadur**App No:** 2009/0503

Works to TPO Plane in courtyard of Clapton Girls' Technical College: crown reduce to previous points; remove 2 limbs over new building.

**Decision
Date:** 27/04/09**Agent:** Treeline Services Ltd**Applicant:** Mr Trevor Kenward**Registered:** 03/05/2009**Decision:** Refused**Tel:** 01306741800**Tel:****Address:** Clapton Girls Technology
College
Linscott Road/Laura Way
London
E5 0RD**Officer:** Ginny HemmingPage
557**App No:** 2009/0504

Change of use from Cafe (A3) to Nail Palour (Sui Generis) and installation of retractable awning. Opening hours 10am-6pm (Mon-Sat).

**Decision
Date:** 12/05/09**Agent:** Bone Wells Associates**Applicant:** Yen Tran**Registered:** 03/23/2009**Decision:** Approved**Tel:****Tel:****Address:** 96 Lower Clapton Road
London E5 OQR**Officer:** Colin Leadbeatter**App No:** 2009/0515

Retention of works of conversion of a dwelling house to create 3 self contained flats (1x3 Bed, 1x2 Bed and 1x1 bed) together with the reduction in height of the existing rear projection

**Decision
Date:** 24/04/09**Agent:** AJT Design Consultants**Applicant:** Mr Sajid Ismail**Registered:** 03/06/2009**Decision:** Approved**Tel:** 01372 751 993**Tel:****Address:** 19 Colenso Road London
E5 0SL**Officer:** Noel Kelly

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0573 Registered: 03/17/2009 Address: 69A Dunlace Road London E5 ONF	Conversion of single dwelling into 2 self-contained flats comprising 2 x 3 bed flats, together with the removal of existing flat roof of ground floor and first floor rear extension and erection of new pitched roofs, excavation to front elevation to form front lightwell and external alterations.	Decision Date: 06/05/09 Decision: Approved	Agent: YMS Design Ltd Tel: 02082528373 Officer: Noel Kelly	Applicant: Mr Said Mulla Tel: 07877104854
App No: 2009/0599 Registered: 03/20/2009 Address: 122 Millfields Road London E5 0AD	Proposed erection of a single storey ground floor rear extension.	Decision Date: 11/05/09 Decision: Approved	Agent: Mr Philip Aldis Tel: 0208 986 3366 Officer: Graham Callam	Applicant: Mr Philip Aldis Tel: 0208 986 3366
App No: 2009/0615 Registered: 04/15/2009 Address: 2 Dunlace Road London E5 ONE	Erection of additional storey at roof level to provide a 1-bed self-contained flat.	Decision Date: 27/05/09 Decision: Refused	Agent: Steve Georgiou Tel: 020 8368 2592 Officer: Evie Learman	Applicant: Steve Georgiou. Tel: 020 8368 2592
App No: 2009/0631 Registered: 03/23/2009 Address: 96 Lower Clapton Road London E5 OQR	Display of illuminated fascia board and awning above shop frontage (consent to display an advertisement).	Decision Date: 12/05/09 Decision: Approved	Agent: Bone Wells Associates Tel: Officer: Colin Leadbeatter	Applicant: Mr Yen Diep Tran Tel:
App No: 2009/0670 Registered: 04/01/2009 Address: 31 Dunlace Road London E5 ONF	Existing use of the property as two self-contained flats	Decision Date: 19/05/09 Decision: Refused	Agent: Midas Planning Tel: 07890 562 875 Officer: Evie Learman	Applicant: Ms D Hamilton Tel:

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details**

App No: 2009/0721
Registered: 04/08/2009
Address: 31 Gunton Road
 London E5 9JT

Installation of new bay windows to the front elevation at lower ground floor level together with the excavation of the lower ground floor by 300mm.

Decision Date: 22/05/09
Decision: Approved

Agent: CA UK LTD
Tel:
Officer: Evie Learman

Applicant: Mrs Hai Morten Thorsen
Tel:

App No: 2009/0758
Registered: 04/15/2009
Address: 79A Elderfield Road
 London E5 0LE

Erection of a single storey ground floor rear extension; installation of new window at ground level to side elevation.

Decision Date: 27/05/09
Decision: Approved

Agent: Mrs Ingrid Frydenbo-Bruvoll
Tel:
Officer: Evie Learman

Applicant: Mr Steven David Annis
Tel:

App No: 2008/3055
Registered: 12/29/2008
Address: Land Within Planning Delivery Zone 6 of the Olympic Park. Bounded by the Loop Road, to the south and east, to the West by the River Lea, the proposed Velodrome to the North and A12 Further to the North.

Construction of temporary buildings for use for sports, leisure and entertainment purposes within Class D2 for use as a facility for Basketball, Handball, Wheelchair Rugby and Wheelchair Basketball during the Olympic and Paralympic Games; and associated back of house accommodation.

Decision Date: 12/03/09
Decision: NOB

Agent: Olympic Delivery Authority
Tel: 020 8430 6020
Officer: Anthony Traub

Applicant: Olympic Delivery Authority.
Tel:

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details****App No:** 2008/3070

Installation of Hydrogen Fuel Cell Facility (within Lea Interchange Bus Depot) for the operation of up to 10 buses (plus other public service vehicles)

Decision Date: 26/03/09**Agent:** Olympic Delivery Authority**Applicant:** Olympic Delivery Authority.**Registered:** 12/29/2008**Tel:** 020 8430 6020**Tel:****Address:** Lea Interchange Bus Depot
151 Ruckholt Road
Leyton - London - E10 5PB**Decision:** NOB**Officer:** Anthony Traub**App No:** 2009/0364

Submission of foundation and drainage details for the International Broadcast Centre, Main Press Centre (MPC) and Multi-Storey Car Park.

Decision Date: 20/04/09**Agent:** Olympic Delivery Authority.**Applicant:** Olympic Delivery Authority**Registered:** 02/23/2009**Tel:** 020 8430 6020**Tel:****Address:** Land In The Northwestern Part Of The Olympic Park Bounded By The Eastway To The North And The River Lee Navigation To The West Within Olympic Park Delivery Zone 5**Decision:** NOB**Officer:** Anthony Traub**App No:** 2009/0650

Submission of detail pursuant to condition OD.0.35 of planning permission 07/90010/OUMODA, regarding the lighting strategy for the Olympic Park

Decision Date: 06/04/09**Agent:** Olympic Delivery Authority.**Applicant:** Olympic Delivery Authority**Registered:** 03/24/2009**Tel:** 020 8430 6020**Tel:****Address:** London Olympic Site - Land North Of Stratford Town Centre, East Of The Lea Valley Navigation, South Of Eastway And The A12 And West Of The Lea Valley Railway**Decision:** NOB**Officer:** Anthony Traub

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2359 Registered: 10/15/2008 Address: 47-49 Stamford Hill London N16 5SR	Erection of a single storey plus mezzanine floor extension to the rear of the retail store to provide storage space, together with provision of new fire escape doors.	Decision Date: 31/03/09 Decision: Approved	Agent: Aedas Archiects Ltd Tel: 01133858787 Officer: Bernard Haasbroek	Applicant: WM Morrison Supermaket Plc Tel:
App No: 2008/2854 Registered: 01/15/2009 Address: 81 Schonfeld Square, London N16 0QY	Retention of single-storey rear extension	Decision Date: 09/03/09 Decision: Refused	Agent: Shimon Ben David Tel: Officer: Evie Learman	Applicant: Shimon Ben David Tel: 0208 800 3115
App No: 2008/2874 Registered: 01/09/2009 Address: Pavement Outside 2-8 and 9-15 Clays Court Stamford Hill London N16 5TZ	Installation of 1 static and one scrolling advertisement at the northern end of the bus shelter (which is to be relocated to the north of its current location).	Decision Date: 02/03/09 Decision: Approved	Agent: Clearchannel Outdoor Tel: 620 Officer: Graham Callam	Applicant: Mrs ALISON PINK Tel: 620
App No: 2008/2898 Registered: 12/23/2008 Address: 50 Bouverie Road London N16 0AJ	Approval of details pursuant to condition 8 (travel plan), condition 9 (sound insulation scheme) and condition 10 (noise insulation test) attached to planning permission reference 2008/1497 dated 15th August 2008.	Decision Date: 11/02/09 Decision: Approved	Agent: Lichfield Planning LLP Tel: 0207 388 3312 Officer: Caroline Ozor	Applicant: Lichfield Planning LLP Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2917 Registered: 01/12/2009 Address: Stoke Newington Municipal Offices & Assembly Rooms 186 Stoke Newington Church Street London - N16 0JL	Erection of a temporary non-illuminated free standing hoarding sign.	Decision Date: 16/02/09 Decision: Approved	Agent: Hawkins Brown Architects Tel: 020 7336 8030 Officer: Ian Bailey	Applicant: Service First Accommodation Tel:
App No: 2008/3002 Registered: 01/16/2009 Address: Hillside Early Years Centre 1 Leatherhead Close London N16 5QR	External alterations including the installation of new replacement powder coated aluminium doors with raised fascia cladding over; UPVC windows and cladding and renewal of existing flat roofs.	Decision Date: 13/03/09 Decision: Approved	Agent: Ingleton Wood Tel: 02076804400 Officer: Caroline Ozor	Applicant: Ms Sharon Louth Tel: 020 8820 7481
App No: 2008/3005 Registered: 01/08/2009 Address: 157 Holmleigh Road LONDON N16 5QA	Proposed erection of a roof extension on top of existing two storey back addition and link into the rear roof slope.	Decision Date: 05/02/09 Decision: Approved	Agent: Midas Planning Tel: 07890562875 Officer: Yousef Bahadur	Applicant: Mr Y Goldberg Tel:
App No: 2009/0029 Registered: 01/12/2009 Address: 10 Queen Elizabeths Walk London N16 0HX	2 x Sycamore in rear garden - crown reduce by 25%	Decision Date: 18/02/09 Decision: Approved	Agent: R M S Tree Services Tel: 0208 527 0758 Officer: Nick Jacobs	Applicant: Mrs Polly Logan Tel: 0208 8020985

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0124 Registered: 02/23/2009 Address: 59 DUNSMURE ROAD LONDON, N16	Retention of works: Excavation of front garden to provide a light well together with the installation of access stairs, new bay window and door.	Decision Date: 09/04/09 Decision: Refused	Agent: Mr. Jeffrey Howard Tel: Officer: Tyler Sharratt	Applicant: Mr. A Brunner Tel:
App No: 2009/0136 Registered: 01/30/2009 Address: 62 Queen Elizabeths Walk, London, N16 5UX	Proposed erection of two rear roof extensions; installation of 3 roof lights to the front roof slope.	Decision Date: 23/03/09 Decision: Approved	Agent: EA Consulting Tel: 020 83519226 Officer: Graham Callam	Applicant: Mr T J Chapman Tel: 07768 810 498
App No: 2009/0220 Registered: 01/30/2009 Address: 25 Stamford Hill London N16 5TU	Formation of vehicle cross over.	Decision Date: 24/03/09 Decision: Refused	Agent: Mr Jonathan Rumsey Tel: 01708 780 714 Officer: Evie Learman	Applicant: Mr Eli Moskovitch Tel:
App No: 2009/0221 Registered: 02/17/2009 Address: 104 Stoke Newington Church Street Stoke Newington London N16	Existing use of the basement as a social club.	Decision Date: 06/04/09 Decision: Refused	Agent: Mr Errol Constantine Tel: Officer: Graham Callam	Applicant: Mr Errol Constantine Tel:
App No: 2009/0276 Registered: 02/11/2009 Address: 18-20 Bethune Road London N16 5BD	External alterations to existing flats including a glass balustrade to the front balcony and installation of new windows and French doors to new balcony enclosure at rear and raised roof and new roof covering.	Decision Date: 27/03/09 Decision: Approved	Agent: Project 5 Architecture LLP Tel: 0207 739 9131 Officer: Noel Kelly	Applicant: Community Housing Association Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0278 Internal and external alterations including repairs, structural reinforcement, upgrading thermal and acoustic installation, fire separation improvement, slab insulation, new roof covering and new window and French doors to balcony to the rear and raised roof.

Registered: 02/11/2009

Address: 18-20 Bethune Road
London N16 5BD

Decision Date: 26/03/09

Decision: Approved

Agent: Project 5 Architecture
LLP

Tel: 0207 739 9131

Officer: Noel Kelly

Applicant: Community Housing
Association

Tel:

App No: 2009/0283 Conversion of existing 6 flats to form 4 self-contained residential units (comprising 2 x 2 bed and 2x6 bed flats) together with external alterations including installation of new French doors and external staircase to the rear.

Registered: 02/11/2009

Address: 40-46 Manor Road
London N16 5BG

Decision Date: 27/03/09

Decision: Approved

Agent: Project 5 Architecture
LLP

Tel: 0207 739 9131

Officer: Noel Kelly

Applicant: Community Housing
Associate

Tel:

App No: 2009/0285 Internal and external alterations including conversion of existing 6 flats to form 4 self-contained flats, repairs, structural reinforcement, upgrading of thermal and acoustic insulation, fire separation improvement, ground floor slab insulation, new roof covering and installation of new French doors and external staircase to the rear.

Registered: 02/11/2009

Address: 40-46 Manor Road
London N16 5BG

Decision Date: 27/03/09

Decision: Approved

Agent: Project 5 Architecture
LLP

Tel: 0207 739 9131

Officer: Noel Kelly

Applicant: Community Housing
Associate

Tel:

App No: 2009/0287 External alterations to existing flats including new glass balustrade to the front and installation of new windows and French doors at rear and raised roof and new roof covering.

Registered: 02/11/2009

Address: 48-54 Manor Road
London N16 5BG

Decision Date: 27/03/09

Decision: Approved

Agent: Project 5 Architecture
LLP

Tel: 0207 739 9131

Officer: Noel Kelly

Applicant: Community Housing
Associate

Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0289 Registered: 02/11/2009 Address: 48-54 Manor Road London N16 5BG	Internal and external alterations including structural repairs, new insulated ground floor slabs, acoustic upgrading, new windows, doors and French doors to the rear and new roof covering.	Decision Date: 27/03/09 Decision: Approved	Agent: Project 5 Architecture LLP Tel: 0207 739 9131 Officer: Noel Kelly	Applicant: Community Housing Associate Tel:
App No: 2009/0316 Registered: 02/19/2009 Address: 28 St Kilda's Road, London, N16 5BZ	Conversion of existing dwelling house to provide 4 self-contained flats (2x3 Bed and 2x2 bed) together with the erection of a single storey rear extension, excavation of basement to provide front and rear light wells with staircase and railings and provision of 2 roof lights on front elevation.	Decision Date: 06/04/09 Decision: Approved	Agent: John Stebbing Architect Tel: 01284704546 Officer: Noel Kelly	Applicant: Mr Wolf Schwebel Tel:
App No: 2009/0361 Registered: 03/02/2009 Address: 21 Allerton Road London N16 5UJ	Discharge of condition 2 of appeal decision APP/V5360/A/08/2072174 (Materials)	Decision Date: 08/04/09 Decision: Approved	Agent: Knott Architects Tel: 020 7263 8844 Officer: Colin Leadbeatter	Applicant: Peter & Erica Lewis Tel:
App No: 2009/0702 Registered: 04/07/2009 Address: 34-38 Bethune Road London N16 5BD	Structural repairs including, underpinning of the property, demolition and reconstruction of the two storey front addition/entrance stairs, and rear balconies/entrance stairs, partial replacement of side elevation; replacement of existing timber ground floor; re-stitching of fractured brickwork.	Decision Date: 22/05/09 Decision: Approved	Agent: Aldeen Associates Tel: 020 8523 1538 Officer: Graham Callam	Applicant: Rigi Business Cord Tel:
App No: 2009/0703 Registered: 04/08/2009 Address: 34 - 38 Bethune Road London N16 5BD	Structural repairs including, underpinning of the property, demolition and reconstruction of the two storey front addition/entrance stairs, and rear balconies/entrance stairs, partial replacement of side elevation; replacement of existing timber ground floor; re-stitching of fractured brickwork.	Decision Date: 22/05/09 Decision: Approved	Agent: Aldeen Associates Tel: 020 8523 1538 Officer: Graham Callam	Applicant: Rigi Business Cord Tel:

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details****NEW**

App No: 2009/0592	Reserve matters application for the construction of temporary footbridge L03B as a partial discharge of condition OD.0.19 (details of bridges) and OD.0.59 (foundation details) in respect of the Olympic facilities and legacy transformation application (ref: 07/90010/OUMODA).	Decision Date: 20/04/09	Agent: Olympic Delivery Authority.	Applicant: Olympic Delivery Authority
Registered: 03/18/2009		Decision: NOB	Tel: 020 8430 6020	Tel:
Address: PDZ 4 - West of The River Lea and East of Waterden Road, Spanning Across Carpenters Road (A115)		Officer: Anthony Traub		

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App No: 2008/2144	Installation of a non- illuminated hoarding sign measuring 3m high x 6m wide and located 2.7m above ground level for a temporary period of three years.	Decision Date: 03/02/09	Agent: Rolfe Judd Planning	Applicant: Mr Paul Hamilton
Registered: 12/09/2008		Decision: Refused	Tel: 75561500	Tel: 79397340
Address: North Eastern corner of the old school site at the junction of Woodberry Down and Woodberry Grove.		Officer: Graham Callam		

App No: 2008/2767	Retention of 2 front and 2 rear dormer roof extensions.	Decision Date: 09/02/09	Agent: Mr Chaskel Schlaff	Applicant: Mr Chaskel Schlaff
Registered: 12/17/2008		Decision: Refused	Tel:	Tel: 0208 802 8600
Address: 87-89 Darenth Road London N16 6EB		Officer: Graham Callam		

App No: 2008/2802	Excavation including the creation of front and rear light well with stairs leading to rear garden; erection of a ground floor rear extension; conversion of building to provide a 2-bedroom self-contained flat at basement level and a 5-bedroom maisonette on the ground and upper floors.	Decision Date: 18/03/09	Agent: Altaras Architecture Limited	Applicant: Mr Tessler
Registered: 12/04/2008		Decision: Approved	Tel: 01763 848 952	Tel:
Address: 64 Durley Road, London N16		Officer: Evie Learman		

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2906 Registered: 12/30/2008 Address: Flats 1, 3 and 6, Durley House, Durley Road, London N16 5JP	Replacement of existing windows and doors with new UPVC windows and doors	Decision Date: 11/02/09 Decision: Approved	Agent: Sovereign Group Limited Tel: Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 8358
App No: 2008/2920 Registered: 01/08/2009 Address: Bus shelter on pavement outside Stamford Lodge, , London N16 5LS	Installation of 2 single-sided, internally illuminated signs to replacement bus shelter located outside Stamford Lodge, Amburst Park, N16 5LS	Decision Date: 13/02/09 Decision: Approved	Agent: Clearchannel Outdoor Tel: 620 Officer: Evie Learman	Applicant: Mrs Alison Pink Tel: 620
App No: 2008/2922 Registered: 02/03/2009 Address: Pavement outside 162 Stamford Hill, London, N16 6QX	Installation of a double-sided, internally illuminated sign to replacement bus shelter located on pavement outside 162 Stamford Hill, London, N16 6QX.	Decision Date: 27/03/09 Decision: Approved	Agent: Clearchannel Outdoor Tel: 620 Officer: Evie Learman	Applicant: Mrs Alison Pink Tel: 01322620704
App No: 2008/2924 Registered: 01/08/2009 Address: Bus shelter outside 1-12 Holmwood Court, Stamford Hill, N16 5AA	Installation of double-sided, internally illuminated sign to replacement bus shelter located outside 1-12 Holmwood Court N16 5AA	Decision Date: 13/02/09 Decision: Approved	Agent: Clearchannel Outdoor Tel: 01322 620 704 Officer: Evie Learman	Applicant: Mrs Alison Pink Tel: 01322 620 704

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3090 Registered: 01/16/2009 Address: 333 Seven Sisters Road London N4 1QR	Change of use of the property from a single family dwelling (use class C3) to a residential care home (use class C2), together with the erection of a single storey side and rear extension, erection of a side and rear roof extension, rear and front external roof light alteration to the front, including the installation of new window and entrance door to front elevation, new timber fencing with gate, new front steps, access ramp with railings and associated landscaping.	Decision Date: 10/03/09 Decision: Approved	Agent: John Stebbing Architect Tel: 01284 704 546 Officer: Noel Kelly	Applicant: Mr Michael Patel Tel:
App No: 2008/3128 Registered: 01/12/2009 Address: 34 Bergholt Crescent London N16 5JE	Erection of a single storey ground floor rear extension.	Decision Date: 03/03/09 Decision: Refused	Agent: Neil Hawes & Associates Ltd Tel: 01707 644434 Officer: Graham Callam	Applicant: Burcroft Ltd Tel:
App No: 2008/3151 Registered: 02/12/2009 Address: 7 Durley Road, Stamford Hill, London N16 5DU	Alterations including excavation of basement to increase existing room height and creation of a front lightwell with bay windows.	Decision Date: 02/04/09 Decision: Approved	Agent: AL Rasheed Dauda Architect Tel: 0208 257 8305 Officer: Graham Callam	Applicant: Mr Avrohom Rokach Tel:
App No: 2009/0038 Registered: 01/29/2009 Address: 85 Ravensdale Road LONDON N16 6TH	Erection of a front dormer roof extension	Decision Date: 23/03/09 Decision: Refused	Agent: John Stebbing Architect Tel: 01284704546 Officer: Yousef Bahadur	Applicant: Mr S Berkovitz Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0053 Registered: 04/17/2009 Address: 63 Ravensdale Road London N16 6TJ	Erection of a basement and ground floor rear extension; relocation of rear staircase.	Decision Date: 01/05/09 Decision: Refused	Agent: Solomon Elias Tel: Officer: Evie Learman	Applicant: Lilly Isaac Tel:
App No: 2009/0069 Registered: 02/25/2009 Address: 35A West Bank London N16 5DF	Conversion of lower maisonette into 2 x 2 bed flats.	Decision Date: 16/04/09 Decision: Refused	Agent: Mr Evan Powell and Mrs Arnett Samuels Tel: 07958545582 Officer: Noel Kelly	Applicant: Mr Evan Powell and Mrs Arnett Samuels Tel: 07958545582
App No: 2009/0094 Registered: 01/26/2009 Address: Robin Redmond Resource Centre 440 Seven Sisters Road London N4 2RD	Enclosure of small courtyard space at rear of building to create an internal space for storage and access with meeting room inside the building.	Decision Date: 09/03/09 Decision: Approved	Agent: Woodberry Down Regeneration Team Tel: 0208 356 1705 Officer: Ron Madell	Applicant: London Borough of Hackney Tel:
App No: 2009/0195 Registered: 03/11/2009 Address: 333 Seven Sisters Road London N4 1QR	Erection of a single storey building to the rear for use as office (B1) associated with change of use of the main building as care home, together with the installation of a disabled persons access ramp.	Decision Date: 28/04/09 Decision: Approved	Agent: John Stebbing Architect Tel: 01284 705 546 Officer: Noel Kelly	Applicant: Mr Michael Patel Tel:
App No: 2009/0216 Registered: 02/04/2009 Address: 52 Portland Avenue, London, N16 6EA	Erection of rear roof extension to the main roof and front and rear slopes of the two storey rear addition; Erection of a single storey ground floor rear extension ; Installation of 2 roof lights to the front roof slope.	Decision Date: 25/03/09 Decision: Refused	Agent: John Stebbing Architect Tel: 01284704546 Officer: Evie Learman	Applicant: Mr N Weiss Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0229 Installation of 2 x single-sided internally illuminated advertisement panels to replacement bus shelter **Decision Date:** 25/03/09 **Agent:** Clearchannel Outdoor **Applicant:** Mrs Alison Pink
Registered: 02/04/2009 **Decision:** Approved **Tel:** 01322 620 704 **Tel:** 01322 620 704
Address: 256 Stamford Hill
Outside 256 36.6m South
of Ravensdale Road
London, Hackney N16
6SH **Officer:** Megan Fletcher

App No: 2009/0241 Erection of rear roof extension to the main roof and front and rear slopes of the two storey rear addition; infill first floor side/rear extension; erection of a single storey ground floor side and rear extension ; erection of a single storey front extension at lower ground floor level; installation of 2 roof lights to the front roof slope; erection of railings to front boundary fence **Decision Date:** 20/03/09 **Agent:** John Stebbing Architect **Applicant:** Mrs Englander
Registered: 02/04/2009 **Decision:** Refused **Tel:** 01284 704546 **Tel:**
Address: 50 Portland Avenue,
London, N16 6EA **Officer:** Evie Learman

App No: 2009/0242 Retention of conversion of a single dwelling into 2 self-contained flats (comprising 1 x 3 bed flat and 1 x 1 bed flat with ancillary office) together with landscaping to the front and external front stair to basement level. **Decision Date:** 26/03/09 **Agent:** Kingsgrave Design Services **Applicant:** Sia Halbersham
Registered: 02/16/2009 **Decision:** Approved **Tel:** 01206 852213 **Tel:** 020 8809 1544
Address: 12 Bergholt Crescent
London N16 5JE **Officer:** Noel Kelly

App No: 2009/0266 Installation of ventilator louvres. **Decision Date:** 20/04/09 **Agent:** CBG Consultants Ltd **Applicant:** Mr James Roach
Registered: 03/09/2009 **Decision:** Approved **Tel:** 0207 170 4332 **Tel:** 0208 356 4453
Address: 82-160 Rowley Gardens
London N4 1HJ **Officer:** Graham Callam

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0354 Installation of an electrical sub-station **Decision Date:** 09/04/09 **Agent:** Rolfe Judd Planning **Applicant:** Mr Dean Hurrell
Registered: 02/23/2009
Address: Newton Close,
Woodbery Down Estate,
London N4 **Decision:** Approved **Tel:** 020 7556 1500 **Tel:**
Officer: Graham Callam

App No: 2009/0380 Submission of details pursuant to condition 15
(construction traffic management plan) of planning
permission ref. 2008/2461 dated 09/01/2009. **Decision Date:** 09/04/09 **Agent:** Studio E Architects Ltd **Applicant:** Studio E Architects
Ltd
Registered: 02/26/2009 **Decision:** Approved **Tel:** 0207 385 7126 **Tel:**
Address: Woodberry Grove
Finsbury Park
London
N4 1SN **Officer:** Rokos Frangos

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App No: 2009/0391 Erection of a single storey ground floor rear extension. **Decision Date:** 14/04/09 **Agent:** Everest Ltd **Applicant:** Mr Uddin
Registered: 02/23/2009 **Decision:** Approved **Tel:** 01727 733 963 **Tel:** 0208 211 0865
Address: 24 Olinda Road
London
N16 6TL **Officer:** Tyler Sharratt

App No: 2009/0456 Installation of ventilator louvres. **Decision Date:** 20/04/09 **Agent:** CBG Consultants Ltd **Applicant:** Mr James Roach
Registered: 02/27/2009 **Decision:** Approved **Tel:** 02071704332 **Tel:** 02083564453
Address: 2-80 even; Rowley
Gardens
London
N4 1HJ **Officer:** Graham Callam

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0459 Registered: 02/27/2009 Address: 162 - 240 1 Rowley Gardens London N4 1HN	Installation of ventilator Louvers	Decision Date: 20/04/09 Decision: Approved	Agent: CBG Consultants Ltd Tel: 020 7170 4322 Officer: Graham Callam	Applicant: Mr James Roach Tel: 020 8356 4453
App No: 2009/0462 Registered: 02/27/2009 Address: 25-103 (Odd) Rowley Gardens London N4 1HJ	Installation of ventilator louvres.	Decision Date: 20/04/09 Decision: Approved	Agent: CBG Consultants Ltd Tel: 02071704332 Officer: Graham Callam	Applicant: Mr James Roach Tel: 02083564453
App No: 2009/0472 Registered: 03/19/2009 Address: 200 - 202 Stamford Hill London N16 6RA	Erection of a first floor extension and a rear dormer roof extension to facilitate conversion of upper floors to create 4 self-contained flats comprising 2 x 2 bed and 2 x 1 bed flats with associated external alterations, including the installation of one front roof light and demolition of the existing side boundary wall and replacement with railings.	Decision Date: 11/05/09 Decision: Approved	Agent: Bashkal & Associates Tel: 020 8884 1169 Officer: Caroline Ozor	Applicant: Evering Estate Tel:
App No: 2009/0548 Registered: 04/16/2009 Address: 122 Stamford Hill - London - N16 6XS	Alterations and rebuilding of existing bin store.	Decision Date: 28/05/09 Decision: Approved	Agent: Frankham Consultancy Group Ltd Tel: 0208 309 7777 Officer: Yousef Bahadur	Applicant: Newlon Housing Trust Tel:
App No: 2009/0561 Registered: 03/12/2009 Address: 95-99 Stamford Hill London N16 5TP	Details of Condition 4(external windows and doors and green roof) 7(wheelchair standards for ground floor flats) and 13 (noise assessment) pursuant to planning permission ref: 2007/0396 for erection of five storey building plus basement to provide mixed use community facilities granted 30/09/2008.	Decision Date: 01/04/09 Decision: Approved	Agent: Moahan Blythen Hopkins Tel: 02074309930 Officer: Rebecca Anderson	Applicant: Moahan blythen Hopkins. Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0648	Conversion of dwelling house to provide 3x1 bed and 1x4 flats, involving the conversion of the garage into residential, together with enlargement of the basement, a single storey rear extension and erection of rear dormer extension.	Decision Date: 13/05/09	Agent: Hurst Associates	Applicant: Mr T Berkowitz
Registered: 03/25/2009		Decision: Approved	Tel: 01708 780 714	Tel:
Address: 28 Linthorpe Road London N16 5RF			Officer: Michael Garvey	

App No: 2009/0671	Creation of a one three bedroom flat at basement level together with excavation to provide front and rear lightwells with associated alterations.	Decision Date: 15/05/09	Agent: Midas Planning	Applicant: Mr Benedikt
Registered: 03/31/2009		Decision: Refused	Tel: 07890 562 875	Tel:
Address: 80A Cranwich Road London N16 5JD			Officer: Noel Kelly	

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App No: 2008/0733	Demolition of outbuilding and erection of two storey, 210 seat auditorium (theatre and cinema) with ancillary performance area, workshops and gallery.	Decision Date: 09/04/09	Agent: Hawkesmoore Corporation	Applicant: Hawkesmoore Corporation
Registered: 04/17/2008		Decision: Approved	Tel: 01892 750 018	Tel:
Address: Rear of 24-36 Broadway Market London E8 4QJ			Officer: Noel Kelly	

App No: 2008/0779	Existing use of a retail shop (Class A1) as a coffee shop.	Decision Date: 31/03/09	Agent: Ian Burgess	Applicant: Ian Burgess
Registered: 08/08/2008		Decision: Refused	Tel: 020 8560 0263	Tel: 020 8560 0263
Address: 67 Broadway Market London E8 4PH			Officer: Yousef Bahadur	

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2008/0933

Conservation Area Consent for the demolition of existing outbuilding.

**Decision
Date:** 09/04/09**Agent:** Hawkesmoore Corporation**Applicant:** Hawkesmoore Corporation**Registered:** 04/17/2008**Decision:** Approved**Tel:** 01892 750 018**Tel:****Address:** Rear of 24-36 Broadway
Market London E8 4QJ**Officer:** Noel Kelly**App No:** 2008/1447

Erection of new 4 storey building with roof terrace at third floor, to provide two B1 units at basement and ground floor and residential units on upper storeys. (1 x 1, 3 x 2 and 1 x 3 beds).

**Decision
Date:** 13/05/09**Agent:** Willingale Associates**Applicant:** Mr David Palumbo**Registered:** 06/12/2008**Decision:** Approved**Tel:****Tel:****Address:** 33 Fortescue Avenue
London E8 3QB**Officer:** Michael Garvey

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App No: 2008/1879

Erection of a roof extension to provide an additional storey.

**Decision
Date:** 31/03/09**Agent:** .**Applicant:** Ms Laura Hamilton**Registered:** 09/08/2008**Decision:** Refused**Tel:****Tel:** 020 7249 3479**Address:** 19 Albion Drive
Hackney
London
E8 4LX**Officer:** Tyler Sharratt**App No:** 2008/2215

Erection of a roof extension to provide an additional storey.

**Decision
Date:** 31/03/09**Agent:** .**Applicant:** Ms Laura Hamilton**Registered:** 09/05/2008**Decision:** Refused**Tel:****Tel:** 020 7249 3479**Address:** 19 Albion Drive
Hackney
London
E8 4LX**Officer:** Tyler Sharratt

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2678 Registered: 12/16/2008 Address: 257 Mare Street - London - E8 3NS	Conversion of 3 bed maisonette on first and second floors into 2x2 bed flats.	Decision Date: 02/04/09 Decision: Approved	Agent: GUG Architects & Designers Limited Tel: 020 8993 3435 Officer: Michael Garvey	Applicant: Mr Win VU Tel:
App No: 2008/2732 Registered: 12/10/2008 Address: 136 Mapledene Road London E8 3LL	Erection of a rear roof dormer.	Decision Date: 31/03/09 Decision: Approved	Agent: M J S Plans Tel: 01923 491 636 Officer: Tyler Sharratt	Applicant: Mr & Mrs Robert Cooper Tel:
App No: 2008/2787 Registered: 11/26/2008 Address: 53-55 Broadway Market, London E8 4PH	Change of use of A2 premises (financial and professional services) to mixed use involving A3 use (restaurant) A4 use (drinking Establishment) and A5 use (hot food take away) with opening hours of 0800 hours to 0000 hours Monday - Sunday.	Decision Date: 15/05/09 Decision: Approved	Agent: Watermans House Tel: 0208 888 2820 Officer: Colin Leadbeatter	Applicant: Mr Hasan Dogan Tel:
App No: 2008/2825 Registered: 01/08/2009 Address: 17 Gayhurst Road, LONDON E8 3EH	Proposed erection of a single-storey side extension to the rear and new windows at first floor level to the rear addition.	Decision Date: 11/02/09 Decision: Approved	Agent: Architect Your Home Hackney Tel: 020 7249 1004 Officer: Evie Learman	Applicant: Mrs Anne Forbes Tel: 020 7220 4985
App No: 2008/2875 Registered: 12/12/2008 Address: 8 Shrubland Road, London E8 4NN	Alterations including the erection of a single storey flat roofed rear extension with terrace above with stairs leading to the rear garden; enlarging existing patio area at lower ground floor and new doors in the rear elevation at lower ground floor and ground floor level.	Decision Date: 03/02/09 Decision: Approved	Agent: Timothy Mark Smith Tel: 709 487 898 Officer: Graham Callam	Applicant: Mr Adam Wong Tel: 9908 207 602

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/2900
Registered: 01/22/2009
Address: 1 Broadway Market,
LONDON E8 4PH

Alteration of existing single storey rear extension from a pitch roof to a flat roof and installation of 4 new windows on the side elevation (Regents Row); and removal of the existing rear ' pergola' extension

Decision Date: 31/03/09
Decision: Approved

Agent: Troy Design and Development Limited
Tel: 7461742
Officer: Yousef Bahadur

Applicant: Mr Salih Tekgoz
Tel: 0024200

App No: 2008/2912
Registered: 02/20/2009
Address: 43 Broadway Market
London E8 4PH

Retention of 1 x studio and 1x1 bed flat at lower ground level and new windows.

Decision Date: 09/04/09
Decision: Refused

Agent: Archipek ltd
Tel:
Officer: Michael Garvey

Applicant: Mr Ismet Serce
Tel:

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App No: 2009/0035
Registered: 03/04/2009
Address: 32 Marlborough Avenue
London E8 4JP

Replacement of existing windows with new UPVC windows.

Decision Date: 27/04/09
Decision: Approved

Agent: Mr Phillip Mckune
Tel: 017084768054
Officer: Yousef Bahadur

Applicant: Mrs Lawrence
Tel: 0207 254 5857

App No: 2009/0135
Registered: 01/28/2009
Address: 69 Broadway Market
London E8 4PH

Approval of details pursuant to condition 3 (Materials) of planning permission ref: 2006/2280 dated 25/10/2006.

Decision Date: 16/03/09
Decision: Approved

Agent: Ms Susanne Tutsch
Tel:
Officer: Yousef Bahadur

Applicant: Mr Tom Humphreys
Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0144 Registered: 02/17/2009 Address: 6 - 12 Triangle Road London E8 3HW	Retention of zinc roof above lift shaft; new stainless steel mouldings; replacement of existing timber balustrades with grey cladding and new stainless steel handrails and cables; new entrance doors; re-cladding and alterations to bin store.	Decision Date: 06/04/09 Decision: UNCON	Agent: David Fry Architects Tel: 01825791799 Officer: Yousef Bahadur	Applicant: Mr N & S Bookatz Tel:
App No: 2009/0273 Registered: 02/11/2009 Address: 37 London Fields Eastside London E8 3SA	Erection of a single storey plus basement building in rear garden to provide a gym and games room incorporating new access from Helmsley Place (amended scheme)	Decision Date: 31/03/09 Decision: Approved	Agent: Gordon Shrigley Architects Tel: 020 7249 2085 Officer: Yousef Bahadur	Applicant: Mr Serkan Yeter Tel: 07944762657
App No: 2009/0421 Registered: 02/24/2009 Address: 312 Queensbridge Road London E8 3NH	Alterations including the erection of a single storey ground floor rear extension; internal alterations at ground floor level to provide a new bathroom.	Decision Date: 14/04/09 Decision: Approved	Agent: Miss Paula Cameron Tel: Officer: Evie Learman	Applicant: Miss Paula Cameron Tel: 0207 275 9095
App No: 2009/0422 Registered: 02/24/2009 Address: 312 Queensbridge Road London E8 3NH	Alterations including the erection of a single storey ground floor rear extension: internal alterations at ground floor level to provide a new bathroom	Decision Date: 14/04/09 Decision: Approved	Agent: Miss Paula Cameron Tel: Officer: Evie Learman	Applicant: Miss Paula Cameron Tel: 0207 275 9095
App No: 2009/0442 Registered: 02/25/2009 Address: 107 Lenthall Road, London, E8 3JN	Works to trees in rear garden: - fell 1 x Leylandii - fell 2 x Juniper	Decision Date: 12/05/09 Decision: Approved	Agent: Simon N'jie Tel: 08003899418 Officer: Nick Jacobs	Applicant: Kristina Mikas Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0449 Registered: 02/26/2009 Address: 124 Richmond Road London E8 3HW	Works to 1 x Eucalyptus (T3) in rear garden, reduce by 15%.	Decision Date: 12/05/09 Decision: Approved	Agent: Simon N'jie Tel: 08003899418 Officer: Nick Jacobs	Applicant: Kristina Mikas Tel:
App No: 2009/0450 Registered: 02/25/2009 Address: 75 Malvern Road, London,	Works to 1 x Robinia (T1) in rear garden, cut back by 2m.	Decision Date: 12/05/09 Decision: Approved	Agent: Artemis Tree Services Tel: 08003899418 Officer: Nick Jacobs	Applicant: Kristina Mikas Tel:
App No: 2009/0522 Registered: 03/25/2009 Address: 384a Kingsland Road London E8 4AA	Conversion of existing 2 storey mid terrace house to two self-contained flats (1 No. 2 bed and 1 No. 1 bed) involving a rear roof extension and a single storey side extension to provide a staircase to the proposed first and second dwelling.	Decision Date: 15/05/09 Decision: Approved	Agent: Salt Evans Ltd Tel: 020 7690 0330 Officer: David Thompson	Applicant: Mr Michael Swallow Tel: 020 7354 6228
App No: 2009/0527 Registered: 03/18/2009 Address: 1-9 Sidworth Street London E8 3SD	Details Required by condition 7 (sound and vibration assessment) condition 8 (Green Roof) and Condition 9 (Landscaping scheme) of planning permission ref 2008/1922 for construction of fourth and fifth floor to substantially constructed building to provide 9 x flats.	Decision Date: 12/05/09 Decision: UNCON	Agent: NP Designs Tel: 01273 461 896 Officer: David Thompson	Applicant: Ultrabrook Ltd Tel: 0208 551 7795

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0544 Registered: 03/18/2009 Address: 161 Mare Street London E8 3RH	Change of use from financial and professional services office (A2) to restaurant (A3) with associated shop front alterations and erection of a ground floor side and rear extension and rear part of first floor extension and installation of an extraction flue and window to the front of the first floor extension. Opening hours 10:00 hours to 23:00 hours on any day.	Decision Date: 07/05/09 Decision: Refused	Agent: Mr O S Bansal Tel: 020 8514 3001 Officer: Michael Garvey	Applicant: Mr Tre Azam Tel:
App No: 2009/0567 Registered: 03/25/2009 Address: 63-65 Broadway Market London E8 4PH	Removal of condition 4 (no live or amplified Music) of planning permission ref: 2007/3178 for use of lower ground floor and ground floor as Art Gallery.	Decision Date: 13/05/09 Decision: Refused	Agent: Stephen Selby. Tel: 0207 254 9771 Officer: Michael Garvey	Applicant: Stephen Selby Tel:
App No: 2009/0620 Registered: 03/23/2009 Address: 1-9 Sidworth Street London E8 3SD	Samples of Materials required by condition 2 of Planning Permission ref: 2006/1172	Decision Date: 06/05/09 Decision: Approved	Agent: NP Designs Tel: 01273 461 896 Officer: David Thompson	Applicant: Ultrabrook Ltd Tel: 0208 551 7795
App No: 2009/0623 Registered: 03/27/2009 Address: 1 Andrews Road London E8 4QL	Demolition of existing warehouse building and erection of four storey mixed use building comprising and artists studio (B1 use) on the ground floor, an office on the 1st floor and a two x bedroom duplex on the 2nd floor and at roof level with roof terrace and associated off street parking space, bin storage and cycle storage.	Decision Date: 12/05/09 Decision: Approved	Agent: Ms Jacquie Andrews Tel: 01732456888 Officer: Michael Garvey	Applicant: Mr Yinka Shonibare MBE Tel:
App No: 2009/0665 Registered: 03/24/2009 Address: 4 Gayhurst Road London E8 3EH	Fell Blue cedar in rear garden.	Decision Date: 12/05/09 Decision: Approved	Agent: David Whipp. Tel: Officer: Ginny Hemming	Applicant: David Whipp Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0692 Change of use of single storey B1/B8 premises to a Dog Hostel (Sui Generis) use. **Decision Date:** 15/05/09 **Agent:** Mr Russell Platts **Applicant:** Mr Russell Platts
Registered: 03/31/2009
Address: 375 Helmsley Place **Decision:** Approved **Tel:** **Tel:**
London E8 3SB **Officer:** David Thompson

App No: 2009/0697 Demolition of existing warehouse building (Conservation Area Consent). **Decision Date:** 12/05/09 **Agent:** Ms Jacquie Andrews **Applicant:** Mr Yinka Shonibare MBE
Registered: 03/27/2009
Address: 1 Andrews Road London **Decision:** Approved **Tel:** **Tel:**
E8 4QL **Officer:** Michael Garvey

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App No: 2007/2148 Submission of details pursuant to condition 18 (details of surface water drainage works) attached to planning approval ref: 2005/3009. **Decision Date:** 09/04/09 **Agent:** Grafik Architecture **Applicant:** Grafik Architecture
Registered: 09/06/2007
Address: Oak Wharf **Decision:** Approved **Tel:** 01277 658 233 **Tel:** 01277 658 233
Timberwharf Road
London
N16 6D8 **Officer:** Rokos Frangos

App No: 2007/2243 Submission of details pursuant to conditions 23 (method statement for waterside works) and 25 (retention of black crane) attached to planning permission ref. 2005/3009. **Decision Date:** 20/04/09 **Agent:** Grafik Architecture **Applicant:** Grafik Architecture
Registered: 09/12/2007
Address: Oak Wharf **Decision:** Approved **Tel:** 01277 658 233 **Tel:**
Timberwharf Road
London
N16 6D8 **Officer:** Rokos Frangos

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2202 Registered: 09/11/2008 Address: Oak Wharf Timberwharf Road London N16 6DB	Submission of details pursuant to condition 17 (landscaping) of planning permission ref: 2005/3009	Decision Date: 20/04/09 Decision: Approved	Agent: Grafik Architecture Tel: 01277658233 Officer: Rokos Frangos	Applicant: Grafik Architecture. Tel: 01277658233
App No: 2008/2430 Registered: 10/08/2008 Address: 19 OVERLEA ROAD LONDON E5 9BG	Erection of a front, side and rear roof extension together with the erection of part single, part two storey, side and rear extension.	Decision Date: 31/03/09 Decision: Refused	Agent: Mr Robert Smellie Tel: 0208 516 5469 Officer: Graham Callam	Applicant: Mr Feldman Tel:
App No: 2008/2467 Registered: 10/22/2008 Address: 22 Leabourne Road London N16 6TA	Details submitted pursuant to condition 3 (Fenestration details) of planning permission 2003/1916 dated 4 December 2003.	Decision Date: 31/03/09 Decision: Refused	Agent: Ms Herskovic Tel: 0208 809 5034 Officer: Yousef Bahadur	Applicant: Ms Herskovic Tel:
App No: 2008/2622 Registered: 10/29/2008 Address: The Gardens 125 Clapton Common London E5 9AD	Submission of detail pursuant to condition 3 (materials) of planning permission ref. 2007/2126.	Decision Date: 09/04/09 Decision: Approved	Agent: Penoyre & Prasad Tel: 0207 250 3477 Officer: Rokos Frangos	Applicant: Penoyre & Prasad Tel: 0207 250 3477

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2815 Registered: 03/09/2009 Address: Unit 304-346 306 Craven Park Road London N15 6AN	Installation of New UPVC windows and door.	Decision Date: 01/05/09 Decision: Approved	Agent: Miss Natasha Maria Tel: 020 7023 7260 Officer: Yousef Bahadur	Applicant: Natasha Maria Tel: 0207 023 7260
App No: 2008/3016 Registered: 01/16/2009 Address: 154 Upper Clapton Road London E5 9JZ	Change of use of the ground floor and lower ground floor from doctors surgery (D1) to residential (C3) to create one two bedroom flat, together with external alterations including demolition of front access steps and adjacent wall and installation of new access steps and windows to the front elevation and a window to the rear elevation.	Decision Date: 10/03/09 Decision: Approved	Agent: John Stebbing Architect Tel: 01284 704 546 Officer: Noel Kelly	Applicant: Mr Rose Tel: 020 8809 7005
App No: 2008/3103 Registered: 01/09/2009 Address: 1-11 Leaside Road, London E5 9LU	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 11/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 5000
App No: 2008/3104 Registered: 01/07/2009 Address: 1-20 Knightland House - Knightland Road - London - E5 9HT	Replacement of existing windows and doors with new UPVC windows and doors.	Decision Date: 11/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 0208 356 5000
App No: 2008/3112 Registered: 01/09/2009 Address: 1-14 Winslade House Upper Clapton Road London E5 8ST	Replacement of existing windows and doors with new UPVC windows and Doors	Decision Date: 11/02/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 02083565000

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3136	Erection of rear extensions at ground and first floor levels; installation of a window at the first floor level in the flank elevation.	Decision Date: 06/04/09	Agent: Midas Planning	Applicant: Mr M Eckstein
Registered: 02/12/2009			Tel: 07890562875	Tel:
Address: 41 Leadale Road London N16 6BZ		Decision: Approved	Officer: Graham Callam	

App No: 2008/3137	Proposed erection of a hip to gable roof extension; erection of a rear dormer roof extension together with installation of roof lights to front and rear roof slopes.	Decision Date: 18/02/09	Agent: Midas Planning	Applicant: Mr M. Eckstein
Registered: 01/09/2009			Tel: 07890562875	Tel:
Address: 41 Leadale Road London N16 6BZ		Decision: Refused	Officer: Graham Callam	

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App No: 2008/3177	Erection of a hip to gable roof extension together with the erection of front and rear dormer roof extensions.	Decision Date: 23/03/09	Agent: Midas Planning	Applicant: Mr J Kraus
Registered: 01/28/2009			Tel: 07890562875	Tel:
Address: 96 Castlewood Road London N16 6DH		Decision: Refused	Officer: Evie Learman	

App No: 2009/0021	Erection of a front, side and rear roof extension; erection of a two story rear extension with balcony at ground floor level and associated staircase; excavation of front garden to provide a light well; erection of new front entrance porch.	Decision Date: 18/03/09	Agent: Jeffrey Howard Associates	Applicant: Mr and Mrs Landau
Registered: 02/03/2009			Tel: 020 8205 4292	Tel: 02088027211
Address: 51 Ashtead Road London E5 9BJ		Decision: Refused	Officer: Graham Callam	

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0063 Registered: 01/28/2009 Address: 59 & 61 Jessam Avenue, London, E5 9DU	Erection of single storey ground floor rear extensions to no. 59 & 61.	Decision Date: 18/03/09 Decision: Refused	Agent: John Stebbing Architect Tel: 01284704546 Officer: Graham Callam	Applicant: Mr E Herczl Tel:
App No: 2009/0116 Registered: 01/27/2009 Address: 16 Leabourne Road London Stamford Hill N16 6TA	Erection of front and rear dormer roof extensions, and a roof extension on top of the two storey back addition.	Decision Date: 17/03/09 Decision: Refused	Agent: Mrs Finkelsteen Tel: 0208809455 Officer: Graham Callam	Applicant: Mrs Finkelsteen Tel: 0208809455
App No: 2009/0236 Registered: 02/11/2009 Address: 23-25 Spring Hill London E5 9BE	Demolition of existing workshop garages and residential building and the erection of a three storey plus basement building with roof terrace at second floor and roof level, to provide 67sqm of workshop/office floorspace (B1) on part basement and part ground floor and 4 flats (comprising 1 x 4 bedroom flat and 3 x 2 bed flats) and associated car parking.	Decision Date: 07/04/09 Decision: Approved	Agent: Claudio Novello Architects Tel: 020 8341 2947 Officer: Michael Garvey	Applicant: Mr Ian Welka Tel: 020 8954 3573
App No: 2009/0312 Registered: 02/19/2009 Address: Harrington Hill Primary School Harrington Hill Mount Pleasant Lane London E5 9EY	Demolition of care takers house and erection of single storey classroom.	Decision Date: 03/04/09 Decision: Approved	Agent: EC Harris Tel: 02078122357 Officer: Noel Kelly	Applicant: Kae McSweeney Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2009/0452

Erection of ground floor rear extensions to provide enlarged bedrooms to existing maisonettes.

**Decision
Date:** 05/05/09**Agent:** John Stebbing Architect **Applicant:** Mrs Klein**Registered:** 03/13/2009**Address:** 125A & 125B Clapton
Common
London
E5 9AB**Decision:** Approved**Tel:** 01284 704 546**Tel:****Officer:** Caroline Ozor**App No:** 2009/0483

Erection of third storey over existing two storey buildings along with the provision of third floor windows to the front and rear elevations and the extension of the existing front bay windows to third floor level to provide additional bedrooms and bathrooms.

**Decision
Date:** 05/05/09**Agent:** John Stebbing Architect **Applicant:** Mr Jacob**Registered:** 03/11/2009**Address:** 59-65 Craven Walk
London N16 6BX**Decision:** Refused**Tel:** 01284 704 546**Tel:****Officer:** Noel Kelly

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App No: 2009/0485

Submission of details pursuant to clause 4.6.1 (school travel plan) of section 106 agreement dated 13 August 2007 of planning permission ref: 2005/3009.

**Decision
Date:** 20/04/09**Agent:** RPS **Applicant:** RPS**Registered:** 03/11/2009**Address:** Oak Wharf
Timberwharf Road
London
N16 6DB**Decision:** Approved**Tel:** 020 7939 8000**Tel:****Officer:** Rokos Frangos**App No:** 2009/0506

Retention of existing rear roof extension.

**Decision
Date:** 28/04/09**Agent:** JALA **Applicant:** Benjamin Tauber**Registered:** 03/05/2009**Address:** 14 Jessam Avenue**Decision:** Approved**Tel:****Tel:****Officer:** Evie Learman

Application Details**Description:****Decision****Agent / Officer Details****Applicant Details**

App No: 2009/0595
Registered: 03/19/2009
Address: 2 Hawkwood Mount
 London E5 9EQ

Installation of a spiral staircase to the rear from second floor level to the garden; alteration of existing window to door.

Decision Date: 08/05/09
Decision: Refused

Agent: Mr Peter Kimpton
Tel: 0208 806 8066
Officer: Yousef Bahadur

Applicant: Mr Peter Kimpton
Tel: 0208 806 8066

App No: 2009/0618
Registered: 03/20/2009
Address: 5 Ashtead Road London
 E5 9BJ

Erection of front and rear roof extensions.

Decision Date: 11/05/09
Decision: Approved

Agent: Bashkal & Associates
Tel: 020 8884 1169
Officer: Evie Learman

Applicant: Mr Jacob
Tel:

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App No: 2009/0647
Registered: 03/26/2009
Address: 32 & 34 Warwick Grove
 London E5 9HU

Erection of single storey rear extensions at first floor level to No. 32 and 34 Warwick Grove.

Decision Date: 15/05/09
Decision: Approved

Agent: John Stebbing Architect
Tel: 01284 704 546
Officer: Tyler Sharratt

Applicant: Mr Leo Weiss
Tel:

App No: 2009/0677
Registered: 03/25/2009
Address: 6 Ashtead Road London
 E5 9BH

Proposed erection of a rear roof extension; erection of a ground floor rear extension.

Decision Date: 15/05/09
Decision: Approved

Agent: Mr T Chan
Tel:
Officer: Tyler Sharratt

Applicant: Manorglae Ltd
Tel:

SNC

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/1943 Registered: 09/20/2008 Address: 182 Stoke Newington Road, London N16 7UY	Change of use of the ground floor and basement in connection with approved application reference 2007/0441 from retail (use class A1) to restaurant (use class A3), together with installation of extraction duct concealed in chimney terminating above roof level. Opening hours 10.30 - 00.00 hours Monday to Saturday; Sunday and Bank Holidays 10.30 - 23.30 hours	Decision Date: 12/05/09 Decision: Approved	Agent: Mr Mann Tel: 0208 346 8183 Officer: Michael Garvey	Applicant: Mr Osman Cinik Tel:
App No: 2008/2535 Registered: 12/18/2008 Address: 3A Rectory Road London N16 7QR	Alteration to the rear facade in connection with the change of use of the basement and ground floor as a 1 bedroom maisonette.	Decision Date: 31/03/09 Decision: Approved	Agent: Platform 5 Architects Tel: 020 7739 9812 Officer: Yousef Bahadur	Applicant: Mrs Rama Mahajan Tel:
App No: 2008/2806 Registered: 01/28/2009 Address: 26A Stoke Newington Church Street Stoke Newington Church Street London N16 0NX	Existing use of the first and second floors of the property as two self-contained flats and four bedsits (H.M.O use).	Decision Date: 16/03/09 Decision: Refused	Agent: Bashkal and Associates Tel: 02088841169 Officer: Graham Callam	Applicant: Mr Atique Choudaury & Tel: 02079230555
App No: 2008/2820 Registered: 01/13/2009 Address: 84 Stoke Newington High Street London N16 7PA	Variation of condition (Hours of opening). Relating to use of premises as restaurant to extend hours of opening from 8am-3am on any day.	Decision Date: 24/02/09 Decision: Approved	Agent: Mr Sahin Sicakyuz Tel: 07799625232 Officer: Noel Kelly	Applicant: Mr Sahin Sicakyuz Tel: 07799625232

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3045 Registered: 01/13/2009 Address: 61 Stoke Newington High Street London N16 8EL	Variation of condition 4(hours of use) of planning permission reference North/224/99/FP to allow opening hours between 08:00 hours and 24:00 hours Mondays to Wednesdays; between 09:00 hours and 24:00 hours on Sundays; between 08:00 hours and 02:00 hours Thursdays to Saturdays with music played in the basement.	Decision Date: 23/02/09 Decision: Refused	Agent: David C Pennell Tel: 01992 416 328 Officer: Caroline Ozor	Applicant: Mr Hasan Caliskan Tel:
App No: 2008/3098 Registered: 01/12/2009 Address: 95 Dynevor Road London N16 0DA	Proposed erection of a single storey ground floor rear extension and replacement of rear door with bi-folding glazed doors.	Decision Date: 04/03/09 Decision: Approved	Agent: Ms Tanya Melinek Tel: Officer: Graham Callam	Applicant: Ms Tanya Melinek Tel:
App No: 2008/3150 Registered: 01/09/2009 Address: 49 Evering Road London N16 7PU	Approval of details pursuant to condition 4 (Materials) and 5 (Bin Store) of planning permission ref. 2008/0567 dated 17 July 2008.	Decision Date: 17/02/09 Decision: Approved	Agent: Peter Currie Architects Tel: 020 7253 0417 Officer: Evie Learman	Applicant: Quintas Homes Ltd Tel: 02089303060
App No: 2009/0036 Registered: 01/13/2009 Address: 14 Bayston Road London N16 7LT	Approval of details pursuant to Condition 1(modification to basement windows) attached to planning permission 2007/2537.	Decision Date: 10/02/09 Decision: Approved	Agent: Turn Architects LLP Tel: 020 7249 5885 Officer: Michael Garvey	Applicant: Turn Architects LLP Tel: 020 7249 5885
App No: 2009/0061 Registered: 01/28/2009 Address: 42 Chesholm Road, London, N16 0DR	Proposed erection of a rear roof extension, installation of 2 No. roof lights to the front roof slope.	Decision Date: 13/03/09 Decision: Approved	Agent: More Space Tel: 020 8896 0777 Officer: Megan Fletcher	Applicant: Mr Jago Lee Tel: 0207 249 0167

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0188
Registered: 03/19/2009
Address: 68 Stoke Newington High Street
London
N16 7PA

Retention of a second floor infill rear extension, a third floor mansard roof extension and the conversion of the upper floors into 3 self-contained residential units comprising 2 x 2 bed flats and 1 x 1 bed flat.

Decision Date: 07/05/09
Decision: Approved

Agent: Bashkal & Associates
Tel: 020 8884 1169
Officer: Caroline Ozor

Applicant: Totalbay Ltd
Tel: 07970060067

App No: 2009/0190
Registered: 02/12/2009
Address: 15 Dumont Road, London
N16 0NR

Retention of rear roof extensions to the main roof and the roof of the two storey rear addition and two front roof lights.

Decision Date: 02/04/09
Decision: Refused

Agent: Mr Lee Stone
Tel: 0208 506 1024
Officer: Graham Callam

Applicant: Mr Greg Perrins
Tel:

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App No: 2009/0252
Registered: 02/06/2009
Address: 59 Walford Road
London
N16 8EF

Erection of single storey ground floor rear/side extension; erection of a single storey rear extension at second floor level on top of existing two storey rear addition

Decision Date: 26/03/09
Decision: Approved

Agent: DDWH Architects Ltd
Tel: 02076910141
Officer: Megan Fletcher

Applicant: Mr Joathan Salmon
Tel:

App No: 2009/0298
Registered: 02/11/2009
Address: 137-139 Stoke Newington Road London N16 8BP

Erection of 1 additional new equipment cabinet on roof and recladding of existing cabinet enclosure.

Decision Date: 01/04/09
Decision: Approved

Agent: Adams Holmes Associates
Tel: 01608 645 116
Officer: Ly Mach

Applicant: O2 UK Ltd
Tel: 01608 645 116

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0327 Registered: 02/25/2009 Address: 44 Chesholm Road, London, N16 0DR	Proposed erection of a rear roof extension; installation of 2 No. roof lights to the front roof slope.	Decision Date: 20/04/09 Decision: Approved	Agent: More Space Tel: 020 8896 0777 Officer: Tyler Sharratt	Applicant: Mr Matt Utber Tel:
App No: 2009/0333 Registered: 02/27/2009 Address: 91 Princess May Road London N16 8DF	Installation of door to replace window to the rear ground floor level.	Decision Date: 22/04/09 Decision: Approved	Agent: Mrs Christine Jones Tel: 0207 254 6520 Officer: Tyler Sharratt	Applicant: Mrs Christine Jones Tel:
App No: 2009/0402 Registered: 02/23/2009 Address: 1-39 Clevedon Close Smalley Road Estate London N16 7LD	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843850500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel:
App No: 2009/0458 Registered: 03/03/2009 Address: 63 Stoke Newington High Street London N16 8EL	Change of use lower ground floor of hair and beauty salon (A1) to nail and massage rooms (sui generis use).	Decision Date: 20/04/09 Decision: Approved	Agent: M D Designs Tel: Officer: Caroline Ozor	Applicant: Ms. D Boaf0-Clarke Tel:
App No: 2009/0482 Registered: 03/13/2009 Address: 172 Stoke Newington Road London N16 7UY	Retention of new shop front and a rear canopy.	Decision Date: 29/04/09 Decision: Refused	Agent: Archipek Tel: Officer: Yousef Bahadur	Applicant: Mr Mehmet Ali Unek Tel:

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0490 Registered: 03/04/2009 Address: 5 Lavers Road, London N16 0DU	Proposed replacement of existing timber windows and doors with new UPVC windows and doors.	Decision Date: 28/04/09 Decision: Approved	Agent: Baily Garner LLP Tel: 020 8294 1000 Officer: Yousef Bahadur	Applicant: Peabody Trust Tel: 0207 021 4000
App No: 2009/0497 Registered: 03/04/2009 Address: 7 Kynaston Road London N16 0EA	Proposed erection of a rear roof extension installation of 2 No. roof lights to the front roof slope.	Decision Date: 23/04/09 Decision: Approved	Agent: Turn Architects LLP Tel: 020 7249 5885 Officer: Evie Learman	Applicant: Ms Gail Atkinson Tel:
App No: 2009/0528 Registered: 03/23/2009 Address: 65/67 Stoke Newington Road London N16 8AG	Approval of details pursuant to condition 3 (external materials) and condition 5 dustbin enclosures) attached to planning permission reference 2008/1598 dated 13th August 2008.	Decision Date: 11/05/09 Decision: Refused	Agent: Metropolitan Development Tel: 020 7486 6675 Officer: Colin Leadbeatter	Applicant: Mrs Anna Tel:
App No: 2009/0700 Registered: 04/08/2009 Address: 13 Darville Road, London, N16 7PT	Retention of front basement windows together with enlargement of existing front lightwell and installation of railing surround.	Decision Date: 22/05/09 Decision: Approved	Agent: Midas Planning Tel: 07890 562 875 Officer: Graham Callam	Applicant: Woodgate Ltd Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0733 proposed erection of rear roof extension. **Decision Date:** 29/05/09 **Agent:** CB Architects **Applicant:** Mr Laszlo Szabo
Registered: 04/16/2009 **Decision:** Approved **Tel:** 0208 348 1974 **Tel:**
Address: 27 Dynevor Road London **Officer:** Evie Learman
N16 0DL

App No: 2009/0771 Creation of a roof terrace to the rear at first floor level **Decision Date:** 28/05/09 **Agent:** John Perrino & Co **Applicant:** Woodgate Ltd
with the installation of an access door and glazed **Tel:** 0208 364 0334 **Tel:**
Registered: 04/09/2009 balustrade. **Decision:** Refused **Officer:** Graham Callam
Address: 13 Darville Road London
N16 7PT

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App No: 2009/0905 Proposed erection of roof extensions above the existing **Decision Date:** 19/05/09 **Agent:** Loft Masters **Applicant:** Mr & Mrs
Registered: 04/28/2009 two storey rear addition and rear roof slope. **Tel:** 020 8363 8239 **Tel:** Theodorou
Address: 5 Leswin Road London **Decision:** Approved **Officer:** Graham Callam **Tel:** 07817 735 110
N16 7NL

VA

App No: 2008/2130 Change of use from vacant laundry rooms to create 3 **Decision Date:** 15/05/09 **Agent:** McBains Cooper **Applicant:** Sanctuary Housing
Registered: 05/14/2009 residential units comprising 1x 1 bed and 2 x 2 bed flats **Tel:** 020 7786 7900 **Tel:** Association
Address: Greenham House **Decision:** Approved **Officer:** Michael Garvey
Templecombe Road
London E9 7LU

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/2436 Registered: 10/01/2008 Address: 35 Lauriston Road London E9 7EY	Erection of a single-storey ground floor side and rear extension.	Decision Date: 17/02/09 Decision: Approved	Agent: Tel: Officer: Yousef Bahadur	Applicant: Mrs Nikki Baille Tel: 07974 260844
App No: 2008/2637 Registered: 12/17/2008 Address: Cardinal Pole RC Victoria Park Road London E9 5RB	Erection of one portakabin to the rear of the school within the school compound.	Decision Date: 09/02/09 Decision: Approved	Agent: Mr Timothy Croke Tel: 0208 985 5646 Officer: Evie Learman	Applicant: The Board of Governors Tel: 0208 985 5150
App No: 2008/2638 Registered: 02/24/2009 Address: Cardinal Pole RC Victoria Park Road London E9 5RB	Erection of a portakabin to the rear of the school within the school compound.	Decision Date: 20/03/09 Decision: Approved	Agent: Mr Timothy Croke Tel: 0208 985 5646 Officer: Evie Learman	Applicant: The Board of Governors Tel: 0208 985 5150
App No: 2008/2697 Registered: 12/11/2008 Address: 86 Lauriston Road London E9 7HA	Conversion of single dwelling house to create 3 self contained flats (comprising 1 X 4 bed, 1 x 2 bed and 1x1 bed flats) together with the erection of part single storey and part three storey rear extension (lower ground, ground and first floors) erection of rear dormer roof extension and installation of new external stair and balustrade to rear garden with excavation.	Decision Date: 02/02/09 Decision: Approved	Agent: Mr Peter Tel: 0207 924 2100 Officer: Michael Garvey	Applicant: Mr Harry Ulus Tel:
App No: 2008/2860 Registered: 01/09/2009 Address: 150 Mare Street London E8 3SG	Change of use of ground floor stair lobby to form an A1 shop unit, together with the installation of a new shop front, new side entrance and relocation of entrance gates.	Decision Date: 17/02/09 Decision: Refused	Agent: Mr John Barry Tel: 02084408966 Officer: Noel Kelly	Applicant: Aurient Investments Limited Tel: 07958622180

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details****App No:** 2008/3009

Discharge of Condition 3 (scaled plans) pursuant to approval ref: 2008/1822 dated 09/09/2008.

Decision Date: 13/02/09**Agent:** Bashkal & Associates**Applicant:** C/O agent**Registered:** 12/12/2008**Address:** 239 Victoria Park Road
London
E9 7HD**Decision:** Approved**Tel:** 020 8884 1169**Tel:****Officer:** Tyler Sharratt**App No:** 2008/3063

Erection of a single-storey ground floor rear extension and single-storey rear extension at first floor level; alteration of door to a window at second floor level.

Decision Date: 09/02/09**Agent:** Bashkal & Associates**Applicant:** Yagmur Limited**Registered:** 12/18/2008**Address:** 239 Victoria Park Road
London
E9 7HD**Decision:** Refused**Tel:** 020 8884 1169**Tel:****Officer:** Tyler Sharratt**App No:** 2008/3064

Existing single storey rear extension.

Decision Date: 02/03/09**Agent:** Mr Mien Nguyen**Applicant:** Mr Mien Nguyen**Registered:** 01/12/2009**Address:** 32A Brenthouse Road,
Hackney London E9 6QG**Decision:** Refused**Tel:****Tel:****Officer:** Yousef Bahadur**App No:** 2008/3114

Enclosure of roof terrace at first floor level to create a conservatory and the construction of a new glazed link tunnel at roof level in association with the conversion of the roof space from a plant room to provide additional staff resource space with the incorporation and the installation of velux style roof lights and sun-pipes in the roof slopes.

Decision Date: 24/03/09**Agent:** Woodhouse Contracts**Applicant:** Mrs Marina Philips**Registered:** 02/06/2009**Address:** St Josephs Hospice Mare
Street London E8 4SA**Decision:** Approved**Tel:****Tel:****Officer:** Colin Leadbeatter**App No:** 2008/3135

Conversion of existing first floor 2 x bedroom self contained flat to provide a 1 x bedroom flat and a studio flat.

Decision Date: 09/03/09**Agent:** Acixis Design +
Management**Applicant:** Miss Sally Davey**Registered:** 01/23/2009**Address:** 34D Ainsworth Road
London E9 7LP**Decision:** Approved**Tel:** 02071932320**Tel:****Officer:** Michael Garvey

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/3138 Replacement of existing windows and doors with new UPVC windows and doors. **Decision Date:** 17/02/09 **Agent:** Piper Double Glazing Limited **Applicant:** Hackney Housing Regeneration
Registered: 02/17/2009
Address: 1-20 Clayton House **Decision:** Approved **Tel:** 01843 850 500 **Tel:**
Frampton Park Road **Officer:** Yousef Bahadur
London E9 7PG

App No: 2008/3144 Replacement of existing windows and doors with new UPVC windows and doors. **Decision Date:** 17/02/09 **Agent:** Piper Double Glazing Limited **Applicant:** Hackney Housing Regeneration
Registered: 01/09/2009 **Decision:** Approved **Tel:** 01843 850 500 **Tel:** 0208356500
Address: Parkinson House **Officer:** Yousef Bahadur
Frampton Park Road
London E9 7PH

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App No: 2008/3174 Erection of a rear roof extension **Decision Date:** 17/02/09 **Agent:** Ian Hay Architect **Applicant:** Mr and Mrs Miller
Registered: 01/09/2009 **Decision:** Approved **Tel:** 0207 688 1589 **Tel:** 07957394947
Address: 7 Groombridge Road **Officer:** Graham Callam
London
E9 7DP

App No: 2008/3175 Proposed alteration to rear roof slope to create an inverted dormer; installation of door to rear elevation at second floor level. **Decision Date:** 24/03/09 **Agent:** Ian Hay Architect **Applicant:** Mr and Mrs Miller
Registered: 02/03/2009 **Decision:** Approved **Tel:** 0207 688 1589 **Tel:** 07997394947
Address: 7 Groombridge Road **Officer:** Graham Callam
London
E9 7DP

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2009/0071 Registered: 01/19/2009 Address: ACF Training Centre Weston Walk London E8 3RG	Redevelopment to provide a 2 storey prefabricated Army Cadet Force Training Building (Sui Generis) use.	Decision Date: 10/03/09 Decision: Approved	Agent: Ednie Stoud Nullis Tel: 02077223455 Officer: David Thompson	Applicant: Reserve Forces & Cadets Tel: 020773844651
App No: 2009/0081 Registered: 01/20/2009 Address: 136 Lauriston Road London E9 7LH	Discharge of Conditions 5 (Sound Insulation) and 6 (Extract Duct) pursuant to planning permission ref: 2006/1848 dated 06/10/2006.	Decision Date: 12/03/09 Decision: Refused	Agent: Aethos Ltd Tel: 0208 882 9941 Officer: Yousef Bahadur	Applicant: Ms Elena Sollai Tel: 07535 663 192
App No: 2009/0092 Registered: 01/21/2009 Address: 44-46B Classic Mansions, Well Street, London, E9 7PX	Roof extension to four story mixed use building to provide 2x2 bed flats and 1x3 bed flat.	Decision Date: 13/03/09 Decision: Refused	Agent: Eleph Design Ltd Tel: 020 8357 8365 Officer: Michael Garvey	Applicant: Mr James McFadden Tel:
App No: 2009/0118 Registered: 02/25/2009 Address: Royal Inn on the Park 111 Lauriston Road London E9 7JH	Demolition of existing single storey rear extension, storage buildings and and temporary UPVC lean to structure to public house to provide a single story side extension involving internal refurbishment.	Decision Date: 06/04/09 Decision: Approved	Agent: Mr Walter Wang Tel: 7824328000 Officer: David Thompson	Applicant: Mr Robert Thomas Tel: 02079232699

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2009/0178
Registered: 03/20/2009
Address: Duke Of Cambridge
28 Loddiges Road
London
E9 6PN

Approval of details pursuant to conditions 5 (Detail drawings/full particulars) of planning permission ref. 2006/2839 dated 11/01/2007.

Decision Date: 29/04/09
Decision: Refused

Agent: Barnfield Construction Ltd
Tel: 0870 7700 567
Officer: Yousef Bahadur

Applicant: Matin Cooper
Tel: 0870 7700 567

App No: 2009/0223
Registered: 02/18/2009
Address: New Kingshold
Community Centre
Primrose Square
London E9 7TS

Approval of details pursuant to condition 12 (Refuse Storage) attached to approval referee 2002/1108

Decision Date: 20/03/09
Decision: Approved

Agent: David Wood Architects
Tel: 020 8368 1100
Officer: Michael Garvey

Applicant: David Wood Architects
Tel: 020 8368 1100

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App No: 2009/0517
Registered: 03/09/2009
Address: 150 Mare Street London
E8 3SG

Change of use of ground floor stair lobby to form an A1 shop unit, together with the installation of a new shop front, new side entrance and relocation of entrance gates.

Decision Date: 23/04/09
Decision: Approved

Agent: Mr John Barry
Tel: 0208 440 8966
Officer: Noel Kelly

Applicant: Aurient Investments Limited
Tel: 07958 622 180

App No: 2009/0754
Registered: 04/16/2009
Address: 43A Southborough Road
London
E9

Erection of two dormer roof extension to the rear roof slope; installation of 3 roof lights to the front roof slope

Decision Date: 28/05/09
Decision: Approved

Agent: Mr G A Williams
Tel: 0207 739B 9751
Officer: Yousef Bahadur

Applicant: Ms C Glennie
Tel: 0208 986 0371

WK

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2007/2006 Registered: 08/16/2007 Address: Land at 19-45 Wallis Road London E9 5EH	Submission of details pursuant to conditions 7 (details of materials for boundary walls and enclosures) and 8 (details of materials for building) of planning permission dated 18/6/2007 (ref: 2007/0965).	Decision Date: 12/02/09 Decision: Approved	Agent: Capita Symonds Tel: 0207 870 9300 Officer: Andrew Dillon	Applicant: Capita Symonds Tel: 0207 870 9300
App No: 2008/2520 Registered: 01/06/2009 Address: St Mary of Eton Church Eastway - Hackney Wick London - E9 5JA	Demolition of 'Old Club House, St. Mary's House and Verger's Cottage' (all non-listed); refurbishment and alterations to Grade II listed Mission Hall into 10 residential units, conversion of garage into café, refurbishment and conversion of part of Grade II church tower for residential use and the erection of three new buildings for 20 residential units, multi-purpose Church Hall and A1/A3/B1/D1 unit.	Decision Date: 20/03/09 Decision: Refused	Agent: Matthew Lloyd Architects LLP Tel: 0207 613 1934 Officer: John Kaimakamis	Applicant: Rev Alan Piggot Tel: 0208 525 2667
App No: 2008/2784 Registered: 11/13/2008 Address: Site Adjacent to 14 - 16 Kenworthy Road, London, E9 5RB	Erection of a temporary single storey building to be used as a nursery.	Decision Date: 18/02/09 Decision: Approved	Agent: Levitt Bernstein Associates Ltd Tel: 020 7 275 7676 Officer: John Kaimakamis	Applicant: Mr Colin Sharratt Tel: 0207 802 230
App No: 2008/2902 Registered: 01/30/2009 Address: 226/228 Homerton High Street, London E9 6AS	Installation of a new automatic teller machine. (amended scheme)	Decision Date: 17/03/09 Decision: Approved	Agent: BP & H Services Ltd. Tel: 0118 976 2513 Officer: Yousef Bahadur	Applicant: C/O EC Harris Ltd Tel:
App No: 2008/2940 Registered: 01/13/2009 Address: Site at rear of 7 to 25 Bramshaw Road London E9 5BD	Demolition of existing workshops and the erection of three two-storey houses comprising 2 x 3 bed houses and 1 x 4 bed house with roof terraces at first floor level, private garden and two car parking spaces including a new access gate.	Decision Date: 18/02/09 Decision: Approved	Agent: Matthew Lloyd Architects Tel: 0207 613 1934 Officer: Caroline Ozor	Applicant: Miss Marian Helcke Tel:

Application Details**Description:****Decision****Agent / Officer
Details****Applicant Details**

App No: 2008/2982 Removal of existing lean-to garage on the side elevation and alterations to the boundary (with 25 Cassland Road) to provide a new, repositioned boundary wall, and installation of new access gate to the front. **Decision Date:** 05/03/09 **Agent:** Kingconroy Architects **Applicant:** Mr Stephen Sexton
Registered: 01/26/2009
Address: 15 Killowen Road, LONDON E9 7AG **Decision:** Approved **Tel:** 020 7553 9290 **Tel:**
Officer: Evie Learman

App No: 2008/2995 Change of use of dwelling house as community / educational centre (D1 use class with ancillary prayer use. **Decision Date:** 28/05/09 **Agent:** Ateuer UWA Architects **Applicant:** Mr Mosharraf Ali
Registered: 04/16/2009 **Decision:** Refused **Tel:** 02074195990 **Tel:** 02089865957
Address: 43 Kenton Road Hackney London E9 7AB **Officer:** David Thompson

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App No: 2008/3013 Construction of two kiosks for water utility plant works along with a vehicle hard standing point bordered by 2.4m fencing, accessed from Edmeston Close. **Decision Date:** 02/02/09 **Agent:** Thames Water **Applicant:** Mr Mark Matthews
Registered: 12/17/2008 **Decision:** Approved **Tel:** 0118 373 8093 **Tel:**
Address: Vacant Land adjacent to East Cross Route and Edmeston Close London E9 5TJ **Officer:** Colin Leadbeatter

App No: 2008/3054 Part change of use of 1st floor of office building (B1 use) to 3 self-contained flats (C3) use involving a first floor part pitched, part flat metal clad roof extension.. **Decision Date:** 31/03/09 **Agent:** Kube Property Development **Applicant:** Adam Stein & Co
Registered: 12/23/2008 **Decision:** Approved **Tel:** 0207 357 0188 **Tel:**
Address: 1 Trafalgar Mews London E9 5JG **Officer:** David Thompson

<i>Application Details</i>	<i>Description:</i>	<i>Decision</i>	<i>Agent / Officer Details</i>	<i>Applicant Details</i>
App No: 2008/3123 Registered: 01/12/2009 Address: 40 Terrace Road London E9 7ES	Erection of two storey side extension plus basement to existing house to provide 2 self contained flats 1 X 3 Bedroom maisonette and 1 X 1 bedroom.	Decision Date: 13/02/09 Decision: Refused	Agent: Charterhouse Design & Build Ltd Tel: 020 8598 8624 Officer: Michael Garvey	Applicant: Mr Ashraf Patel Tel: 0208 598 8624
App No: 2009/0388 Registered: 02/23/2009 Address: 44-48 Kyverdale Road London N16 7AJ	Replacement of existing windows and doors with UPVC windows and doors.	Decision Date: 09/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hacknet Housing and Regeneration Tel: 02083565000
App No: 2009/0424 Registered: 02/24/2009 Address: 1-11 Malpas Road Aspland Estate London E8 1NA	Replacement of windows and doors with new UPVC windows and doors.	Decision Date: 15/04/09 Decision: Approved	Agent: Piper Double Glazing Limited Tel: 01843 850 500 Officer: Yousef Bahadur	Applicant: Hackney Housing Regeneration Tel: 02208356500
App No: 2009/0505 Registered: 04/02/2009 Address: 333 Wick Road, Hackney, E9 5DH	Discharge of condition 2 (Materials) and condition 5 (Boundary walls) pursuant to planning permission ref 2005/1688 dated 11/10/2005.	Decision Date: 08/05/09 Decision: Refused	Agent: Mr A Patel Tel: 07984210600 Officer: Yousef Bahadur	Applicant: Mr A Patel Tel: 07984210600
App No: 2009/0640 Registered: 03/23/2009 Address: 7 Cadogan Terrace London E9 5EG	Erection of 3 dwellings comprising (2x3 bedrooms and 1x4 bedrooms) with roof terraces.	Decision Date: 13/05/09 Decision: Approved	Agent: Kyson Design Ltd Tel: 07929 316 938 Officer: Noel Kelly	Applicant: Scott Kyson Tel: 07929 316 938

Application Details

Description:

Decision

*Agent / Officer
Details*

Applicant Details

App No: 2009/0663

Works to 8 x lime trees to rear garden - re-pollard.

**Decision
Date:** 12/05/09

Agent: Mick Parking

Applicant: Dr Leavel

Registered: 03/24/2009

Tel: 0208 365 4680

Tel: 02089852779

Address: 28 Meynell Crescent
London E9 7AS

Decision: Approved

Officer: Ginny Hemming

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